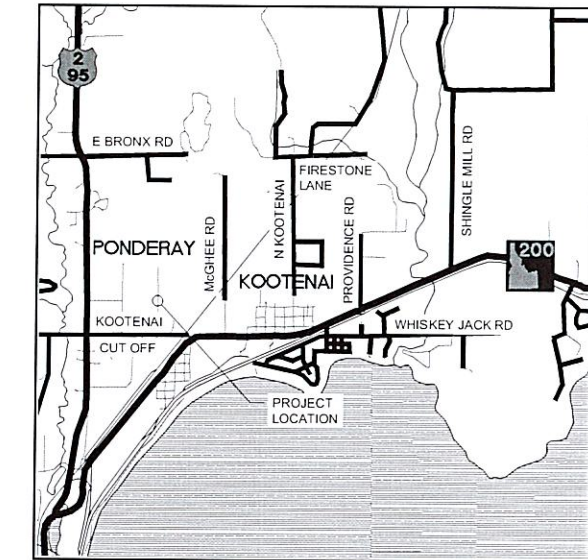
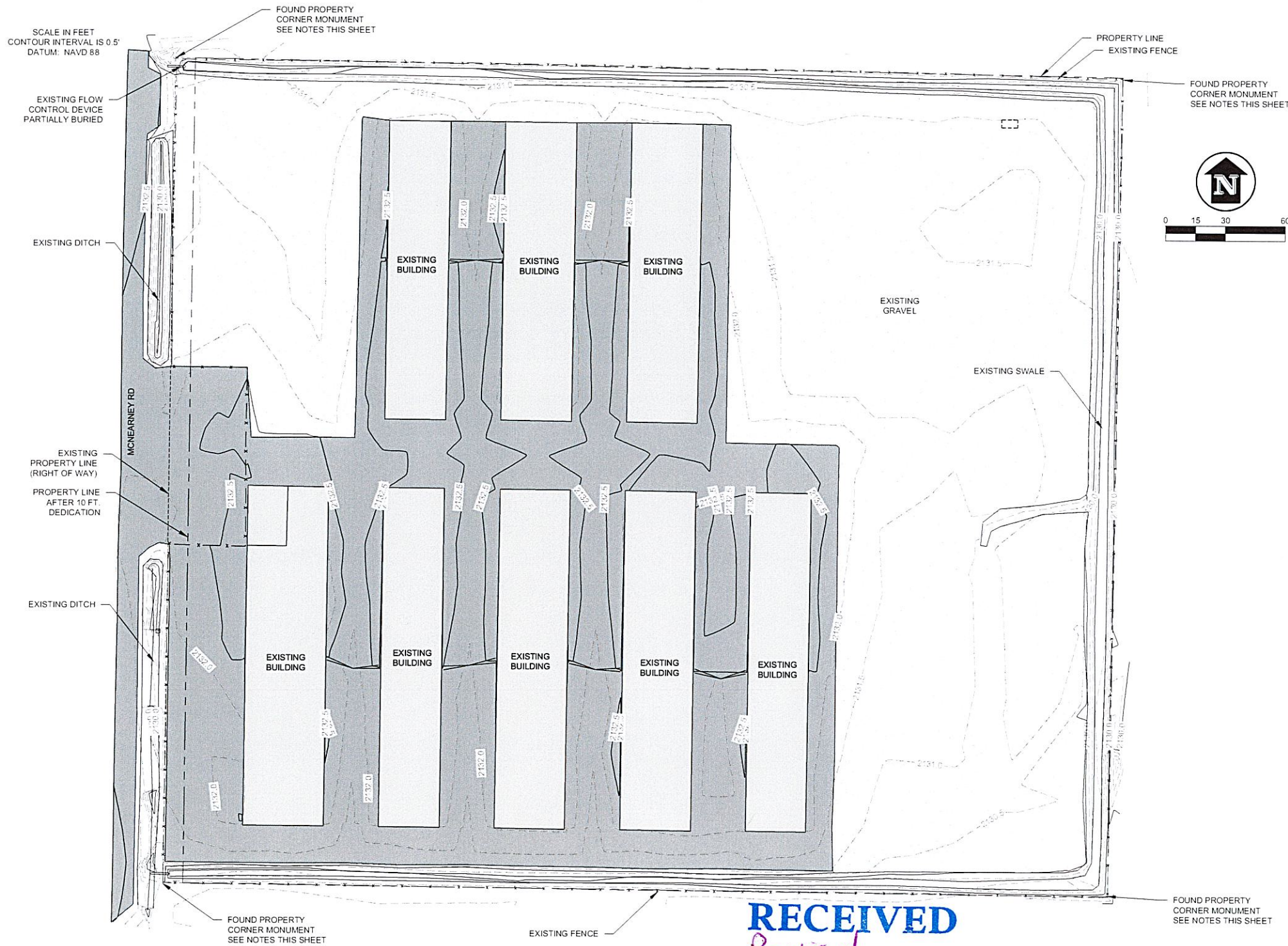


