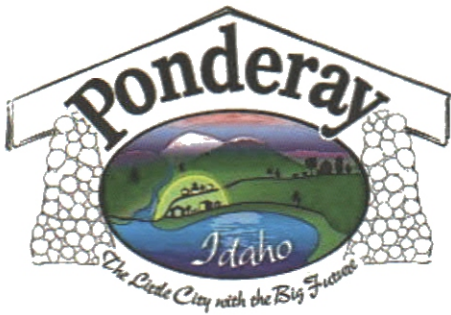




City of Ponderay

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JUN 10 2026

PLANNING OFFICE
CITY OF PONDERAY

Site Plan Application

Site/Project Information

Brief Project Description:

50x150 Pre engineered steel building

Project Representative:

Rich Donohoe

E-mail:

Rich@Donohoe-Construction.com

Phone #'s:

208-660-7649

Location:

Hawthorn Ln

Legal Description:

Applicant/Owner Information

Name:

Edwin Olding / Rich Donohoe

Legal Owner:

Edwin Olding

Signature:

[Signature]

Mailing Address:

3244 N. Callary St. Post Falls
83854

E-Mail:

Rich@Donohoe-Construction.com

Phone #'s:

208-660-7649

Ponderay Planning Department

File Number:

SP 26-119

Fees:

\$1400 Application

\$300 SW Review

RPP39490010060A

Zoning:

Ind

Received By :

Date:

[Signature]

6/10/26

Comments:



PROJECT NARRATIVE OLDING DREAM GARAGE

LEW'S INDUSTRIAL PARK, LOT 6, BLOCK 1



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PROJECT NARRATIVE

OLDING DREAM GARAGE

CITY OF PONDERAY, IDAHO



- **Summary:** This narrative shall outline the proposed site development plans for the property described below in the City of Ponderay, Idaho.

This development shall consist of the construction of a new industrial garage structure and supporting site improvements. The property is located West of Hawthorne Avenue, and North of 7th Street. The property is located in Section 11, Township 57 North, Range 02 West, Boise Meridian, Bonner County, City of Ponderay, Idaho.

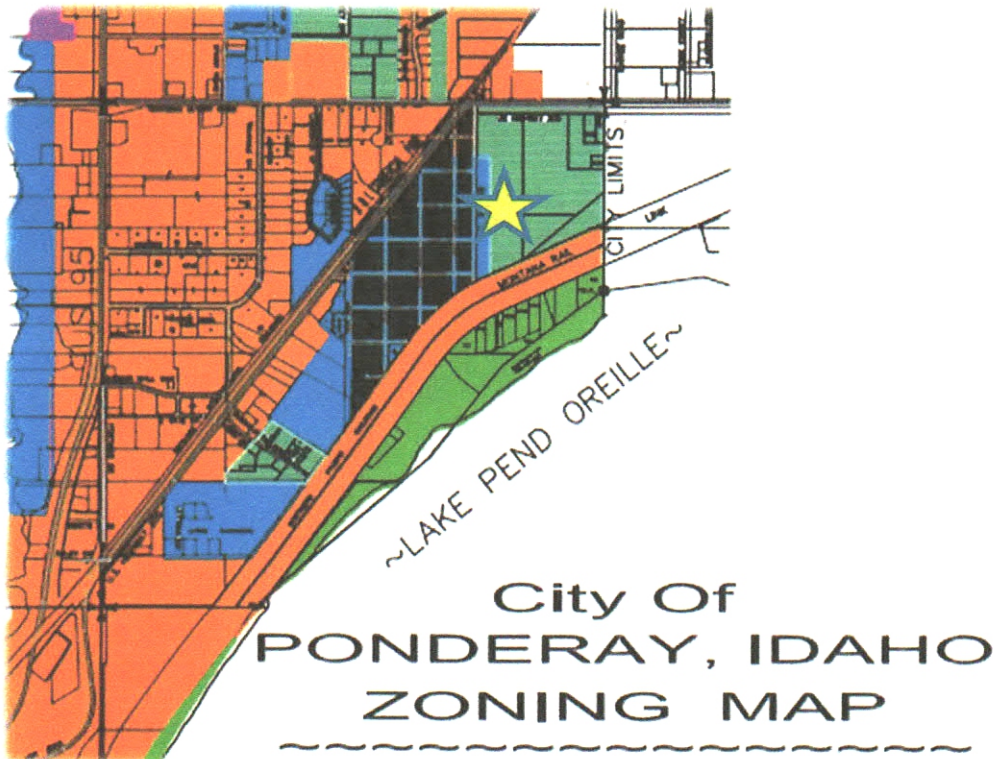


Parcel Information

- Parcel: RPP39490010060A
- Legal: LEW'S INDUSTRIAL PARK, Lot 6, Block 1
- S / T / R: Section 11 / Township 57 North / Range 02 West
- Site Address: TBD
- Parcel Size: ±0.49 Acres
- Landowner: Dream Garage LLC
Mariela Rebelo and Edwin Olding
431 Lakeview Boulevard
Sandpoint, Idaho 83864
- Current Use: Vacant Lot
- Proposed Use: Automotive Garage

