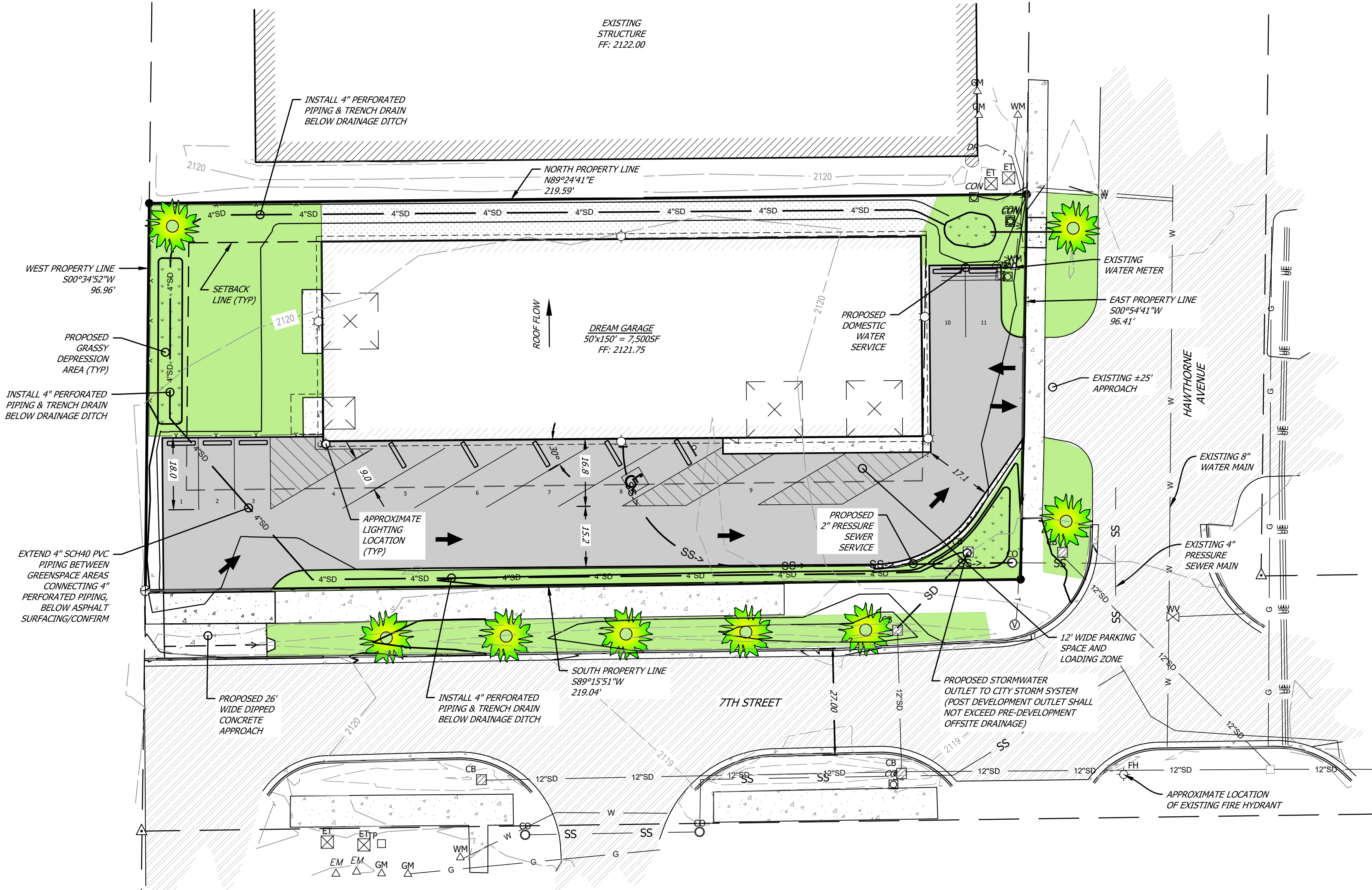


GENERAL PROJECT NOTES:

- PROJECT SUMMARY:** THIS PLAN SET SHALL BE INCLUSIVE OF THE NECESSARY CONSTRUCTION INFORMATION REQUIRED TO OBTAIN A PERMIT FOR THE CONSTRUCTION OF THE PROPOSED PROJECT IN THE CITY OF PONDERAY, IDAHO. AN APPROVED COPY OF THIS PLAN SET SHALL REMAIN ON THE PROJECT SITE AT ALL TIMES. ALL MODIFICATIONS TO THIS PLAN SHALL BE APPROVED BY THE ENGINEER OF RECORD AND THE CITY OF PONDERAY, IDAHO.
- PROJECT LIMITS:** THE CLEARING LIMIT BOUNDARIES ARE PROVIDED ON SHEET C2.0.