# STATE STORAGE GROUP PONDERAY STORM WATER MANAGEMENT AND GRADING PLAN

(PARCEL RPP0000028575A / 1214 McNEARNEY RD, PONDERAY, ID 83852)  
SECTION 2, TOWNSHIP 57 NORTH, RANGE 2 WEST, BOISE MERIDIAN, BONNER COUNTY, IDAHO



### DRAWING INDEX

SHEET #	TITLE
1	COVER SHEET AND EXISTING CONDITIONS
2	SITE PLAN
3	GRADING AND STORM WATER MANAGEMENT PLAN
4	DETAILS

### GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE 2020 IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION, CITY CODE, AND THE PROJECT SPECIFICATIONS SHOWN ON THESE PLANS.
- CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL EXISTING SITE ELEMENTS SHOWN ON THESE PLANS, INCLUDING UTILITIES, SURFACE FEATURES, AND TOPOGRAPHY. THE ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BEFORE BEGINNING WORK.
- CONTRACTOR SHALL CONTACT ENGINEER FOR A SITE INSPECTION AT LEAST 3 DAYS IN ADVANCE OF THE FOLLOWING PHASES OF CONSTRUCTION:
  - PRIOR TO GROUND DISTURBANCE AND AFTER TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED
  - AFTER THE PROJECT HAS BEEN COMPLETED, INCLUDING ESTABLISHMENT OF RE-VEGETATION
- PROPERTY CORNERS AND OTHER SURVEY MONUMENTS SHALL BE PROTECTED DURING CONSTRUCTION. DISTURBED MONUMENTS SHALL BE REPLACED BY A LICENSED SURVEYOR AT THE CONTRACTOR'S EXPENSE.
- EXISTING UTILITY LOCATIONS SHOWN IN THESE DRAWINGS ARE APPROXIMATE.

