

# Good Samaritan Inn - A continuum of care facility

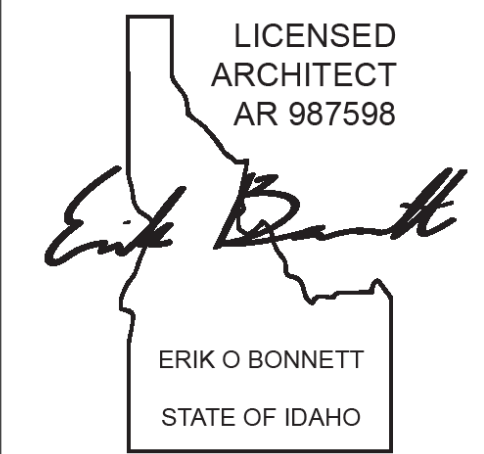
## Site Plan Set

900 Triangle Drive, Ponderay, ID, 83852



STUDIO  
co+hab

914 W Babcock St  
BOZEMAN, MT 59715  
Phone: 651.336.0394  
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### PERSPECTIVE VIEW



### PROJECT DESCRIPTION

#### THE PROJECT CONSISTS OF :

- A PROGRAM BUILDING WITH A DONATION AND DISPLAY SPACE, STORAGE, OFFICE SPACES AND TWO BATHROOMS
- 27 TRANSITIONAL HOUSING DWELLING UNITS, AND (2) 1-BEDROOM MANAGERS APARTMENTS
- A -1300 SF COMMUNITY HOUSE WITH SOCIAL/ CLASSES, LAUNDRY, AN OFFICE AND A SMALL FOOD PREP AREA

### LEGAL DESCRIPTION

The site is parcel number RPP07660020080A, Lot 8, Schweitzer Subdivision, Block 002. It is a relatively flat 2.10-acre wooded site in an primarily industrial neighborhood. The boundary and topographic survey is included in the Civil Engineering drawings dated April 5<sup>th</sup>, 2022.

### BUILDING CODE REVIEW

OCCUPANCY	CLASSIFICATION	CONSTRUCTION TYPE
Dwelling units IRC	R3 (Separated to form duplexes)	VB non-sprinklered
Common Facilities	B+R3 Accessory (Separated)	VB 13D system
HHHH Center	M+S1+B (Unseparated)	VB non-sprinklered*

\*Building is less than 12,000 sf, so an automatic sprinkler system is not required per IBC 2018 - 903

- ALL RESIDENTIAL BUILDINGS ARE SEPARATED TO FOR DUPLEXES SO THESE BUILDINGS ARE REGULATED BY THE IRC.
- REQUIRED FIRE SEPARATIONS
  - R-R UNSPRINKLERED: 1 HOUR (708.3, 711.2.4.3)
  - R-B UNSPRINKLERED: 2 HOURS (508.4)

#### ACCESSIBILITY

- COMMON AREAS, MUST COMPLY WITH CHAPTER 11 OF THE BUILDING CODE.

#### ACCESSIBLE UNITS

- NO TYPE A UNIT REQUIRED IN THE IRC
- ONE UNIT IS ON TOP OF AN IBC COMMUNITY HOUSE, SO ONE OTHER UNIT MUST BE TYPE A.

#### HHHH CENTER - BUILDING OCCUPANT LOADS

SPACE CATEGORIES - HHHH CENTER		
Display		
DONATION AND DISPLAY	978 SF	
	978 SF	
Office Space		
CIRCULATION 2	60 SF	
ENTRY	90 SF	
OFFICE 1	121 SF	
OFFICE 2	84 SF	
OFFICE - DIRECTOR	98 SF	
SHOWER	72 SF	
WC	36 SF	
	561 SF	

Storage Space		
CIRCULATION 1	100 SF	
DONATION STORAGE	487 SF	
FOOD STORAGE	164 SF	
UTILITY	82 SF	
	833 SF	

SPACE	SF	OL
DONATION AND DISPLAY @ 60 SF/PRS	978	17
OFFICE SPACE @ 150 SF/PRS GROSS	563	4
STORAGE @ 300 SF/PRS GROSS	833	3

### APPLICABLE CODES

#### BUILDING:

- 2018 International Building Code, with amendments
- 2018 International Residential Code (parts I, II, III and IX), with Idaho amendments collectively named the Idaho Residential Code (2020 Edition)
- 2018 International Energy Conservation Code, with amendments collectively named the Idaho Energy Conservation Code (2020 Edition)

#### ELETRICAL:

- 2017 NEC with amendments

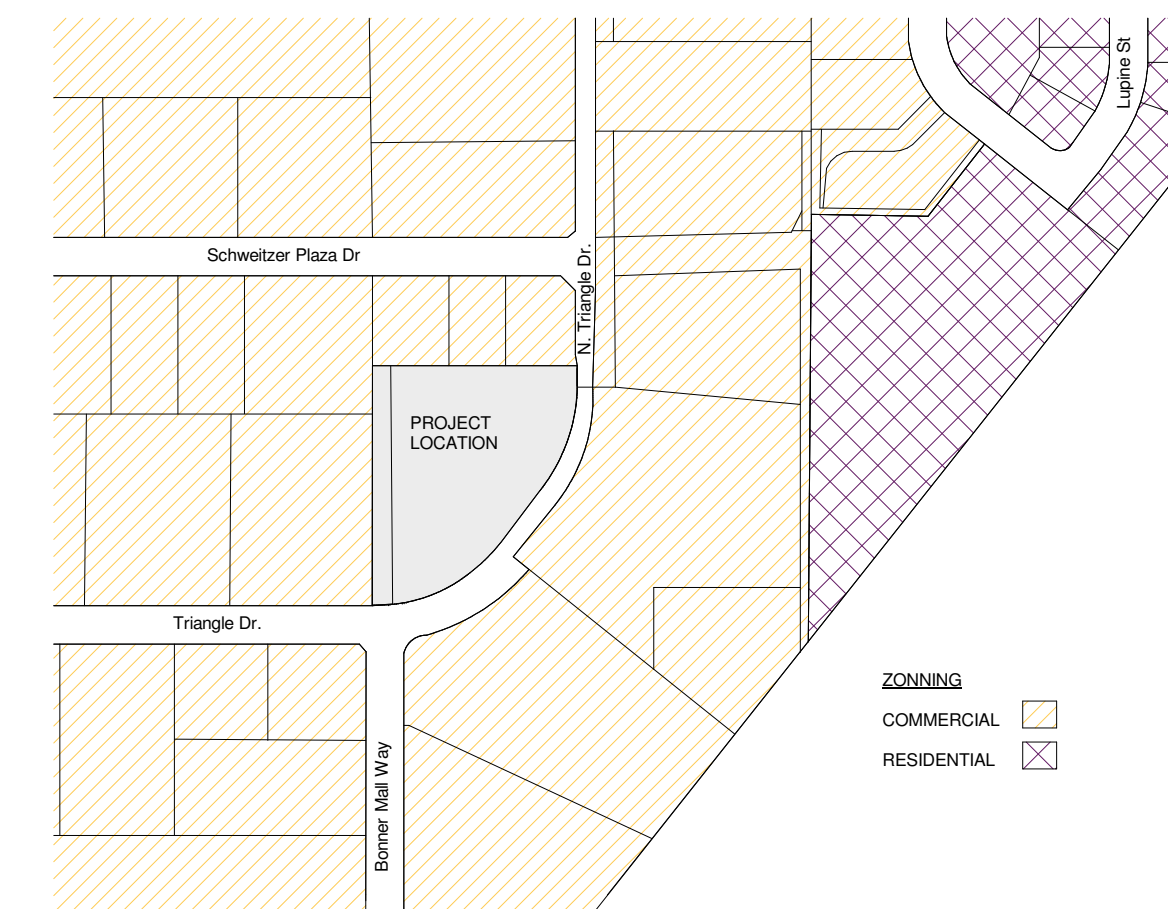
#### MECHANICAL:

- 2018 International Mechanical Code
- 2018 International Fuel Gas Code
- 2018 International Residential Code Parts V & VI

#### PLUMBING:

- 2017 Idaho State Plumbing Code based on the 2015 Uniform Plumbing Code.

### VICINITY MAP



Vicinity Map  
1" = 300'-0"

### SHEET INDEX

- A0.0 Coversheet
- C1.0 Civil Survey & Existing Condition
- C2 Civil grading & drainage, parking calculations
- C3 Civil utilities
- C4 Civil general details
- A1.0 Site Plan
- A2.3.0 DWELLING UNIT - Floor Plans
- A2.3.1 DWELLING BUILDING - Floor and Roof Plans
- A2.4.0 DWELLING BUILDING - Exterior Elevations
- A3.3.0 COMMUNITY HOUSE - Floor Plans
- A3.4.0 COMMUNITY HOUSE - Exterior Elevations
- A3.4.1 COMMUNITY HOUSE - Exterior Elevations
- A4.3.0 HHHH CENTER - First Floor
- A4.3.1 HHHH CENTER - Roof Plan
- A4.4.0 HHHH CENTER - Exterior Elevations

### REVISIONS

No.	Description	Date

### PROJECT DIRECTORY

#### OWNER:

HELPING HANDS HEALING HEARTS  
221 S DIVISION AVE, SANDPOINT ID 83864  
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Phone: 208-263-6378

#### PROJECT MANAGER:

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208-920-3728  
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#### ARCHITECT:

