

City of Ponderay
208-265-5468 • Fax: 208-265-4357
288 Fourth Street • P.O. Box 500
Ponderay, ID 83852
www.cityofponderay.org

RECEIVED

SEP 17 2025

CITY CLERK
CITY OF PONDERAY

Site Plan Application

Site/Project Information

Brief Project Description: PROPOSED OUTSIDE STORAGE BEHIND
MINI STORAGE. APPROX. 26 STALLS.

Project Representative: TRAVIS HALLER (7B ENGINEERING)

E-mail: travis@7BEngineering.com

Phone #'s: 208-263-0623

Location: 1000 McNEARNEY ROAD

Legal Description: Z-57N-2W TAX 50 BASELESS MINI STORAGE

Applicant/Owner Information

Name:

NEIL MARSHALL & MEL LANGFORD

Legal Owner:

MARSHALL & LANGFORDS

Signature:

Travis Haller (REP)

Mailing Address:

B9 RAWSON RD, SHARPSBURG, GA

E-Mail:

MARSHALL399@mac.com / mw1399@gmail.com

Phone #'s:

818-903-8652 | 661-857-3177

Ponderay Planning Department

File Number: SP25-113

Fees:

\$400. App

\$300. SW

RPP000000 28772A

Zoning:

Industrial

Received By:

Date:

Shi 9/17/25

Comments:

Bayless Ministorage – Vicinity Map



3080



7B Engineering
414 Church Street, Suite 203
Sandpoint, Idaho 83864

Idaho Central Credit Union
8760 North Government Way
Hayden, ID 83835
92-7362/3241

9/15/2025

PAY TO THE
ORDER OF

City of Ponderay

\$ **700.00

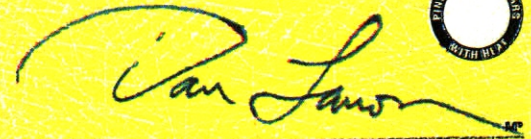
Seven Hundred and 00/100

DOLLARS

PROTECTED AGAINST FRAUD



Planning
City of Ponderay
288 Fourth Street
PO Box 500
Ponderay, ID 83852
Application Fee - Bayless Mini-Storage



MEMO

⑈003080⑈ ⑆324173626⑆ 717173099⑈

7B Engineering

3080

City of Ponderay

9/15/2025

Application Fee - Bayless Mini-Storage

700.00

ICCU Checking

Application Fee - Bayless Mini-Storage

700.00

CRB 120-2

CITY OF PONDERAY
P.O. Box 500
PONDERAY, ID 83852
(208) 355-8400 • (208) 355-4057

CASH RECEIPT

Date

9-17-25

002474

Received From

7B ENGINEERING

Address

For

Siteplan Application

Dollars \$

700.00

ACCOUNT

HOW PAID

AMT. OF ACCOUNT		CASH	
AMT. PAID	700.00	CHECK	# 3080
BALANCE DUE		MONEY ORDER	
		CREDIT CARD	

By

K-ODB

CASH RECEIPT

Date

002475

357

Instrument # 1030017
Bonner County, Sandpoint, Idaho
02/01/2024 12:36:36 PM No. of Pages: 5
Recorded for: TITLEONE - NORTH IDAHO
Michael W. Rosedale Fee: \$15.00
Ex-Officio Recorder Deputy bcentorbi
Index to: QUIT CLAIM DEED

ACCOMMODATION RECORDING
TITLEONE CO. HAS
NOT EXAMINED THIS DOCUMENT, ASSUMES
NO LIABILITY AS TO THE VALIDITY AND
ITS EFFECTS UPON THE TITLE.

QUITCLAIM DEED
(To Complete a Boundary Line Adjustment)

For Value Received,

Neil Marshall and Roberta Marshall, husband and wife and Mel Langford Jr. and Colleen Langford, husband and wife

does hereby convey, release, remise, and forever quitclaim unto

Neil Marshall and Roberta Marshall, husband and wife and Mel Langford Jr. and Colleen Langford, husband and wife

whose address is: 89 Rawson Rd. Sharpsburg, GA 30277

the following described premises, to-wit:

See attached Exhibit A

Together with their appurtenances and after acquired title.

Neil Marshall

Roberta Marshall

Mel Langford Jr.

Mel Langford Jr.

Colleen Langford

Colleen Langford

QUITCLAIM DEED

(To Complete a Boundary Line Adjustment)

For Value Received,

Neil Marshall and Roberta Marshall, husband and wife and Mel Langford Jr. and Colleen Langford, husband and wife

does hereby convey, release, remise, and forever quitclaim unto

Neil Marshall and Roberta Marshall, husband and wife and Mel Langford Jr. and Colleen Langford, husband and wife

whose address is: 89 Rawson Rd. Sharpsburg, GA 30277

the following described premises, to-wit:

See attached Exhibit A

Together with their appurtenances and after acquired title.

Neil Marshall

Neil Marshall

Roberta Marshall

Roberta Marshall

Mel Langford Jr.

Colleen Langford

State of Idaho

County of Bonner

)
) ss.
)

On this _____ day of _____ in the year of 2024, before me, the undersigned, a Notary Public in and for said State, personally appeared Neil Marshall known or identified to me to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same.

Notary Public
Residing at _____
My commission expires: _____

State of Idaho

County of Bonner

)
) ss.
)

On this _____ day of _____ in the year of 2024, before me, the undersigned, a Notary Public in and for said State, personally appeared Roberta Marshall known or identified to me to be the person whose name is subscribed to the within instrument and acknowledged to me that she executed the same.