**CALL  
2 WORKING  
DAYS  
BEFORE  
YOU DIG!**

Bonner Boundary One Call  
811

**RECEIVED**  
*Revised*  
JAN 14 2026  
**PLANNING  
CITY OF PONDERAY**



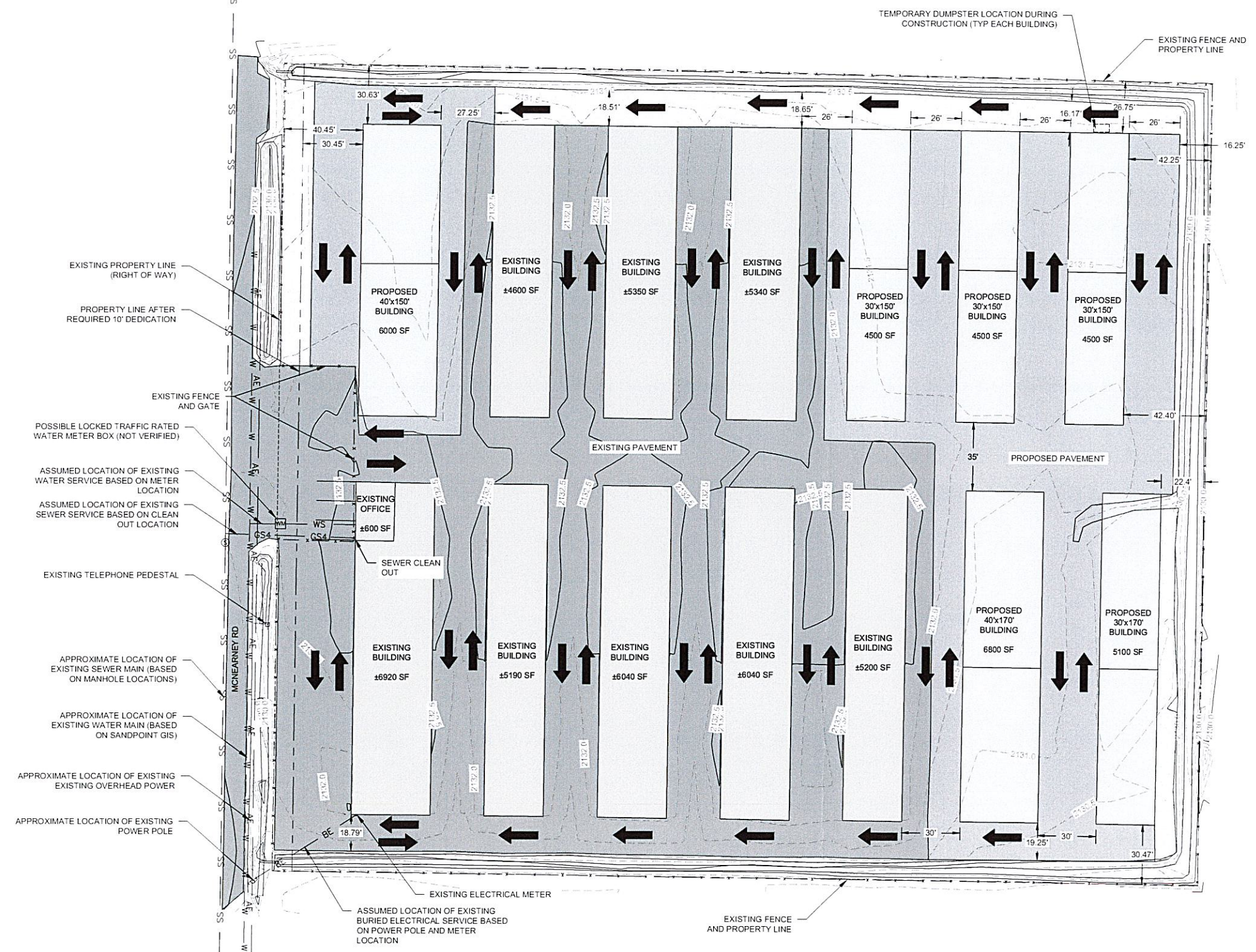
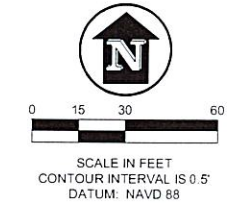
NO.	DATE	REVISION

**James A. Sewell and Associates, LLC**  
1319 NORTH DIVISION AVENUE  
SANDPOINT, IDAHO 83864  
(208) 263-4160



SHEET TITLE:  
**COVER SHEET AND EXISTING  
CONDITIONS**  
PROJECT:  
**SSG PONDERAY  
PONDERAY, IDAHO**

DATE	12-11-2025
SCALE	AS SHOWN
DESIGNED	BSB
DRAWN	NCF
CHECKED	BSB
PROJ. NO.	23321-25-001
CAD FILE	E-WOMACK
SHEET	1 OF 4



- EXISTING PROPERTY LINE (RIGHT OF WAY)
- PROPERTY LINE AFTER REQUIRED 10' DEDICATION
- EXISTING FENCE AND GATE
- POSSIBLE LOCKED TRAFFIC RATED WATER METER BOX (NOT VERIFIED)
- ASSUMED LOCATION OF EXISTING WATER SERVICE BASED ON METER LOCATION
- ASSUMED LOCATION OF EXISTING SEWER SERVICE BASED ON CLEAN OUT LOCATION
- EXISTING TELEPHONE PEDESTAL
- APPROXIMATE LOCATION OF EXISTING SEWER MAIN (BASED ON MANHOLE LOCATIONS)
- APPROXIMATE LOCATION OF EXISTING WATER MAIN (BASED ON SANDPOINT GIS)
- APPROXIMATE LOCATION OF EXISTING OVERHEAD POWER
- APPROXIMATE LOCATION OF EXISTING POWER POLE
- EXISTING ELECTRICAL METER
- ASSUMED LOCATION OF EXISTING BURIED ELECTRICAL SERVICE BASED ON POWER POLE AND METER LOCATION