Zoning:

- Current Zoning: "INDUSTRIAL" in the City of Ponderay



Land Use

- **Existing Conditions:**

The site is currently undeveloped, with a portion of the frontage improvements being completed, and or shall be completed by the neighboring development. An existing asphalt approach exists to the site from Hawthorne Avenue, and a water service, and pressure sewer service extended to the property for site development. The existing site stormwater flows overland to the City's stormwater system in Hawthorne Avenue and 7th Street. The existing site topography is relatively flat, flowing in various directions. The existing site dry utilities are located in the Northeast corner of the property for ease of use at time of site development.

- **Proposed Development Plan:**

- **Structures:**

- One (1) industrial garage structure.

- **Construction Timeframe:**

- The developer intends to begin construction in June, 2026.

- **Access:**

- Existing asphalt approach off of Hawthorne Avenue, and a proposed 26' wide concrete approach is proposed off of 7th Street. One way traffic is proposed through the site to accommodate the proposed structure and required parking.

- **Stormwater Management:**

- The developer intends to create an onsite stormwater management system. The onsite stormwater will be contained onsite, with any overflow runoff being directed to the City's stormwater system. The post development runoff shall not exceed the pre-development runoff to the City's stormwater system.

- **Site Lighting:**

- The developer intends to utilize structure mounted lighting that shall be downward facing and shielded away from neighboring properties and public rights of way.

- **Landscaping:**

- The developer intends to implement typical irrigated lawn and standard onsite plantings. The developer intends to comply with any frontage street tree planting needed for a Certificate of Occupancy.

- **Parking Matrix:**

- Parking shall be provided in accordance with City requirements, as follows:

- **Required Parking:**

10

- 1 Space for each 1,000 SF of Gross Industrial Floor Area
 - $6,900 \text{ SF} / 1,000 \text{ SF} = 7 \text{ spaces}$
 - 1 Space for each 200 SF of Gross Commercial Floor Area
 - $600 \text{ SF} / 200 \text{ SF} = 3 \text{ spaces}$

- **Proposed Parking:**

10

- Includes one (1) ADA parking and one (1) ADA loading space
 - Includes two (2) indoor parking spaces (roll-up doors)

- Emergency Services:
 - This proposed development was designed to have little to no impact on area emergency services (police departments, fire departments, etc.). The layout shall provide emergency ingress/egress to/from the proposed development/structure, with the structures being spaced in accordance with building code requirements.
- The following information shall supplement the provided Site Development Plan:
 1. Existing Site Permits:
There are no existing permits on this site
 2. Area of planned roads, parking, and sidewalks:
See the attached plan set.
 3. Changes in drainage:
Engineer and Contractor will work in the field during construction to maintain and enhance existing drainage patterns. There are no mapped drainages on this property.
 4. Changes in vegetative cover:
See the attached plan set. Open space areas shall be landscaped per City requirements
 5. Description of temporary and permanent erosion control measures:
Erosion control shall be through the use of Idaho Best Management Practices.
 6. Description of the stormwater system:
Site stormwater shall be conveyed from the impervious surfaces to the proposed stormwater system for treatment, infiltration, and or historical drainage outlet.
 7. How the proposed BMP's were selected:
The BMPs were selected based on our experience with similar projects.
 8. Method(s) for handling anticipated groundwater:
If encountered during construction, the Contractor and Engineer shall work together to develop a site specification plan to mitigate impacts, and de-water the site for construction.
 9. Fill placement considerations:
2:1 maximum slopes per this plan
 10. Cut slope considerations:
2:1 maximum slopes per this plan
 11. Project specifications:
See the attached plan set.
 12. Stabilization requirements:
See the attached plan set.
 13. Winterization requirements:
The Contractor/Engineer will work together to develop a plan as winter approaches. Winter inspections as required by City of Ponderay will be completed.
 14. Inspection schedule:
Site inspections shall be completed as required by the City of Ponderay.
 15. Construction schedule:
See the attached plan set.

16. Responsible person or entity:

Davey Donahoe
Donahoe Construction LLC
921 North Lean Street,
Post Falls, Idaho, 83854
Tel: 208-661-2125
Em: dave@donahoe-construction.com

17. Routine maintenance requirements:

The contractor shall work with the developer to establish a plan for routine maintenance of the proposed site improvements and stormwater management system to ensure efficiency.