ERIK BONNETT - STUDIO CO + HAB, LLC  
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#### PROJECT NUMBER

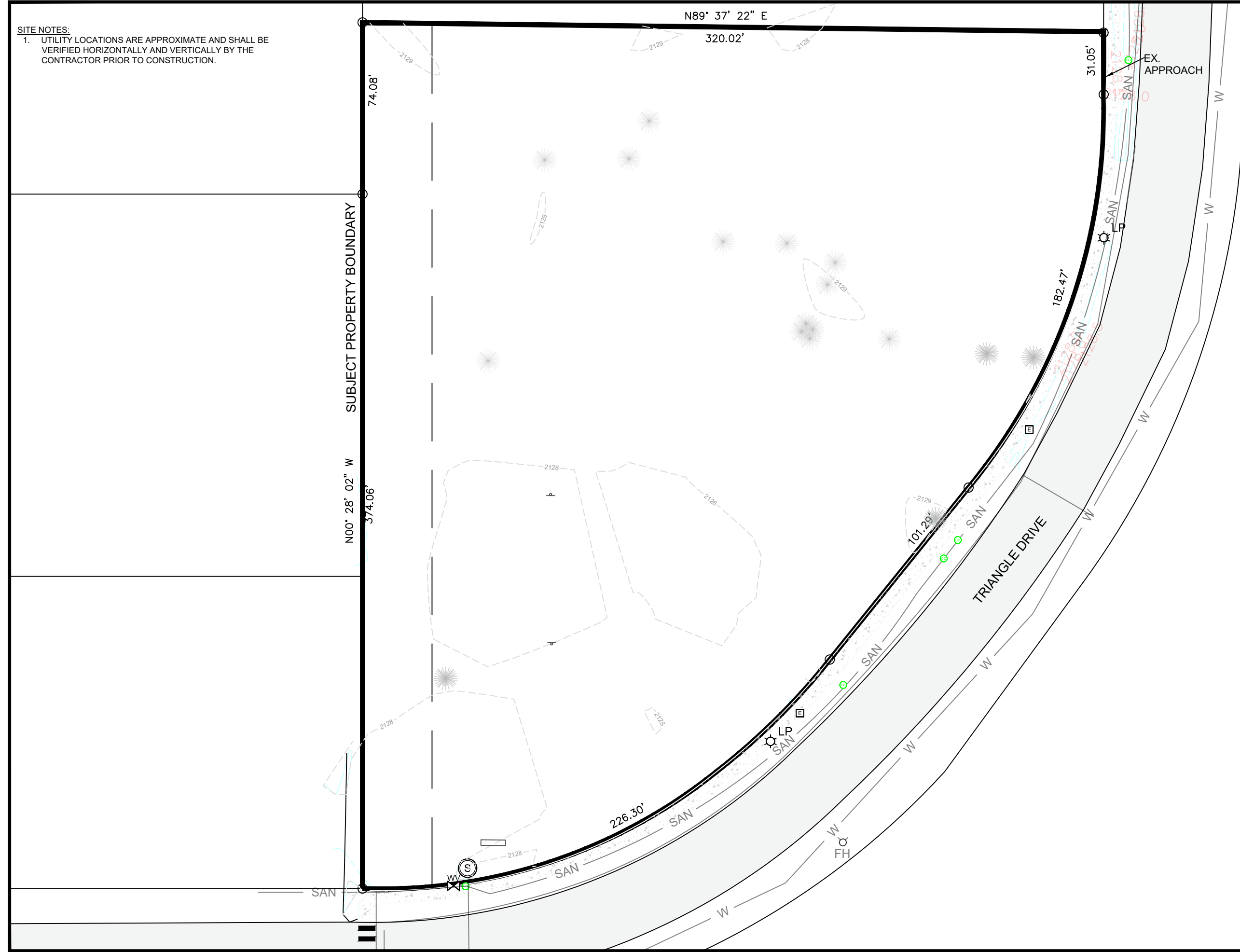
2303GSI

#### DATE

7/11/2024



**SITE NOTES:**  
 1. UTILITY LOCATIONS ARE APPROXIMATE AND SHALL BE VERIFIED HORIZONTALLY AND VERTICALLY BY THE CONTRACTOR PRIOR TO CONSTRUCTION.



SITE PLAN SET 07.11.24



PROJ. NO.	REVISION	DATE	BY	SHEET
CW163				C-1
DWN. BY	NMC			
DATE	7/17/2024			

**GOOD SAMARITAN INN**

**EXISTING CONDITIONS**

**Clearwater Engineering, LLC**

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[clearwatereng.idaho@gmail.com](mailto:clearwatereng.idaho@gmail.com)



0 20' 40'  
 SCALED FOR 22" X 34" DRAWING SHEET  
 1" CONTOUR INTERVALS

LOT SIZE = 1.858 AC.  
EXISTING IMPERVIOUS AREA = 0.0 AC.

**PHASE 1:**  
PROPOSED ADDITIONAL IMPERVIOUS AREA = 0.48 AC.  
TOTAL IMPERVIOUS AREA = 0.48 AC.  
OPEN SPACE = 1.69 AC. = 91%  
GREEN SPACE = 1.62 AC. = 74%  
EXISTING BUILDING FLOOR AREA = 0.0 SF = 0.0 AC.  
NEW BUILDING FLOOR AREA = 7,271 SF = 0.17 AC.  
TOTAL BUILDING FLOOR AREA = 0.17 AC.

**PHASES 1 & 2 COMBINED:**  
PROPOSED ADDITIONAL IMPERVIOUS AREA = 0.85 AC.  
TOTAL IMPERVIOUS AREA = 0.85 AC.  
OPEN SPACE = 1.58 AC. = 85%  
GREEN SPACE = 1.25 AC. = 54%  
EXISTING BUILDING FLOOR AREA = 0.0 SF = 0.0 AC.  
NEW BUILDING FLOOR AREA = 12,411 SF = 0.28 AC.  
TOTAL BUILDING FLOOR AREA = 0.28 AC.

**SITE NOTES:**

1. ALL NEW SIDEWALK AND ACCESSIBLE RAMPS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACTS AND STANDARDS.
2. MAXIMUM 2% SLOPE IN ANY DIRECTION IN ADA PARKING AND ACCESS AISLE AREA. CONTRACTOR TO VERIFY.
3. THE ACCESSIBLE UNITS SHALL BE TYPE A UNITS, ICC A117.1-1103.

**LIGHTING NOTES:**

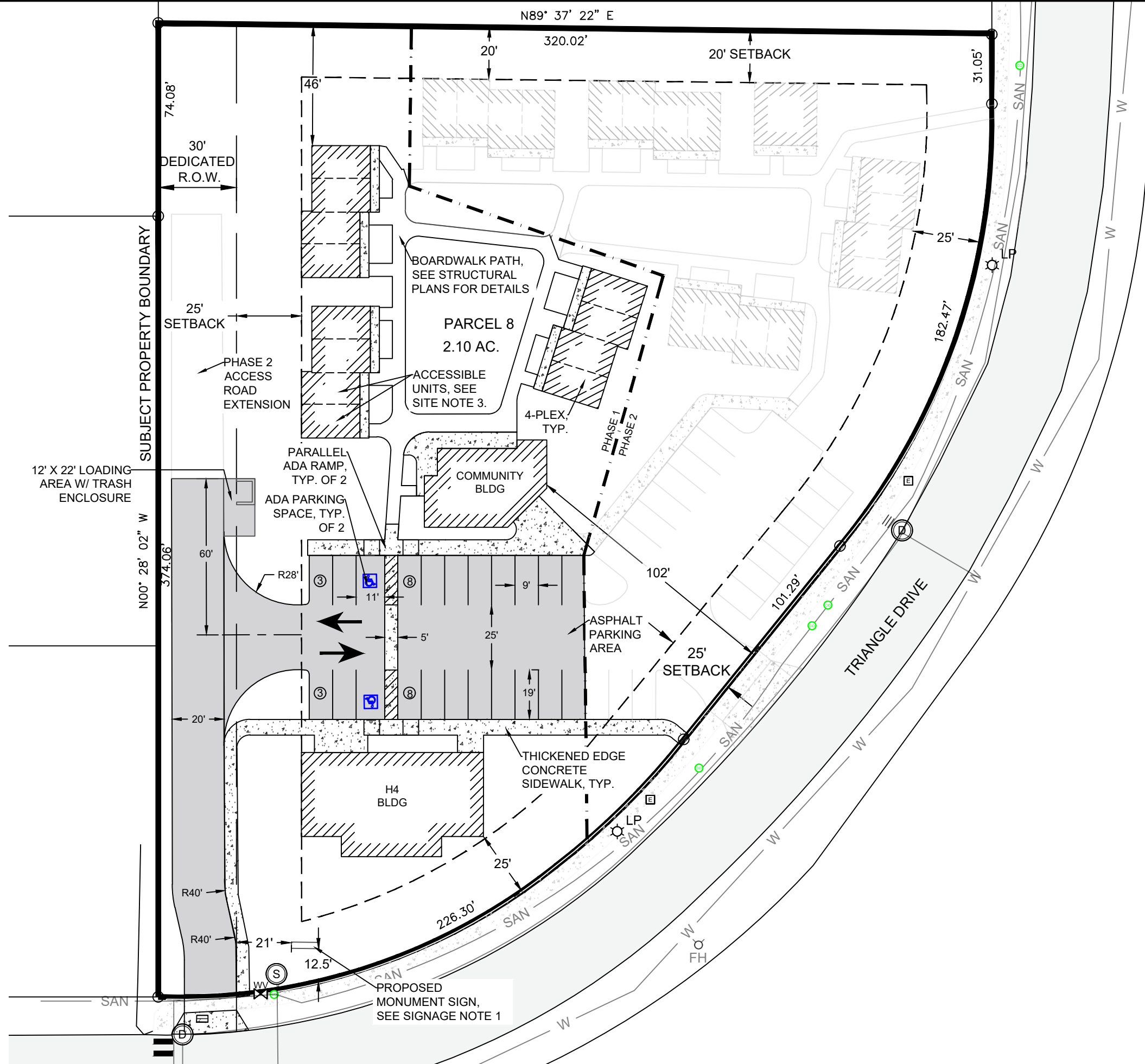
4. PROPOSED EXTERIOR LIGHTING CONSISTS OF DOWNWARD DIRECTED BUILDING MOUNTED LIGHTS.