**SITE PLAN NOTES**

- ALL PROPOSED SIGNS TO BE ATTACHED TO BUILDINGS.
- ADDITIONAL EXTERIOR LIGHTING IS NOT BEING PROPOSED.
- LANDSCAPING WILL CONSIST OF PLANTING A MINIMUM 10' WIDE BUFFER WITH GRASS ALONG THE NORTH, EAST, AND SOUTH PROPERTY LINES.
- TEMPORARY DUMPSTERS WILL BE LOCATED ONSITE DURING CONSTRUCTION AND PLACED NEXT TO EACH BUILDING BEING ERRECTED. THE DUMPSTERS WILL BE REMOVED ONCE CONSTRUCTION HAS CEASED.
- DUST CONTROL BY EITHER APPLYING WATER OR MAGNESIUM CHLORIDE SHALL BE PERFORMED DURING CONSTRUCTION AND CONTINUE UNTIL ACCESS AREAS HAVE BEEN PAVED.
- BURIED UTILITY LOCATIONS INSIDE PRIVATE PROPERTY NOT VERIFIED. UTILITIES SHOWN ARE ASSUMED BASED ON APPARENT ASSOCIATED APPURTENANCES.

AREA CALCULATIONS PRIOR TO DEDICATION:

- TOTAL AREA = 196,540 SF (±4.5 ACRES)
- TOTAL BUILDING FLOOR AREA = 76,080 SF
- TOTAL OPEN SPACE = 120,460 SF (61%)
- TOTAL IMPERVIOUS AREA = 181,170 SF (92%)
- TOTAL GREEN SPACE = 15,370 (8%)

AREA CALCULATIONS AFTER DEDICATION:

- TOTAL AREA = 192,390 SF (±4.5 ACRES)
- TOTAL BUILDING FLOOR AREA = 76,080 SF
- TOTAL OPEN SPACE = 116,300 SF (60%)
- TOTAL IMPERVIOUS AREA = 177,370 SF (92%)
- TOTAL GREEN SPACE = 15,020 (8%)

**RECEIVED**  
*Revised*  
**JAN 14 2026**  
**PLANNING**  
**CITY OF PONDERAY**

NO.	REVISION	DATE

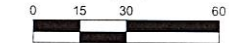
**James A. Sewell and Associates, LLC**  
1319 NORTH DIVISION AVENUE  
SANDPOINT, IDAHO 83864  
(208) 263-4160

SHEET TITLE:	SITE PLAN
PROJECT:	SSG PONDERAY PONDERAY, IDAHO
DATE:	12-11-2025
SCALE:	AS SHOWN
DESIGNED:	BSS
DRAWN:	NCF
CHECKED:	BSS
PROJ. NO.:	23321-25-001
CAD FILE:	E-WOMACK
SHEET	2 OF 4