Notary Public
Residing at _____
My commission expires: _____

State of Texas

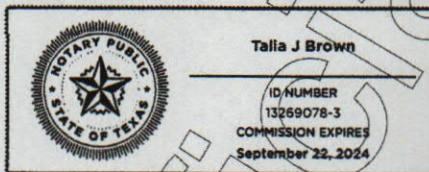
County of Dallas

)
) ss.
)

Document: QuitClaim Deed *MB*

On this 29th day of January in the year of 2024, before me, the undersigned, a Notary Public in and for said State, personally appeared Mel Langford Jr. known or identified to me to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same.

Electronically signed and notarized online using the Proof platform



Talla J Brown
Notary Public
Residing at Dallas County, Texas
My commission expires: 09/22/2024

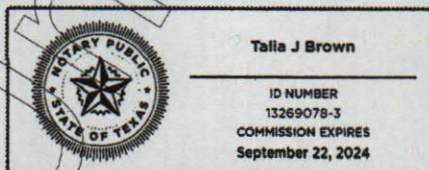
State of Texas

County of Dallas

)
) ss.
)

Document: QuitClaim Deed *MB*

On this 29th day of January in the year of 2024, before me, the undersigned, a Notary Public in and for said State, personally appeared Colleen Langford known or identified to me to be the person whose name is subscribed to the within instrument and acknowledged to me that she executed the same.



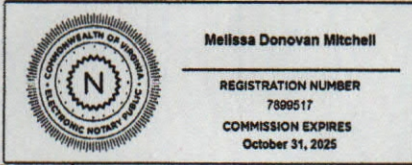
Talla J Brown
Notary Public
Residing at Dallas County, Texas
My commission expires: 09/22/2024

Electronically signed and notarized online using the Proof platform

State of Virginia

County of King William

On this 29th day of January in the year of 2024, before me, the undersigned, a Notary Public in and for said State, personally appeared Neil Marshall known or identified to me to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same.



State of Virginia

County of King William

Notary Public

Residing at King William, Virginia

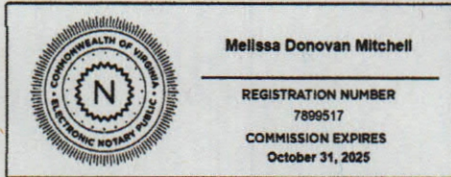
My commission expires: 10/31/2025

My Commission Number: 7899517

Notarized online using audio-video communication

) ss.

On this 29th day of January in the year of 2024, before me, the undersigned, a Notary Public in and for said State, personally appeared Roberta Marshall known or identified to me to be the person whose name is subscribed to the within instrument and acknowledged to me that she executed the same.



State of Idaho

County of Bonner

Notary Public

Residing at King William, Virginia

My commission expires: 10/31/2025

My Commission Number: 7899517

Notarized online using audio-video communication

) ss.

On this day of in the year of 2024, before me, the undersigned, a Notary Public in and for said State, personally appeared Mel Langford Jr. known or identified to me to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same.

Notary Public

Residing at

My commission expires:

State of Idaho

County of Bonner

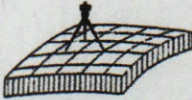
) ss.

On this day of in the year of 2024, before me, the undersigned, a Notary Public in and for said State, personally appeared Colleen Langford known or identified to me to be the person whose name is subscribed to the within instrument and acknowledged to me that she executed the same.

Notary Public

Residing at

My commission expires:

**GLAHE & ASSOCIATES, Professional Land Surveyors**

P.O. Box 1863
303 Church St.
Sandpoint, ID 83864

Phone: (208) 265-4474
Fax: (208) 265-0675
Website: glaheinc.com

Legal Description

1.733 Ac.

Bonner County, Idaho

Section 2, Township 57 North, Range 2 West,
B.M.

A parcel of land, being a portion of those parcels described in Quit Claim Deed, Instrument No. 1012543, and Warranty Deed, Instrument No. 719982, located in the Southeast Quarter of Section 02, Township 57 North, Range 2 West, Boise Meridian, Bonner County, Idaho, and being more particularly described as follows:

COMMENCING at the South Quarter corner of said Section 2, North $00^{\circ}21'42''$ East, a distance of 294.49 feet, along the north-south center line of said Section;

Thence South $88^{\circ}12'54''$ East, a distance of 19.44 feet, to the east right-of-way of McNearney Road, monumented by a 5/8" rebar with no cap, being the **TRUE POINT OF BEGINNING**;

Thence along said right-of-way North $00^{\circ}54'59''$ East, a distance of 175.86 feet, to a 5/8" rebar and cap by PLS 882;

Thence leaving said right-of-way South $89^{\circ}22'30''$ East, a distance of 475.45 feet;

Thence South $00^{\circ}38'14''$ West, a distance of 141.82 feet, to a 5/8" rebar and cap by PLS 14879;

Thence North $88^{\circ}49'19''$ West, a distance of 247.71 feet, to a 5/8" rebar and cap by PLS 14879;

Thence South $01^{\circ}42'36''$ West, a distance of 41.06 feet, to a 5/8" rebar and cap by PLS 7879;

Thence North $88^{\circ}12'54''$ West, a distance of 227.88 feet, to said east right-of-way and the **TRUE POINT OF BEGINNING**, encompassing an area of 1.733 acres, more or less;