**LANDSCAPE NOTES:**

1. ALL UNDEVELOPED AREAS WITHIN THE LIMITS OF DISTURBANCE SHALL BE HYDRO-SEEDED WITH NATIVE GRASS MIX UPON COMPLETION OF CONSTRUCTION. SEE ARCHITECTURAL PLANS FOR DETAILS.

**SIGNAGE NOTES**

1. MONUMENT SIGN SHALL CONFORM TO PCC 7-6-12 AND BE CONSTRUCTED OF APPROVED MATERIALS PER PCC 7-6-6.



SITE PLAN SET 07.11.24

PROJ. NO.	REVISION	DATE	BY	SHEET
CW163				C-2
OWN. BY	DATE	DATE	DATE	
NMC		7/11/2024	7/17/2024	

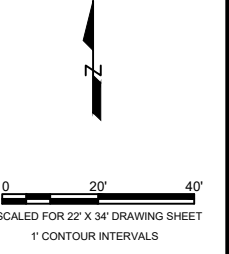


**GOOD SAMARITAN INN**

**CIVIL SITE PLAN**

**Clearwater Engineering, LLC**

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**UTILITY NOTES:**

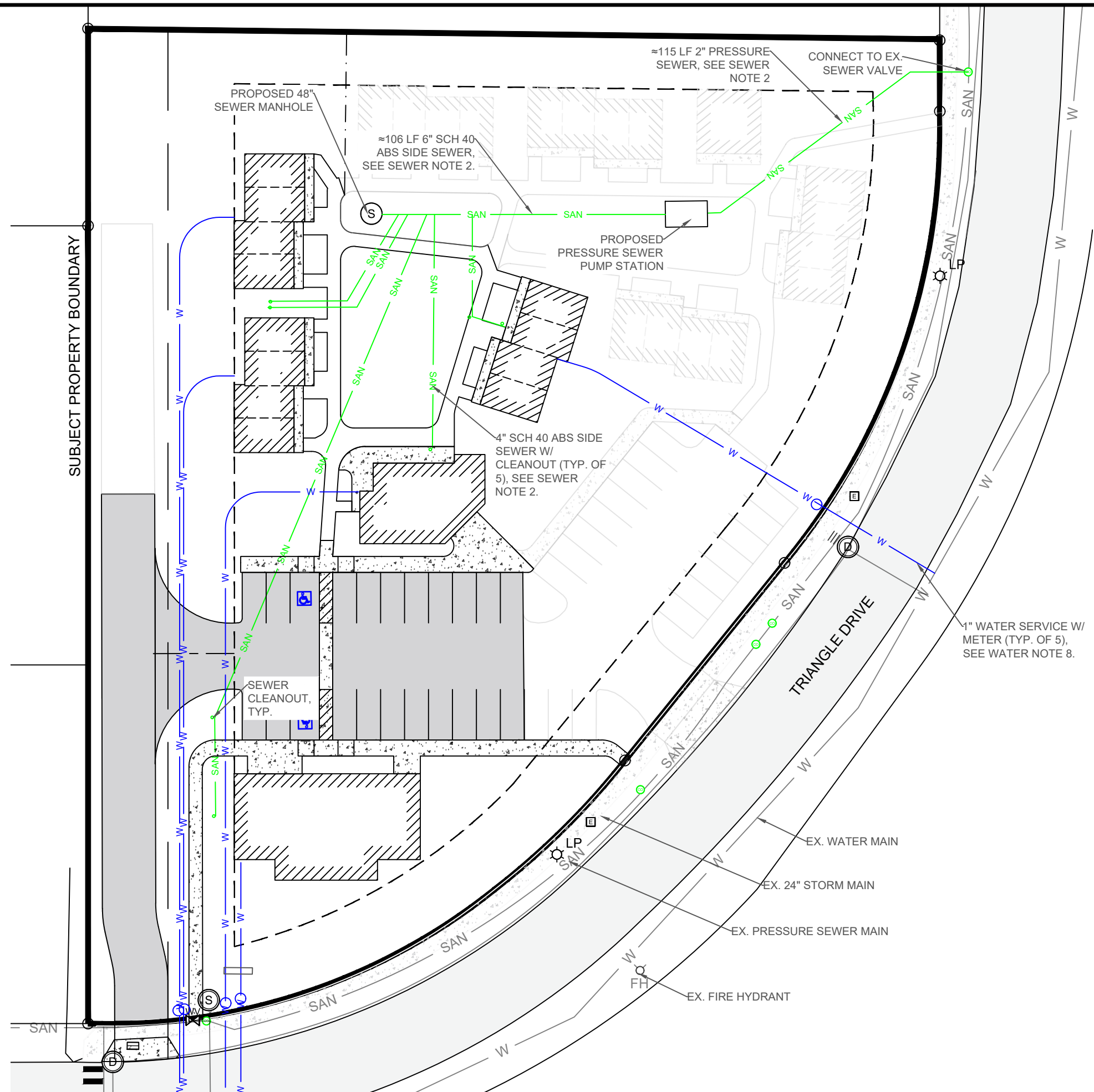
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ISPWC LATEST EDITION EXCEPT AS NOTED BELOW.
2. UTILITY LOCATIONS ARE APPROXIMATE. CONTRACTOR TO VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES INCLUDING INVERTS ASSOCIATED WITH PROPOSED CONNECTIONS.
3. CONTRACTOR TO COORDINATE INSTALLATION OF ALL SERVICES WITH ASSOCIATED UTILITIES INCLUDING SUBMITTING APPLICATIONS TO AND ACQUIRING PERMITS AS NEEDED.
4. CONTRACTOR RESPONSIBLE FOR COORDINATING A TRAFFIC CONTROL PLAN WHEN WORKING WITHIN THE RIGHT OF WAY.
5. THERE SHALL BE A MINIMUM OF 10' OF HORIZONTAL SEPARATION BETWEEN WATER AND SEWER PIPING, STRUCTURES, AND APPURTENANCES. IN ADDITION, A MINIMUM OF 18" OF VERTICAL SEPARATION IS REQUIRED BETWEEN WATER AND SEWER UTILITIES WHEN CROSSING.

**WATER NOTES:**

1. WATER SERVICES WILL BE THROUGH THE CITY OF SANDPOINT. SERVICE CONNECTION TO BE FROM WATER MAIN ON TRIANGLE DRIVE AS SHOWN.
2. WATER SERVICES SHALL INCLUDE A CORP STOP 1" (BALL TYPE CORP STOP) SEALED UNIT (FB 400 BALL CORP) - 1" AWWA/1" MALE IRON THREAD INLET BY 1" MALE IRON THREAD OUTLET. BRASS CONSTRUCTION. (FORD, MUELLER, MCDONALD)
3. WATER SERVICES SHALL BE INSTALLED WITHIN THE EXISTING SHOWN 60' ROW. 3M MID-RANGE MARKER #1257 SHALL BE PLACED AT CURB STOP AND VALVE. BRICKS SHALL BE PLACED BENEATH CORPORATION AND CURB STOP. CURB BOX SHALL BE BROOKS 250 SERIES - FULL LENGTH, WITH CAST IRON FLIP-TOP LID CUT OFF AS DIRECTED BY THE PUBLIC WORKS INSPECTOR.
4. WATER SERVICE PIPING SHALL BE IRON PIPE SIZE (IPS) POLY PIPE 200 PSI; MEETING AWWA C901 AND BEARING NSF STAMP FOR POTABLE WATER PIPE. SOLVENT WELDS NOT ACCEPTABLE. ALL BUSHINGS, NIPPLES AND FITTINGS SHALL BE BRASS MEETING NSF 61 CERTIFICATION. ALL SERVICE SADDLES SHALL BE DOUBLE STRAP-STAINLESS STEEL STRAPS.
5. WATER METERS SHALL BE BADGER AND SHALL BE LOCATED IN THE GROUND ADJACENT TO THE CURB STOP (PROVIDED AND INSTALLED BY THE CITY OF SANDPOINT). DUAL CHECK VALVE ASSEMBLY REQUIRED.
6. TRACING WIRE (12 GAUGE) SHALL BE PLACED ATOP WATER SERVICE LINES AND SHALL BE BROUGHT TO THE SURFACE ON THE OUTSIDE OF EACH WATER SERVICE CURB BOX.
7. A LICENSED CONTRACTOR IS TO HOT TAP THE EXISTING WATER MAIN UTILIZING ROMAC STAINLESS STEEL TAPPING SADDLES.
8. CONNECTIONS TO THE EXISTING WATER MAIN SHALL BE COORDINATED WITH THE CITY OF SANDPOINT.