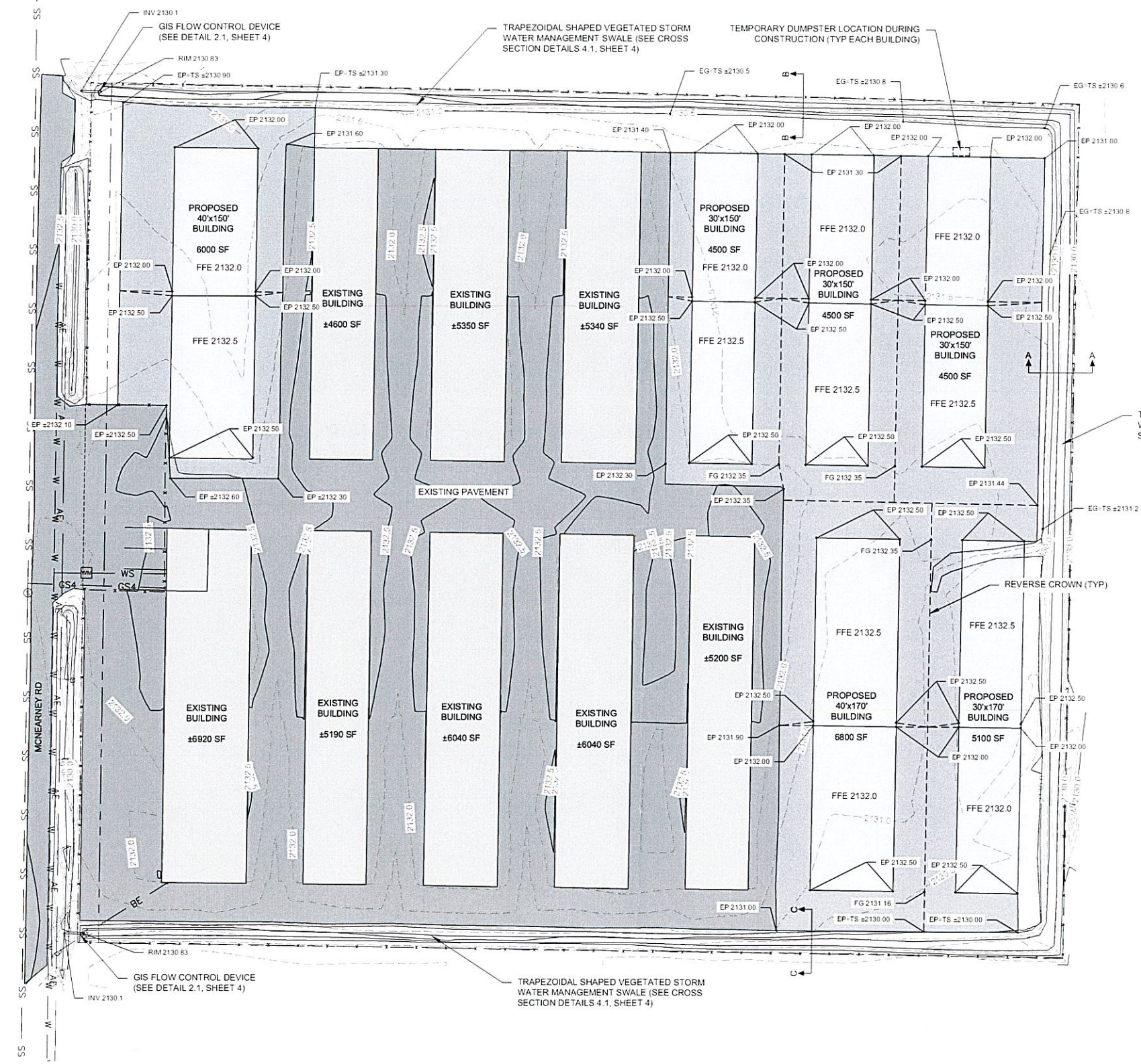
RECEIVED

Revised  
JAN 14 2026

PLANNING  
CITY OF PONDERAY



SCALE IN FEET  
CONTOUR INTERVAL IS 0.5'  
DATUM: NAVD 88

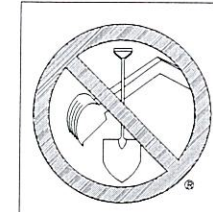


**DUST CONTROL**

- DUST CONTROL BY EITHER APPLYING WATER OR MAGNESIUM CHLORIDE SHALL BE PERFORMED DURING CONSTRUCTION AND CONTINUE UNTIL ACCESS AREAS HAVE BEEN PAVED

**SPOT ELEVATION KEY**

- FFE = FINISH FLOOR ELEVATION
- INV = INVERT OF PIPE ELEVATION
- EP = EDGE OF HMA PAVEMENT ELEVATION
- TCS = TOP OF CONCRETE SLAB ELEVATION
- EG = EXISTING GRADE ELEVATION
- FG = FINISH GRADE ELEVATION
- AG = ADJACENT GRADE (I.E. BACKFILL AT FDN. WALL)
- SW = TOP OF SIDEWALK ELEVATION
- TS = TOP OF SWALE ELEVATION
- BS = BED OF SWALE ELEVATION
- FL = FLOW LINE ELEVATION OF DITCH OR SWALE
- TW = TOP OF WALL ELEVATION
- BW = BOTTOM OF WALL ELEVATION (AT FINISH GRADE)
- CC = CURB CUT