A BOUNDARY SURVEY WAS NOT PERFORMED ON THIS PROJECT SITE. THE BOUNDARY SHOWN IS BASED ON FOUND MONUMENTATION AND PREVIOUSLY RECORDED SURVEYS/PLATS.
- STANDARDS OF CONSTRUCTION:** ALL WORK SHALL CONFORM TO THE CITY OF PONDERAY, IDAHO ADOPTED STANDARDS AND REQUIREMENTS, AND IDAHO BEST MANAGEMENT PRACTICES.
- UTILITIES:** THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING THE LOCATION OF ALL OVERHEAD AND SUBSURFACE UTILITIES. THE CONTRACTOR SHALL NOTIFY THE AREA ONE CALL (8-1-1) UTILITY LOCATING SERVICE AT LEAST 48-HOURS PRIOR TO ANY EXCAVATION, AND THEREAFTER AS NEEDED. ALL COSTS ASSOCIATED WITH REPAIRS TO DISTURBED UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. NO ATTEMPT WAS MADE TO SHOW ALL SUBSURFACE UTILITIES ON THIS PLAN, AND THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ANY KNOWN OR UNKNOWN UTILITY CONFLICTS.

THE CONTRACTOR SHALL WORK WITH THE DRY UTILITY PROVIDERS TO EXTEND ALL DRY UTILITIES (POWER, PHONE, GAS, INTERNET, ETC.). THIS PLAN DOES NOT INCLUDE DRY UTILITY DESIGN.
- STOCKPILED MATERIALS:** ALL STOCKPILED MATERIALS SHALL BE FIELD LOCATED BY THE CONTRACTOR AND ENGINEER OUTSIDE OF THE RIGHT-OF-WAY, IN A SECURED LOCATION THAT WILL NOT ALLOW ANY SEDIMENTATION TO INTERFERE WITH ANY STORMWATER CONVEYANCE, COLLECTION, OR TREATMENT IMPROVEMENTS. THE CONTRACTOR SHALL SECURE ALL STOCKPILES WITH TARPS, SILT FENCING, AND/OR TEMPORARY SEEDING IF LEFT UNDISTURBED FOR MORE THAN 72-HOURS. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR REPAIRING ANY DITCHLINE, CULVERT, OR OTHER DRAINAGE FEATURE/APURTANCE, OR ANY OTHER IMPROVEMENT AFFECTED OR DAMAGED BY THE EROSION OF STOCKPILED MATERIALS.
- GROUND WATER:** GROUNDWATER IS PREVALENT IN THIS AREA. NO KNOWN ISSUES WERE VISIBLE AT THE TIME OF DESIGN. IN THE EVENT OF A GROUNDWATER ISSUE, THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD (WITHIN 24-HOURS BY PHONE) AND REQUEST GUIDANCE ON HOW TO PROCEED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DE-WATERING OF THE CONSTRUCTION SITE AS NEEDED TO OBTAIN COMPACTION.
- ENCROACHMENTS:** NO PROPERTY ENCROACHMENTS ARE KNOWN AT THE TIME OF THIS DESIGN. IF A THREAT TO PUBLIC SAFETY IS EMINENT, THE CONTRACTOR SHALL NOTIFY THE CITY.
- WASTE DISPOSAL:** THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL WASTE MATERIAL FROM THIS PROJECT AT A STATE APPROVED OFFSITE LOCATION, INCLUDING BUT NOT LIMITED TO GENERAL DAY-TO-DAY WASTE, EXCESS ORGANIC SOILS, AND CLEARED VEGETATION.
- SECURITY:** THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING THE PROJECT SITE DURING CONSTRUCTION. ALL DAMAGES TO EQUIPMENT, TOOLS, UTILITIES, ETC. ON THE CONSTRUCTION SITE SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