**SANITARY SEWER NOTES:**

1. SEWER SERVICE WILL BE THROUGH THE KOOTENAI-PONDERAY SEWER DISTRICT. SERVICE CONNECTION TO BE FROM PRESSURE SEWER MAIN ON TRIANGLE DRIVE AS SHOWN.
2. SIDE SEWER SERVICE INSTALLATION SHALL ADHERE TO SECTION IV OF THE RULES AND REGULATIONS OF THE KOOTENAI-PONDERAY SEWER DISTRICT.
3. ALL SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ISPWC LATEST STANDARDS AND THE 10-STATE STANDARDS AND THE ADDITIONAL CONSTRUCTION REQUIREMENTS FROM ADDENDUM B OF THE RULES AND REGULATIONS OF THE KOOTENAI-PONDERAY SEWER DISTRICT INCLUDING BUT NOT LIMITED TO THOSE LISTED BELOW.
4. PUMP STATION MUST HAVE AN INTEGRAL BASE AND BOTTOM BARREL SECTION WITH NO JOINT FOR THREE (3) FEET.
5. CONTRACTOR MUST PROVIDE TEE AND VALVE IN PUMP STATION DISCHARGE PIPING TO ALLOW FOR AUXILIARY PUMP HOOK-UP.
6. PRESSURE SEWER LINES MUST BE 200 PSI OR SCH 40; STUB OUTS MUST HAVE BRASS OR STAINLESS STEEL ISOLATION VALVES AT THE END OF THE STUB WITH APPROPRIATE RISER AND METAL LID; STUBS MUST HAVE METALLIC TAPE MARKED "SEWER" WRAPPED AROUND VALVE TO PREVENT POTENTIAL CROSS-CONNECTION.
7. PRESSURE SEWER LINE FITTINGS MUST BE SMOOTH INTERNAL RADIUS WITH NO INTERNAL ROUGHNESS.
8. SEWER SERVICE LATERAL LOCATORS SHALL BE 3M MID-RANGE MARKERS #1258 PLACED AT EACH SEWER SERVICE STUB.
9. PUMP STATION CONTROLS AND OTHER ASSOCIATED EQUIPMENT SHALL BE DETERMINED BY THE KOOTENAI-PONDERAY SEWER DISTRICT.
10. TRACING WIRE (12 GAUGE SOLID CONDUCTOR) OF GREEN COLOR SHALL BE PLACED ATOP ALL PRESSURE AND GRAVITY LATERAL LINES.



**SITE PLAN SET 07.11.24**

PROJ. NO. CW163	REVISION	DATE	BY	SHEET
DWN. BY NMC		7/11/2024		C-3

**PROFESSIONAL ENGINEER**  
*Nicole Costello*  
 18509  
 STATE OF IDAHO  
 NICOLE M. COSTELLO

**GOOD SAMARITAN INN**

**CIVIL UTILITY PLAN**

**Clearwater Engineering, LLC**  
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 Phone: 406.690.5249  
 clearwatereng.idaho@gmail.com

0 20' 40'  
 SCALED FOR 22" X 34" DRAWING SHEET  
 1" CONTOUR INTERVALS



**STORMWATER NOTES:**

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ISPWC LATEST EDITION EXCEPT AS NOTED BELOW.
2. UTILITY LOCATIONS ARE APPROXIMATE. CONTRACTOR TO VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES INCLUDING INVERTS ASSOCIATED WITH PROPOSED CONNECTIONS.
3. CONTRACTOR TO COORDINATE INSTALLATION OF ALL SERVICES WITH ASSOCIATED UTILITIES INCLUDING SUBMITTING APPLICATIONS TO AND ACQUIRING PERMITS AS NEEDED.
4. CONTRACTOR RESPONSIBLE FOR COORDINATING A TRAFFIC CONTROL PLAN WHEN WORKING WITHIN THE RIGHT OF WAY.
5. GRASSED DETENTION AREAS SHALL SERVE AS STORAGE FOR THE 25-YEAR STORM PROVIDING A TOTAL OF 1,519 CF OF DETENTION VOLUME. BASED OFF OF THE STORMWATER RUNOFF EVALUATION, THE MINIMUM REQUIRED DETENTION VOLUME IS 1,506 CF.

**6. DETENTION AREA #1**

TOP ELEVATION = 2128.20'  
 BOTTOM ELEVATION = 2126.82'  
 8" OUTFLOW PIPE INVERT ELEV. = 2127.52'  
 3:1 SIDE SLOPES  
 VOLUME = 735 CF

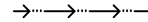
**7. DETENTION AREA #2**

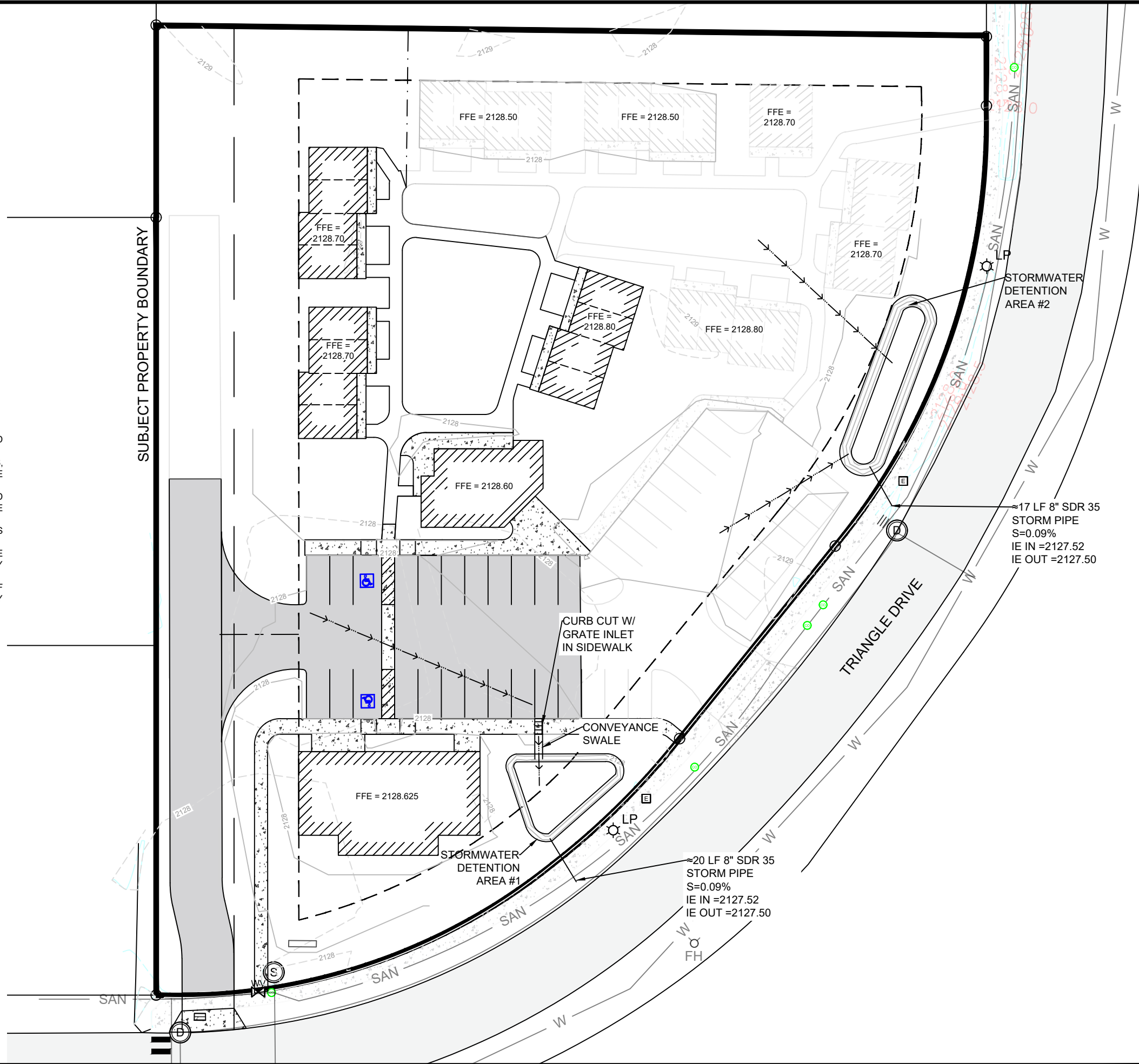
TOP ELEVATION = 2128.19'  
 BOTTOM ELEVATION = 2126.69'  
 8" OUTFLOW PIPE INVERT ELEV. = 2127.52'  
 3:1 SIDE SLOPES  
 LENGTH = 70 LF  
 BOTTOM WIDTH = 11 LF  
 TOP WIDTH = 20 LF  
 VOLUME = 784 CF

**EROSION CONTROL NOTES:**

1. INSTALL SILT FENCING PRIOR TO CONSTRUCTION AND PERPENDICULAR TO THE LINE OF FLOW AND AROUND STOCKPILES.
2. ALL SURFACES THAT ARE NOT PAVED, GRAVEL TOPPED, PONDS, LANDSCAPED OR WITHIN STRUCTURE FOOTPRINTS ARE TO BE GIVEN A MINIMUM OF 4" OF TOPSOIL AND ARE TO BE SEEDED.
3. THE CONTRACTOR IS RESPONSIBLE FOR THESE MEASURES AND FOR THE EPA'S GENERAL CONSTRUCTION PERMIT INCLUDING THE STORMWATER POLLUTION PREVENTION PLAN.
4. DUST ABATEMENT WILL BE ACHIEVED USING A WATER TRUCK AS NEEDED AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL CULVERTS INSTALLED WITHIN THE LIMITS OF DISTURBANCE SHALL HAVE WATTLES PLACED AROUND THE INLETS IMMEDIATELY AFTER INSTALLATION.
6. ROCK CAP FOR APPROACHES TO BE INSTALLED AT THE ONSET OF CONSTRUCTION TO AVOID TRACKING ONTO TRIANGLE DRIVE. ANY OFFSITE TRACKING TO BE CLEANED UP IMMEDIATELY.
7. ALL DITCHES AND PONDS TO HAVE A MAX. 3:1 SIDE SLOPE.