**CALL**  
2 WORKING  
DAYS  
**BEFORE**  
**YOU DIG!**

Bonner Boundary One Call  
811



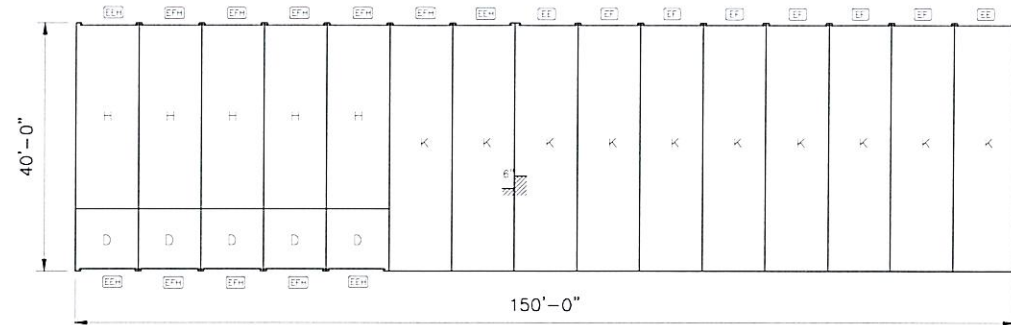
**James A. Sewell and Associates, LLC**  
1319 NORTH DIVISION AVENUE  
SANDPOINT, IDAHO 83864  
(208) 263-4160



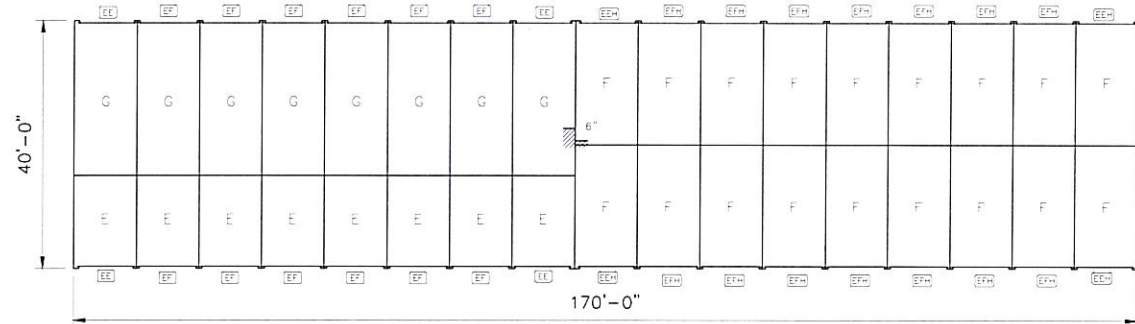
SHEET TITLE: **GRADING AND STORM WATER  
MANAGEMENT PLAN**  
PROJECT: **SSG PONDERAY  
PONDERAY, IDAHO**

DATE	12-11-2025
SCALE	AS SHOWN
DWG. DATE	BSB
DRAWN	NCF
CHECKED	BSB
PROJ. NO.	23321-25-001
DWG. FILE	E-WOMACK

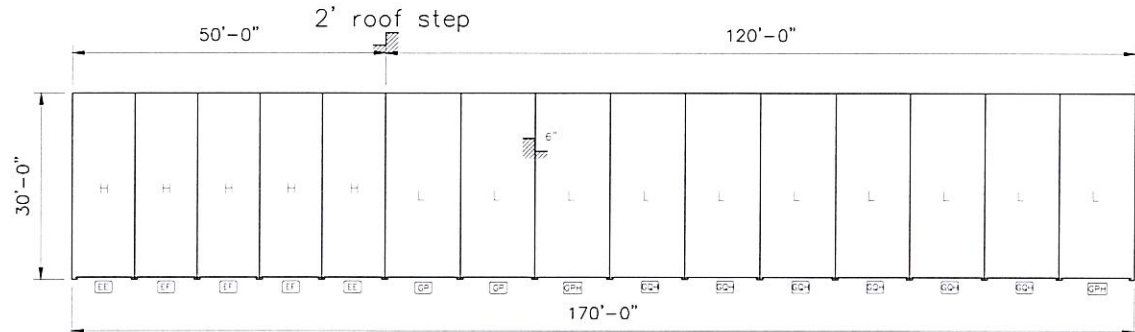




A - 40'-0" x 150'-0" x 9'-4"/9'-10" 1/4:12 PITCH GABLE BUILDING SYSTEM WITH A CONTINUOUS ROOF LINE



B - 40'-0" x 170'-0" x 9'-4"/9'-10" 1/4:12 PITCH GABLE BUILDING SYSTEM WITH A CONTINUOUS ROOF LINE



C - 30'-0" x 50'-0" x 9'-4" adj a 30'-0" x 120'-0" x 11'-4"/11'-10" 1/4:12 PITCH GABLE BUILDING SYSTEM WITH A CONTINUOUS ROOF LINE (on the 11'-4"/11'-10" section)