- INSPECTIONS:** THE ENGINEER SHALL PERFORM NECESSARY PROJECT INSPECTIONS REQUIRED BY THE CITY. AT THE DIRECTION OF THE CONTRACTOR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD AT LEAST 48-HOURS PRIOR TO REQUESTING AN INSPECTION. TYPICAL MINIMUM REQUIRED INSPECTIONS INCLUDE:
 - INSTALLATION OF BMPs;
 - EXCAVATION OF ORGANIC/UNSUITABLE MATERIALS;
 - COMPACTED SUBGRADE (COMPACTION TO BE VERIFIED BY A 3RD PARTY GEOTECH FIRM);
 - POST CONSTRUCTION (LANDSCAPING AND GRASS GROWTH FOR STABILIZATION).
- BID ITEMS:** ALL QUANTITIES PROVIDED THROUGH ANY FORM OF COMMUNICATION, BOTH PRE & POST PLAN APPROVAL, SHALL BE CONSIDERED TO BE AN ESTIMATE ONLY. CONTRACTOR AND ENGINEER SHALL ATTEMPT TO VERIFY FOR PAYMENT. ALL ITEMS NOT REPRESENTED SHALL BE CONSIDERED AN INCIDENTAL COST FOR THE CONTRACTOR TO COMPLETE THE PROJECT. IF THE CONTRACTOR ASSUMES, OR FINDS A DISCREPANCY IN THE PLAN QUANTITIES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE ENGINEER OF RECORD WITHIN 48-HOURS OF INITIAL CONCERN AND REQUEST CLARIFICATION, OR A QUANTITY ALLOWANCE INCREASE. NO SOILS TESTING OR INSPECTIONS HAVE BEEN PERFORMED TO DATE; THEREFORE THE ENGINEER ASSUMES NO LIABILITY FOR THE SUBSURFACE FINDINGS. THE CONTRACTOR SHALL INCLUDE NECESSARY FUNDING FOR ALL MATERIALS TESTING AND COMPACTION REPORTING IN HIS/HER CONSTRUCTION BID.
- COMPACTION REQUIREMENTS:** THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COMPACTION TESTING REQUIREMENTS. IN PLACE COMPACTION TESTS SHALL BE PERFORMED BY A QUALIFIED THIRD PARTY TESTING CONTRACTOR. ALL SUBGRADE, BASE MATERIALS AND BITUMINOUS SURFACING SHALL BE TESTED IN ACCORDANCE WITH ASTM STANDARDS. ALL EXCAVATED OR PLACED (12" LOOSE LIFT) SUBGRADE MATERIAL SHALL BE ORGANIC FREE, SUITABLE MATERIAL SHALL BE COMPACTED TO AT LEAST 95% OF THE MODIFIED PROCTOR. PLACED BALLAST MATERIAL SHALL BE COMPACTED IN ACCORDANCE WITH INDUSTRY ACCEPTED STANDARDS. ROAD BASE MATERIAL MUST BE COMPACTED TO 95% OF MODIFIED PROCTOR IN ACCORDANCE WITH ASTM STANDARDS. ALL MATERIALS NOT MEETING THESE SPECIFICATIONS WILL BE REMOVED AND REPLACED BY THE CONTRACTOR UNTIL SPECIFIED REQUIREMENTS ARE ACHIEVED. A COPY OF THE COMPACTION TESTING RESULTS SHALL BE PROVIDED TO THE ENGINEER OF RECORD WITHIN 24-HOURS OF THE COMPLETION OF TESTING, UNLESS OTHERWISE APPROVED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE MATERIAL USED TO CONSTRUCT THIS PROJECT.