**GRADING NOTES:**

1. FFE = FINISHED FLOOR ELEVATION
2. DIRECTION OF FLOW: 



SITE PLAN SET 07.11.24



PROJ. NO.	REVISION	DATE	BY	SHEET
CW163				C-4
	DWN. BY	DATE	BY	
	NMC	7/11/2024		

**GOOD SAMARITAN INN**  
**STORMWATER & GRADING**  
**PLAN**

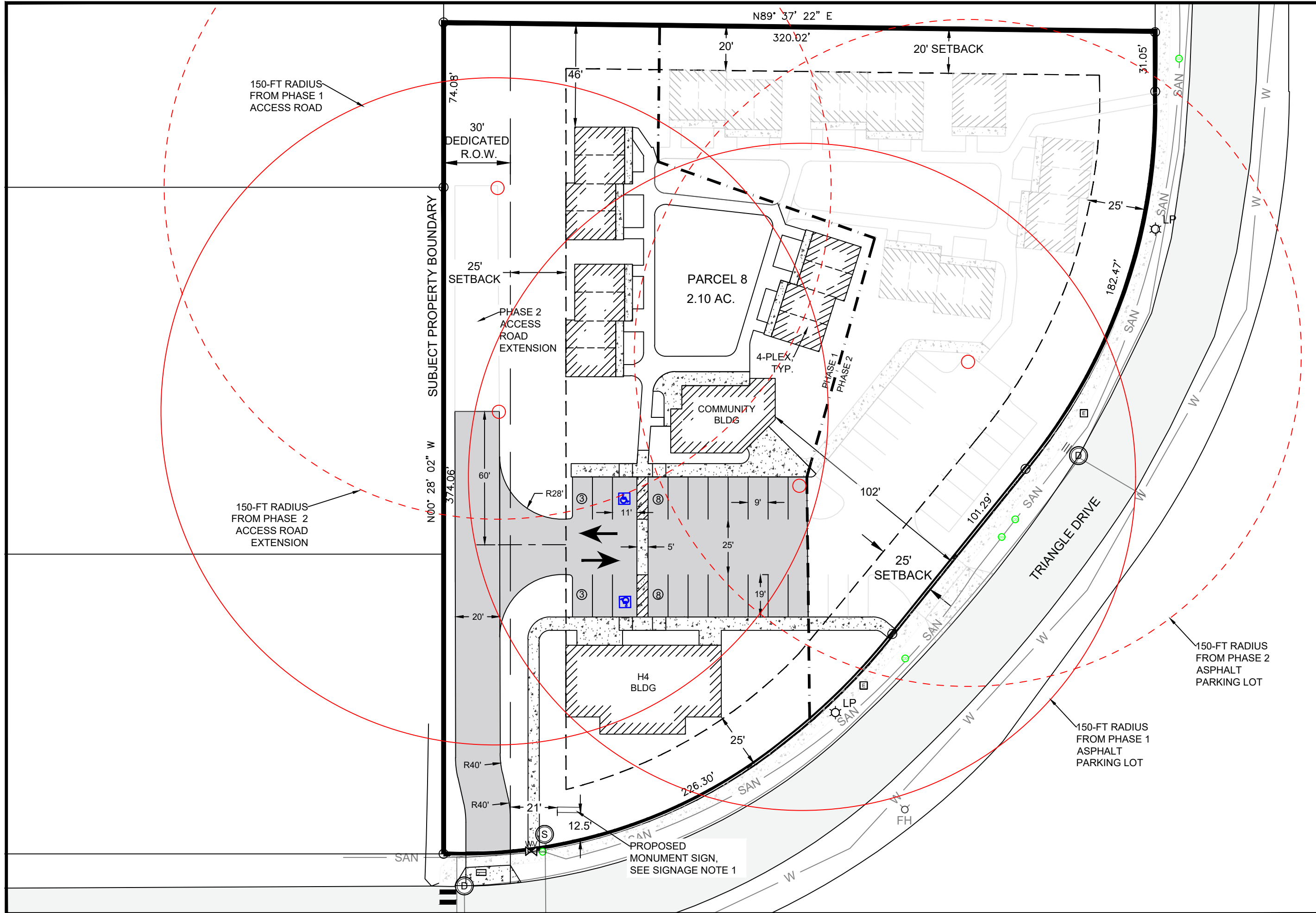
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0 20' 40'  
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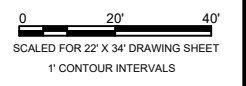


PROJ. NO.	REVISION
CW163	
DWN. BY	DATE
NMC	
DATE	BY:
11/9/2024	
	SHEET
	EX. 1

# GOOD SAMARITAN INN

## FIRE PROTECTION EXHIBIT

**Clearwater Engineering, LLC**  
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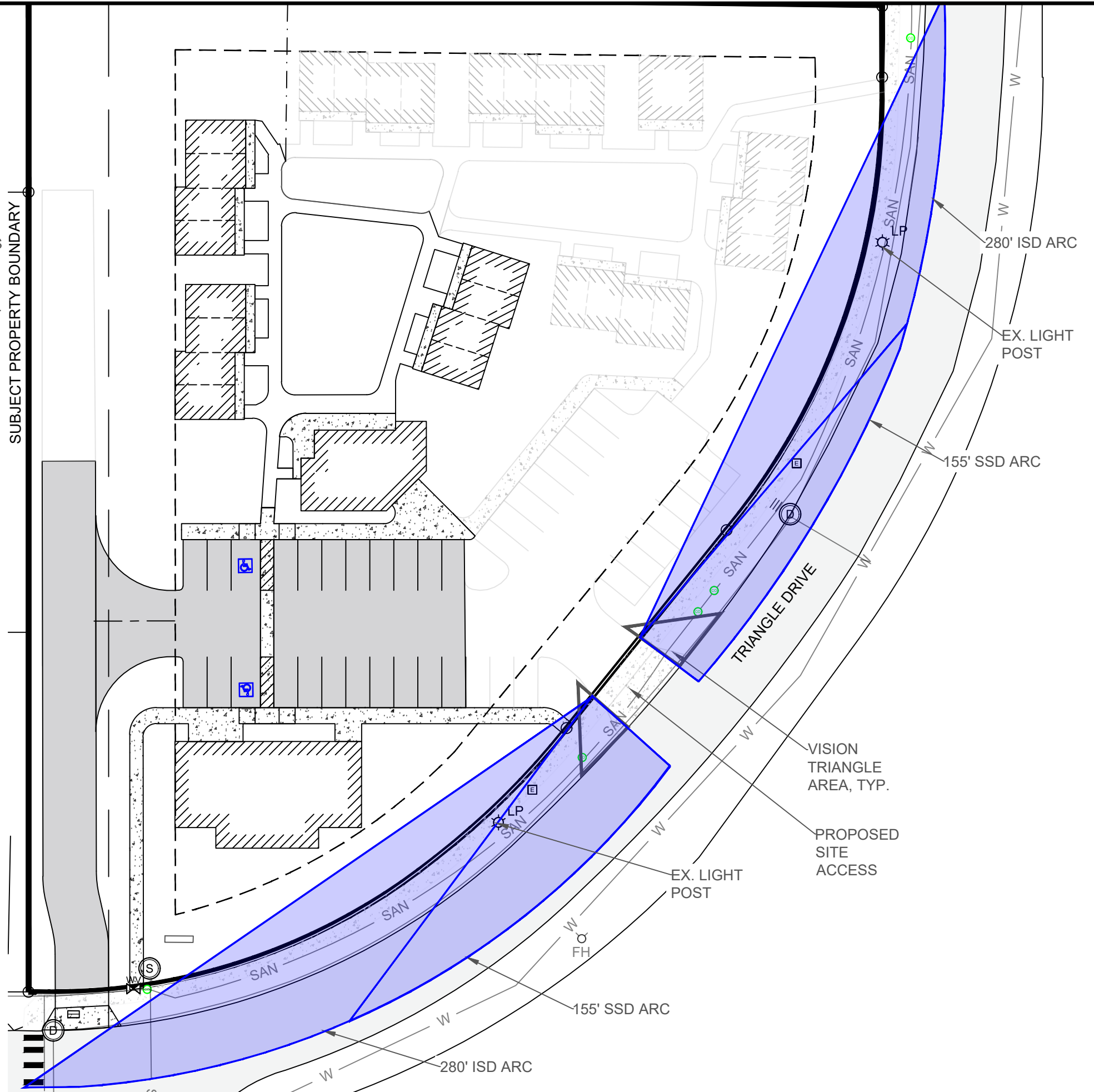




NOTES:

1. THE VISION TRIANGLE HAS BEEN SHOWN PER PCC 9-5A-2. THERE ARE NO OBSTRUCTIONS WITHIN THE VISION TRIANGLE.
2. THE 155' STOPPING SIGHT DISTANCE (SSD) HAS BEEN SHOWN FOR A 25 MPH ZONE PER THE US DEPT. OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION ( US DOT FHWA) AS ADOPTED FROM THE GEOMETRIC DESIGN REQUIREMENTS SET FORTH BY THE AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO). SSD PROVIDES SUFFICIENT DISTANCE FOR DRIVERS TO ANTICIPATE AND AVOID COLLISIONS. THE EXISTING LIGHT POST SITS ON THE EDGE OF THIS VIEW.
3. THE 280' INTERSECTION SIGHT DISTANCE (ISD) HAS BEEN SHOWN FOR A 25 MPH ZONE PER THE US DOT FHWA AS ADOPTED FROM AASHTO. THE EXISTING LIGHT POSTS ARE WITHIN THESE VIEWS, HOWEVER, THEY ARE NARROW AND NOT EXPECTED TO CAUSE VIEW OBSTRUCTIONS. ANY TREES THAT ARE PROPOSED WITHIN THE ISD WOULD BE MAINTAINED BY TRIMMING THE LOWER LIMBS SO THAT THE TREES WOULD NOT BE WITHIN THE FIELD OF VISION.