## UNIT MIX

LABEL	UNIT SIZE	# UNITS	%	SQ. FEET
D	10 x 10	5	7.2	500
E	10 x 15	8	11.6	1200
F	10 x 20	18	26.1	3600
G	10 x 25	8	11.6	2000
H	10 x 30	10	14.5	3000
K	10 x 40	10	14.5	4000
L	12 x 30	10	14.5	3600
TOTAL		69	100	17900

DOOR SCHEDULE							
QTY	CODE	TYPE	SIZE	ROUGH OPENING (REF)	MANUF.	DESCRIPTION	COLOR
8	EE	ROLL-UP	8'-8" x 8'-0"	8'-8" x 8'-0"	TRAC-RITE/eq.	ROLL-UP DOOR	COLORED ..
8	EEH	ROLL-UP	8'-8" x 8'-6"	8'-8" x 8'-6"	TRAC-RITE/eq.	ROLL-UP DOOR	COLORED ..
21	EF	ROLL-UP	9'-0" x 8'-0"	9'-0" x 8'-0"	TRAC-RITE/eq.	ROLL-UP DOOR	COLORED ..
22	EFH	ROLL-UP	9'-0" x 8'-6"	9'-0" x 8'-6"	TRAC-RITE/eq.	ROLL-UP DOOR	COLORED ..
2	GP	ROLL-UP	10'-8" x 10'-0"	10'-8" x 10'-0"	TRAC-RITE/eq.	ROLL-UP DOOR	COLORED ..
2	GPH	ROLL-UP	10'-8" x 10'-6"	10'-8" x 10'-6"	TRAC-RITE/eq.	ROLL-UP DOOR	COLORED ..
6	GQH	ROLL-UP	11'-0" x 10'-6"	11'-0" x 10'-6.75"	TRAC-RITE/GQ	ROLL-UP DOOR	COLORED ..

ROLL-UP DOORS MEET ASTM E330

DO NOT ORDER DOORS BY OTHERS PRIOR TO RECEIVING THE ERECTION SET. RO AND DOOR SIZES MAY VARY DUE TO ENGINEERING ISSUES.

## NOTICE

NO FABRICATION CAN BE SCHEDULED OR BEGUN UNTIL "APPROVED" OR "APPROVED AS NOTED" DOCUMENTS ARE RECEIVED BY TRACHTe BUILDING SYSTEMS. COMPLETE THE FOLLOWING:

\_\_\_ APPROVED - RELEASE FOR FABRICATION  
 \_\_\_ APPROVED AS NOTED - RELEASE FOR FABRICATION  
 \_\_\_ REVISE & RESUBMIT  
 SIGNATURE \_\_\_\_\_  
 COMPANY \_\_\_\_\_  
 DATE \_\_\_\_\_

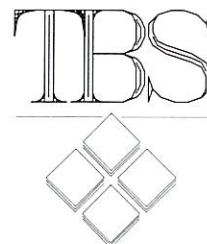
\*\* THE ABOVE PLAN MAY NOT REFLECT THE IMPLICATIONS OF SECTION 903.2.9 OF THE 2012 THROUGH 2021 IBC CODES WHICH MAY REQUIRE 3 HOUR FIREWALLS EVERY 2,500 SQFT OR MAY REQUIRE YOU TO SPRINKLE THE BUILDING.

\*\*\* TRACHTe RECOMMENDS (IN USA ONLY) THAT ALL PROJECTS REQUIRE A NUMBER OF UNITS BE ADA ACCESSIBLE, IF A CUSTOMER CHOOSES TO NOT CONFORM TRACHTe WILL NOT BE HELD ACCOUNTABLE.

TRACHTe BUILDING SYSTEMS, Inc.

*This drawing and all parts thereof is the exclusive property of*

314 Wilburn Road, Sun Prairie, Wisconsin  
 (800/356-5824) (Local 608/837-7899)  
 and may not be reproduced in whole or part without written permission.



Revisions:

By:	Job Description:

Name: MJL Scale: 1 = 40' Date: 1/8/26

PAGE#

PROPOSED STORAGE SYSTEM FOR:  
 Bulldogs State Storage  
 1214 McNearney Rd  
 Ponderay, ID 83852

Sheet Title Plan #

FLOOR PLAN

62503

SALES ONLY

RECEIVED

Revised

JAN 14 2026

PLANNING  
 CITY OF PONDERAY