- EROSION CONTROL:** THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY EROSION CONTROL AND STORMWATER MANAGEMENT DURING CONSTRUCTION. THE CONTRACTOR SHOULD REQUEST ASSISTANCE FROM THE ENGINEER OF RECORD IF A DIFFICULT STORMWATER MANAGEMENT OR EROSION CONTROL ISSUE PRESENTS ITSELF DURING CONSTRUCTION. ALL PERMANENT EROSION CONTROL AND STORMWATER MANAGEMENT SHALL BE INSTALLED AND APPROVED BY THE LAND OWNER. THE ENGINEER'S PROVIDED SEEDING RECOMMENDATIONS ARE ONLY MEANT TO ACT AS A GUIDELINE FOR FINAL LANDSCAPING AND EROSION CONTROL. THE TEMPORARY EROSION AND SEDIMENT CONTROL PLAN (T.E.S.C.) IS PROVIDED ON SHEET C2.0. THIS T.E.S.C. PLAN IS MEANT TO STABILIZE THE SITE. THE CONTRACTOR SHALL INSPECT AND/OR REPAIR PROPOSED BEST MANAGEMENT PRACTICES DAILY.
- GEOTECHNICAL:** A GEOTECHNICAL ANALYSIS/REPORT HAS NOT BEEN PERFORMED ON THIS SITE AT TIME OF PLAN SUBMITTAL.
- CONSTRUCTION WATER:** THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING A WATER SOURCE DURING CONSTRUCTION.
- CONSTRUCTION SANITARY SEWER SERVICES:** THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE A PORTABLE RESTROOM FROM A LICENSED SERVICE PROVIDER. THE SERVICE PROVIDER SHALL ALSO MAINTAIN THE PORTABLE RESTROOM REGULARLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THIS PORTABLE UNIT, INCLUDING ALL DAMAGES RESULTING FROM THIS UNIT BEING ON-SITE.
- SEEDING:** THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLACING A NOXIOUS WEED FREE, FERTILIZED DRYLAND HYDROSEED MIXTURE ON THE DISTURBED AREAS OF THE PROJECT UPON FINAL GRADING. THIS SEED SHALL MEET THE SPECIFICATIONS AND STANDARDS OF THE CITY, THE FEDERAL SEED ACT, AND IDAHO STATE SEED LAWS. THE LAND OWNER SHALL BE RESPONSIBLE FOR ALL ADDITIONAL SITE LANDSCAPING AFTER THE PROJECT IS COMPLETE.
- STORMWATER:** ALL ONSITE STORMWATER, EXCLUDING THAT FROM THE PROPOSED STRUCTURES, SHALL DRAIN TO A GRASSY INFILTRATION SWALE AS SHOWN ON THIS PLAN. THE SWALE SHALL HAVE A 2:1 SIDE SLOPE (MAX) AND A FLAT BOTTOM, OR LESS THAN A 1% BOTTOM GRADE. THE SWALE SIDES AND BOTTOM SHALL BE SEEDDED WITH GRASS (PER THIS PLAN) AND SHALL OVERFLOW TO THE NATURAL OUTLET.
- FIRE PROTECTION:** NORTHSIDE FIRE DISTRICT.
- CONSTRUCTION SCHEDULE:** SITE WORK WILL BEGIN IN SEPTEMBER, 2026 AND END IN SEPTEMBER, 2027.
- GREENSPACE:** THE PROPOSED "GREENSPACE", NOT COVERED BY A PERVIOUS SURFACE, SHALL BE SEEDDED WITH AN IRRIGATED GRASS (POST CONSTRUCTION AND FINAL GRADING) OR LANDSCAPE BED. THIS INCLUDES THE FRONTAGE. THE LANDSCAPE GRASS AREAS, AND BEDS SHALL HAVE AN AUTOMATED IRRIGATION SYSTEM MEETING STATE AND CITY CODE REQUIREMENTS (BACKFLOW ASSEMBLY, CONNECTION, ETC.)
- SITE LIGHTING:** STRUCTURE MOUNTED, DOWNWARD FACING, AND SHALL NOT IMPACT TRAFFIC, NEIGHBORING PROPERTY OR RIGHTS OF WAY.
- SIGNAGE:** NO SIGNAGE PROPOSED AT THIS TIME.