SUBJECT PROPERTY BOUNDARY

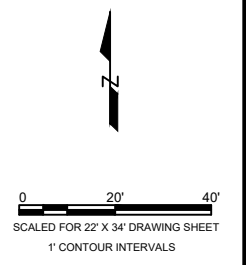


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CW163	
DWN. BY	DATE
NMC	
DATE	BY:
11/11/2024	
SHEET	
EX. 1	

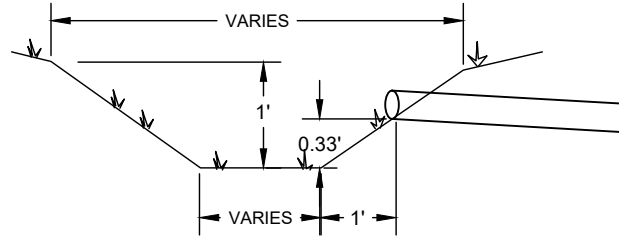
GOOD SAMARITAN INN

SIGHT DISTANCE EXHIBIT

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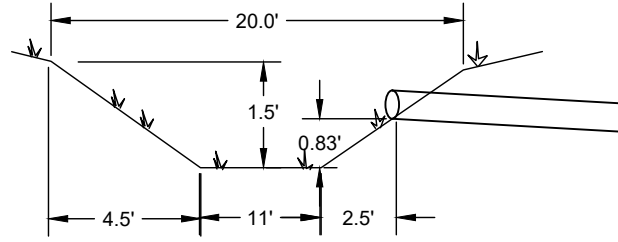






1. SWALE TO BE SEEDED WITH NATIVE GRASS SEED.

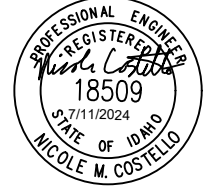
GRASSED STORMWATER DETENTION SWALE SECTION #1  
NTS



1. SWALE TO BE SEEDED WITH NATIVE GRASS SEED.

GRASSED STORMWATER DETENTION SWALE SECTION #2  
NTS

SITE PLAN SET 07.11.24



PROJ. NO. CW163	REVISION	DATE	BY	SHEET C-5
DWN. BY NMC	DATE 7/11/2024			

GOOD SAMARITAN INN

CIVIL DETAILS

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- MANAGER UNIT
- BOARD WALK
- RETAIN EXISTING TREES
- LANDSCAPE BUFFER
- SNOW REMOVAL LOCATION
- POTENTIAL STORMWATER LOCATIONS.  
E.G. LINED W/ BOULDERS & PLANTED W/ WILLOWS

COMMUNITY HOUSE WITH SECOND STORY MANAGER UNIT

HHHH CENTER

36" H. SPLIT RAIL FENCE

MONUMENT SIGN



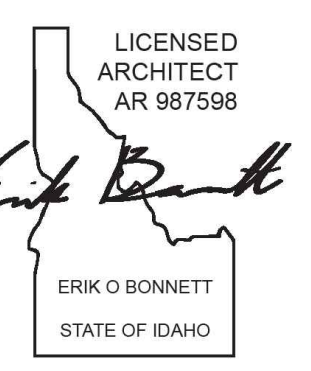
# Good Samaritan Inn - A continuum of care facility

Helping Hands  
Healing Hearts

900 Triangle Drive,  
Ponderay, ID, 83852



STUDIO  
**co+hab**



**OWNER:**  
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**MEP:**  
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JASON ANDERSON (FIRE)  
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Email: Scott.Knecht@coffman.com

No.	Description	Date

Sheet Title:

## SITE PLAN

Project Number 2303GSI  
Drawn By M.B & E.B  
Date 7/11/2024

Site Plan Set  
**A1.0**



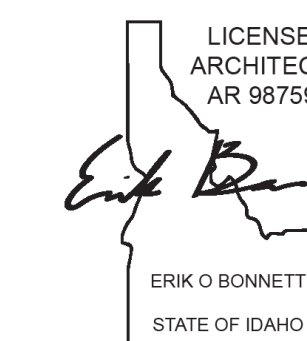
# Good Samaritan Inn - A continuum of care facility

Helping Hands  
Healing Hearts

900 Triangle Drive,  
Ponderay, ID, 83852



STUDIO  
co + hab



**OWNER:**  
HELPING HANDS HEALING HEARTS  
221 S DIVISION AVE, SANDPOINT ID 83864  
Email: OFFICE@QHSANDPOINT.ORG  
Phone: 208-263-6378

**PROJECT MANAGER:**  
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208-920-3728  
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Phone: 509-328-2994  
Email: Scott.Knecht@coffman.com

No.	Description	Date

Sheet Title:

## DWELLING UNIT - Floor Plans

Project Number 2303GSI

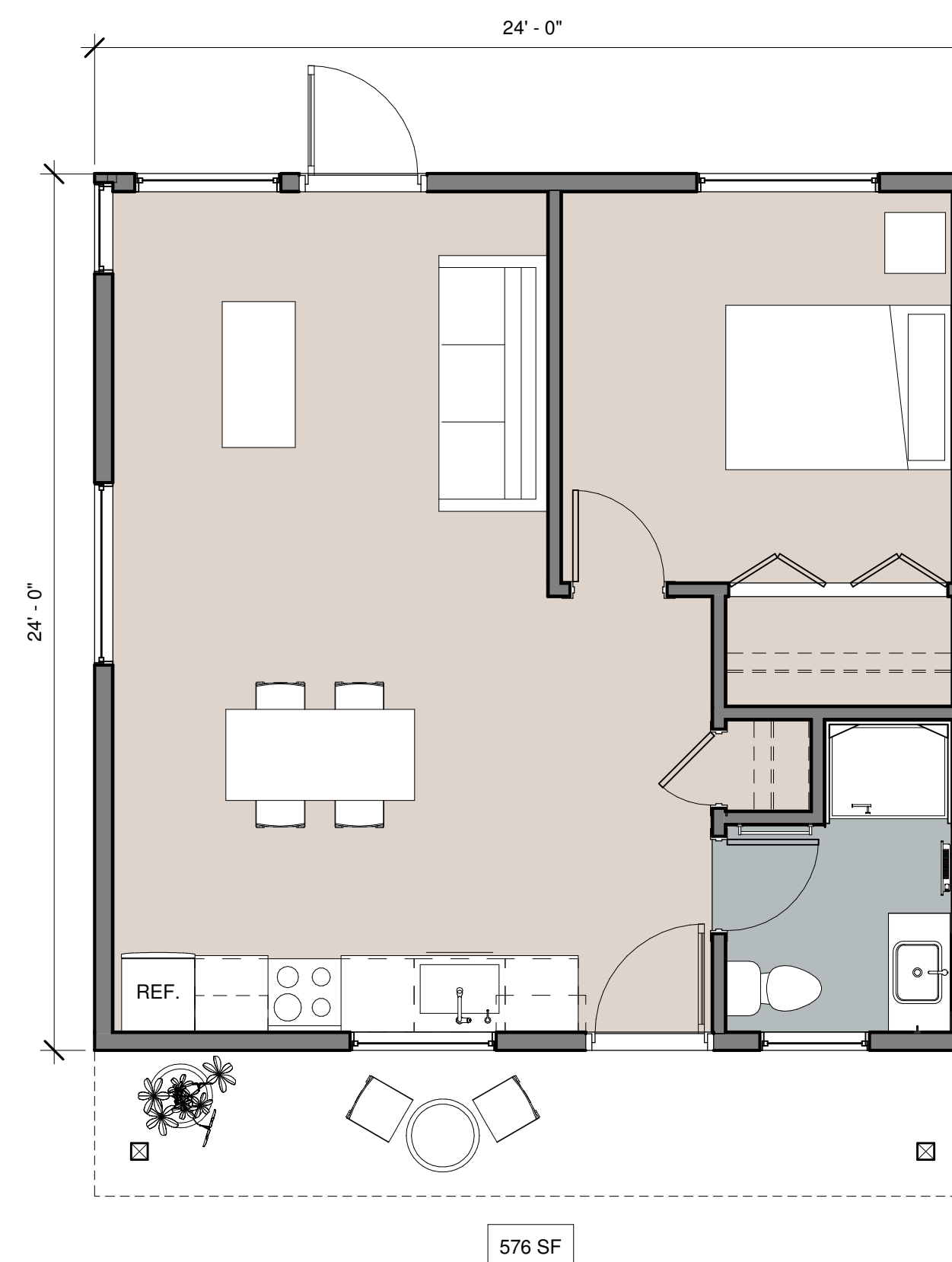
Drawn By M.B & E.B

Date 7/11/2024

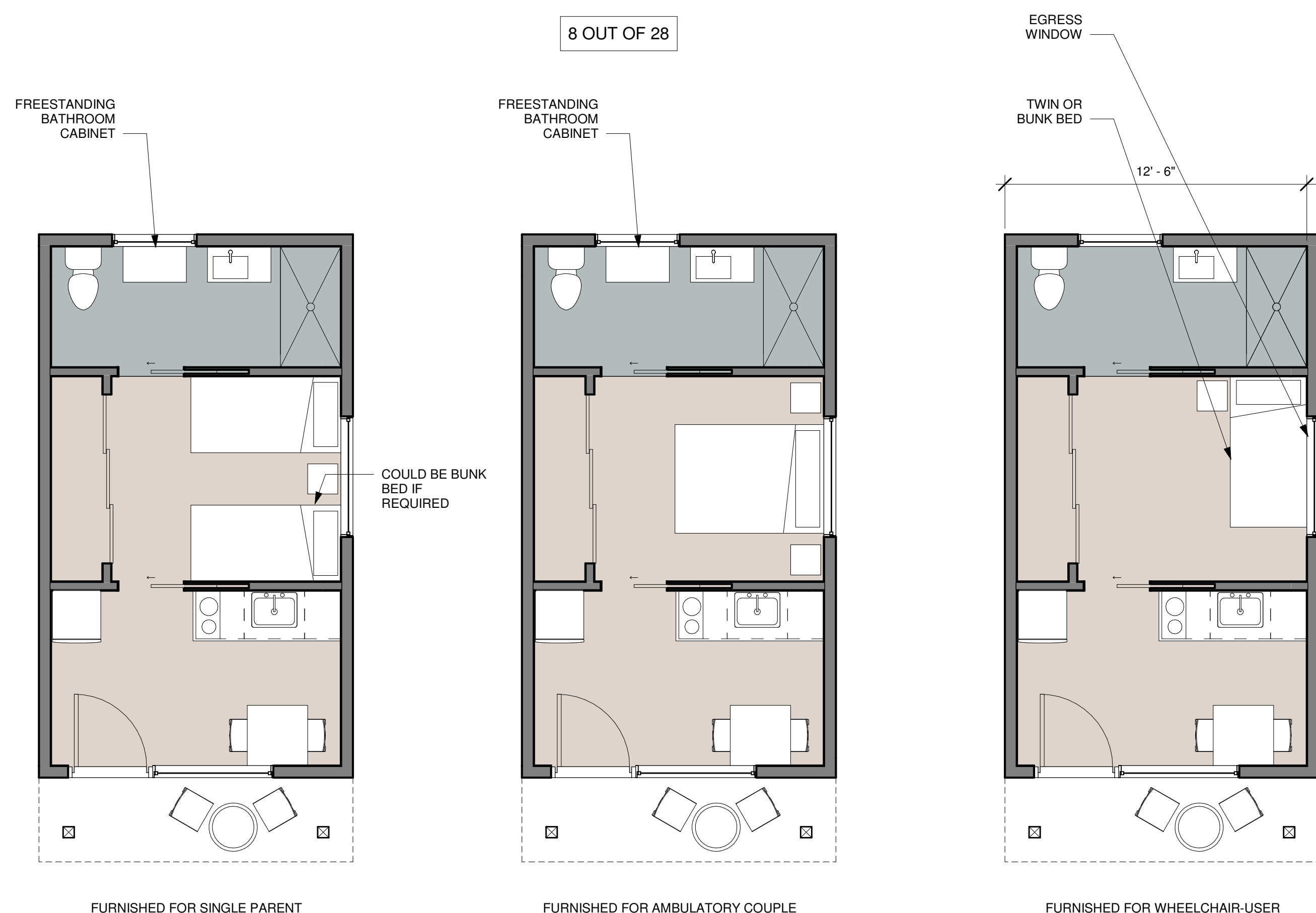
Site Plan Set

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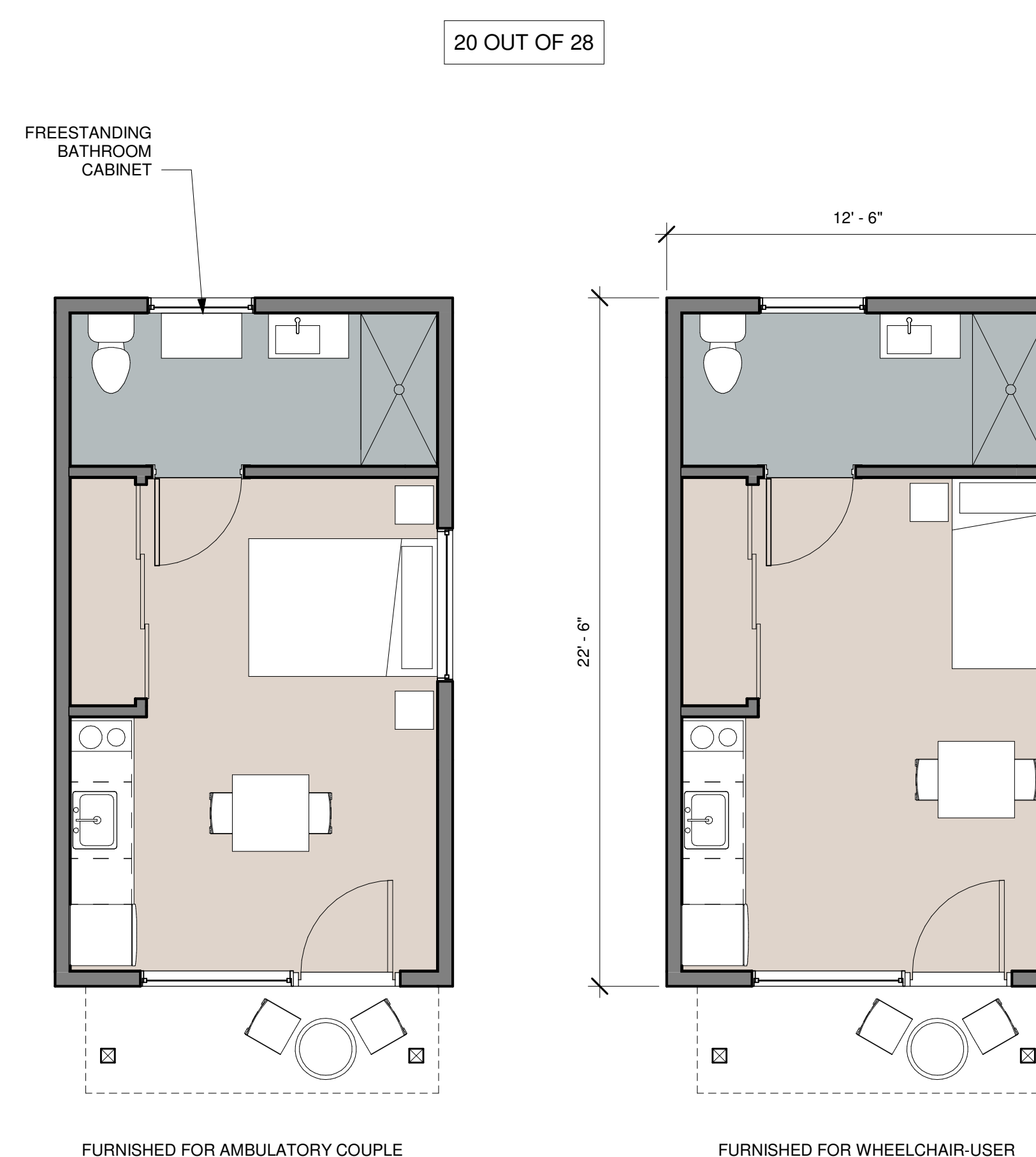
Site Plan Set



3 MANAGER UNIT - Phase 2  
1/4" = 1'-0"



2 ACCESSIBLE, COUPLE'S & FAMILY UNIT  
1/4" = 1'-0"



1 TYPICAL DWELLING UNIT  
1/4" = 1'-0"

(2017 ICC A117.- 1103.1 TYPE A - OPTIONAL)  
275 SF  
NOTE: THIS OPTION USES TWO SINKS

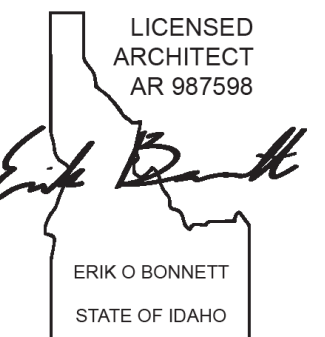
**Good Samaritan  
Inn - A continuum  
of care facility**