ABBREVIATIONS:

EG	EXISTING GRADE
EL/ELEV	ELEVATION
EX	EXISTING
FF	FINISH FLOOR
FG	FINISH GRADE
FNC	FENCE
FT	FOOT/FEET
HMA	HOT MIX ASPHALT
HP	HIGH POINT
INV	INVERT
LF	LINEAR FEET
LP	LOW POINT
LT	LEFT
NTS	NOT TO SCALE
RIM	RIM OF CATCH BASIN
RT	RIGHT
RW	RIGHT OF WAY
SF	SQUARE FEET
SY	SQUARE YARDS
TA	TOP ASPHALT
TBM	TEMPORARY BENCHMARK
TBW	TOP BACK OF WALK
TBC	TOP BACK OF CURB
TC	TOP CONCRETE
TFW	TOP FRONT OF WALK
TYP	TYPICAL

GREEN SPACE MATRIX:

PROVIDED:	+26.7%
- LOT AREA:	21,198SF
- LANDSCAPING:	5,862SF

INCLUDES ALL LANDSCAPED AREAS IN THE PROJECT BOUNDARY/EXCLUDING RW

OPEN SPACE MATRIX:

REQUIRED:	5,300SF (25%)
- CITY CODE 9-40-3(D)	
- TOTAL LOT AREA:	21,198SF
- 25% SPACE:	5,300SF

PROVIDED:	13,698 SF (+64.6%)
- LOT AREA:	21,198SF
- STRUCTURE:	7,500SF
- REMAINING:	13,698SF

INCLUDES ALL PERVIOUS AND NON-PERVIOUS AREAS NOT COVERED WITH A STRUCTURE

PARCEL INFORMATION:

OWNER: DREAM GARAGE LLC
SITE ADDRESS: TBD
PARCEL: RPP39490010060A
SIZE: 0.49 ACRES
ZONING: "INDUSTRIAL"
SECTION: 11
TOWNSHIP: 57 NORTH
RANGE: 02 WEST
LEGAL: LEW'S INDUSTRIAL PARK, BLOCK , LOT 6

DATUM:

VERTICAL: NAVD88
HORIZONTAL: ASSUMED

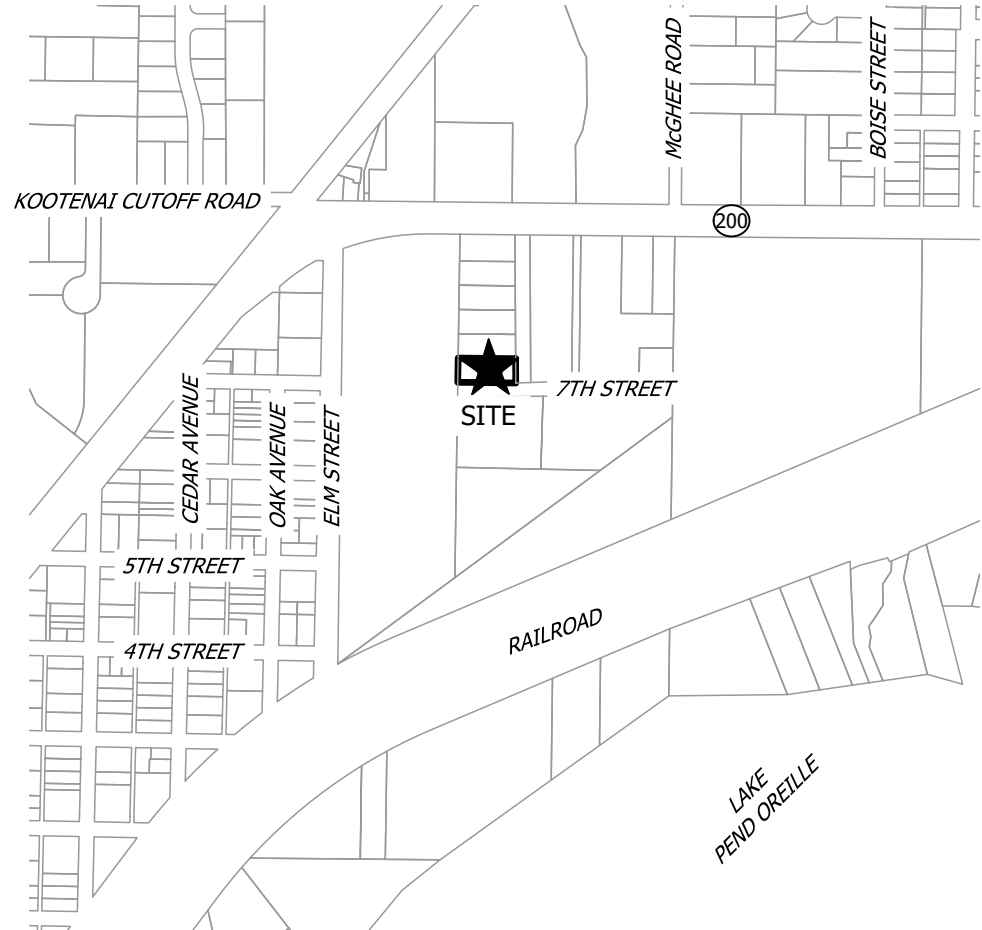
ENGINEER:

McARTHUR ENGINEERING,
SCOTT L. McARTHUR, PE
208.446.3307

PARKING MATRIX:

REQUIRED:	10.81 ~ 11 PARKING SPACES
- INDUSTRIAL ZONE: 1 SPACE PER 1,000 SF	
- COMMERCIAL ZONE: 1 SPACE PER 200 SF	
- BUILDING TOTAL AREA: 7,500 SF	
INDUSTRIAL: 6,572 SF / 1,000 = 6.67 SPACES	
(INCLUDES WAREHOUSE AND STORAGE)	
COMMERCIAL: 828SF / 200 = 4.14 SPACES	
(INCLUDES LOFT, OFFICE, SALES, RESTROOM, ETC.)	

PROPOSED: 11 PARKING SPACES
- INCLUDES ONE (1) ADA PARKING AND ONE (1) ADA LOADING SPACE AND
- INCLUDES ONE (1) GENERAL LOADING/UNLOADING SPACE



VICINITY MAP
NTS

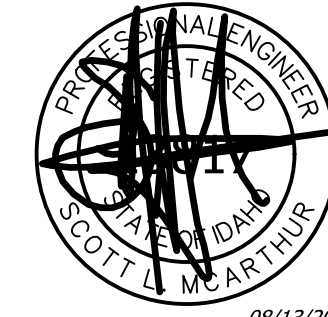
LEGEND:

	= CALCULATED POSITION
	= FOUND REBAR
	= FIRE HYDRANT
	= WATER VALVE
	= WATER METER
	= SANITARY SEWER CLEAN OUT
	= SANITARY SEWER MANHOLE
	= TYP 1 CATCH BASIN
	= DRYWELL
	= DRAIN
	= CONDUIT STUBOUT
	= SITE LIGHTING (STRUCTURE MOUNTED)
	= ELECTRIC METER
	= ELECTRIC TRANSFORMER
	= UTILITY VAULT
	= GAS METER
	= TELEPHONE PEDESTAL
	= ADJACENT PROPERTY LINE
	= BOUNDARY LINE
	= EXISTING CONTOUR
	= PROPOSED CONTOUR
	= SANITARY SEWER
	= WATER LINE
	= GAS LINE
	= TELECOMMUNICATIONS LINE
	= EASEMENT LINE
	= EXISTING ASPHALT
	= PROPOSED ASPHALT
	= PROPOSED CONCRETE
	= PROPOSED STRUCTURE
	= PROPOSED GRASSY DEPRESSION AREA
	= PROPOSED IRRIGATED GRASS/LANDSCAPE BED
	= PROPOSED HAND PLACED RIP RAP MATERIAL OVER AND ENGINEERED APPROVED WEED FABRIC
	= PROPOSED TREE PER CITY REQUIREMENTS

McARTHUR
ENGINEERING
McARTHUR-ENG.COM (208) 446-3307
PO BOX 2488, POST FALLS, ID 83877



REVISIONS:



08/13/2026

EDWIN OLDING'S
DREAM GARAGE
SITE DEVELOPMENT PLAN
CITY OF PONDERAY, IDAHO

FOR PERMIT ONLY - NOT FOR CONSTRUCTION



SURVEYED: TBD	DESIGNED: SLM	DRAWN: PAK	CHECKED:
---------------	---------------	------------	----------

PROJECT OVERVIEW

SHEET #	PROJECT #	DATE
C1.0	MEZ026-018	08/13/2026