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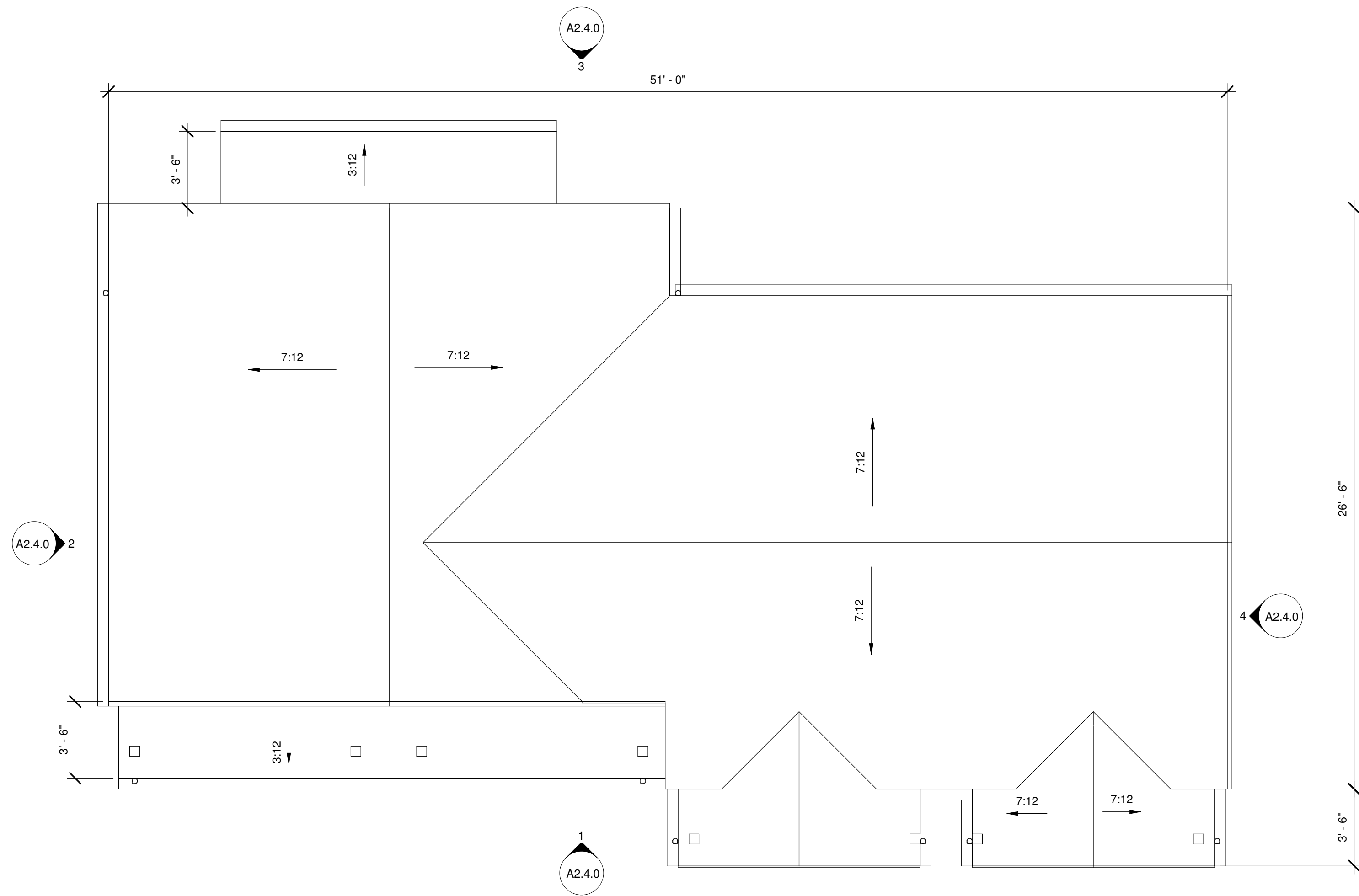
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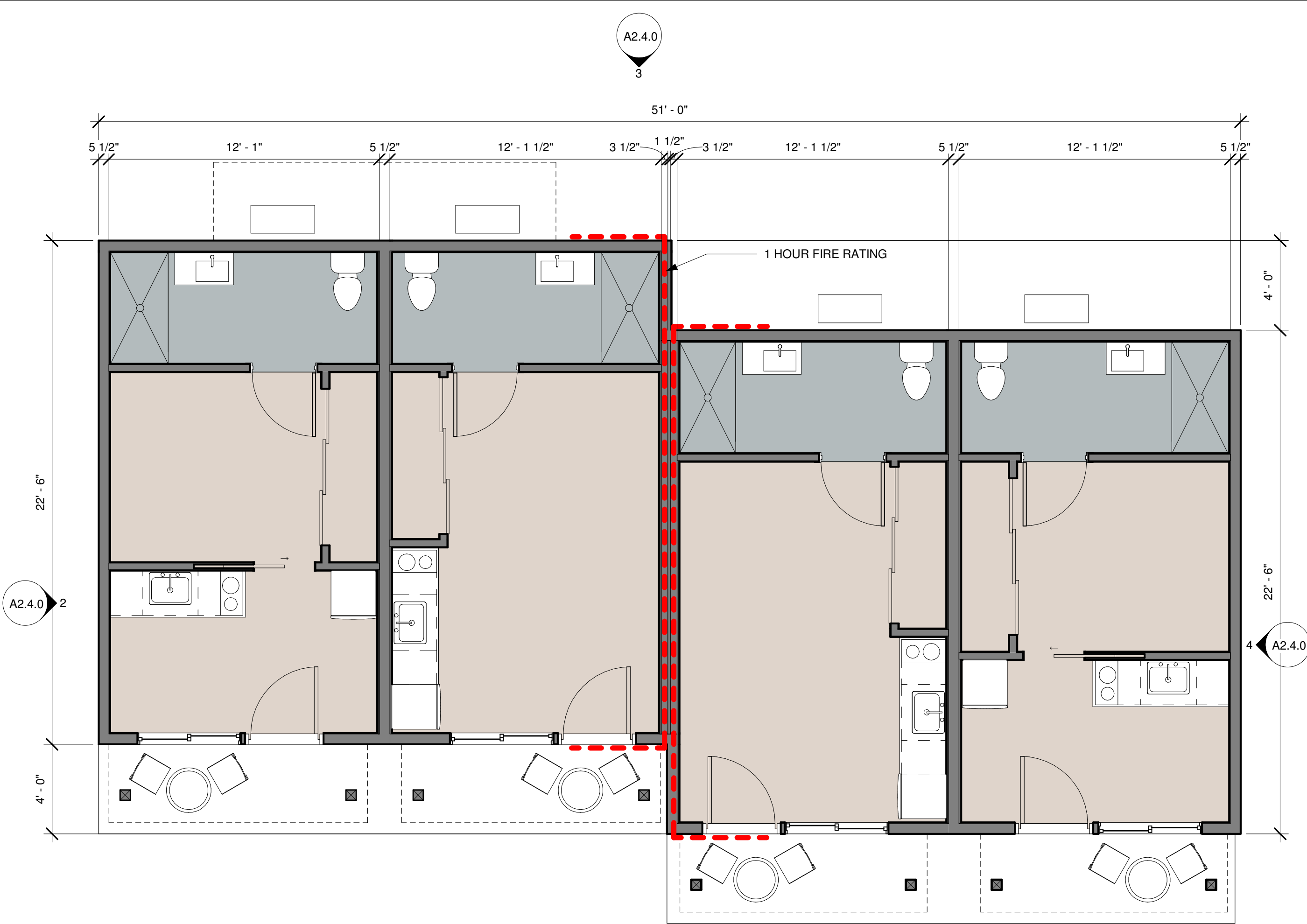
Sheet Title:  
**DWELLING  
BUILDING - Floor and  
Roof Plans** 2303GSI  
Drawn By M.B & E.B  
Date 7/11/2024

Site Plan Set

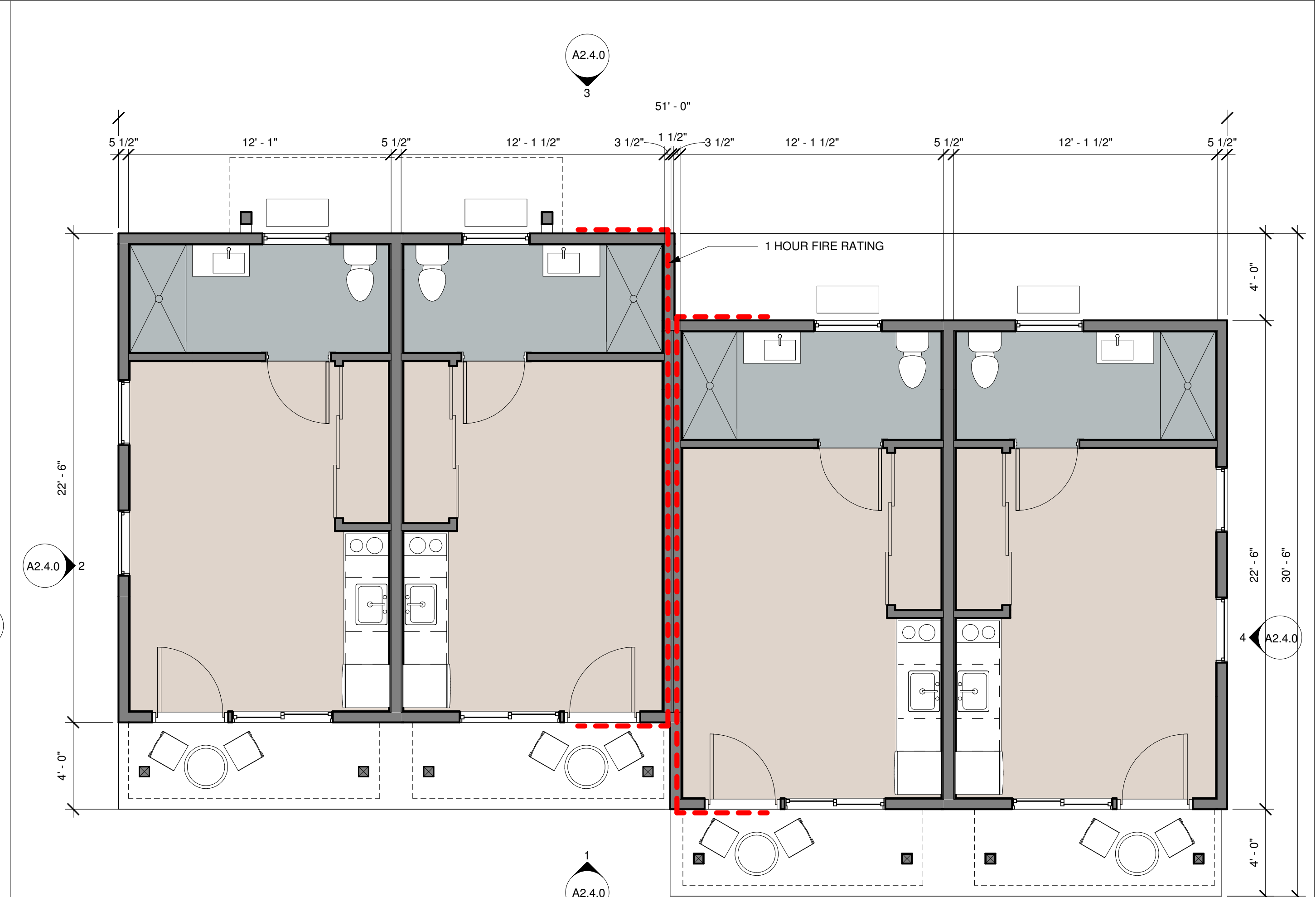
**A2.3.1**



③ DWELLINGS BUILDINGS - Roof Plan  
1/4" = 1'-0"



② DWELLING BUILDING - Option 2  
1/4" = 1'-0"



① TYP. DWELLING BUILDING - Floor Plan  
1/4" = 1'-0"

Site Plan Set



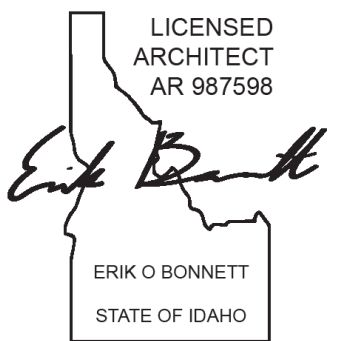
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No.	Description	Date

Sheet Title:

**DWELLING  
BUILDING - Exterior  
Elevations** 2303GSI

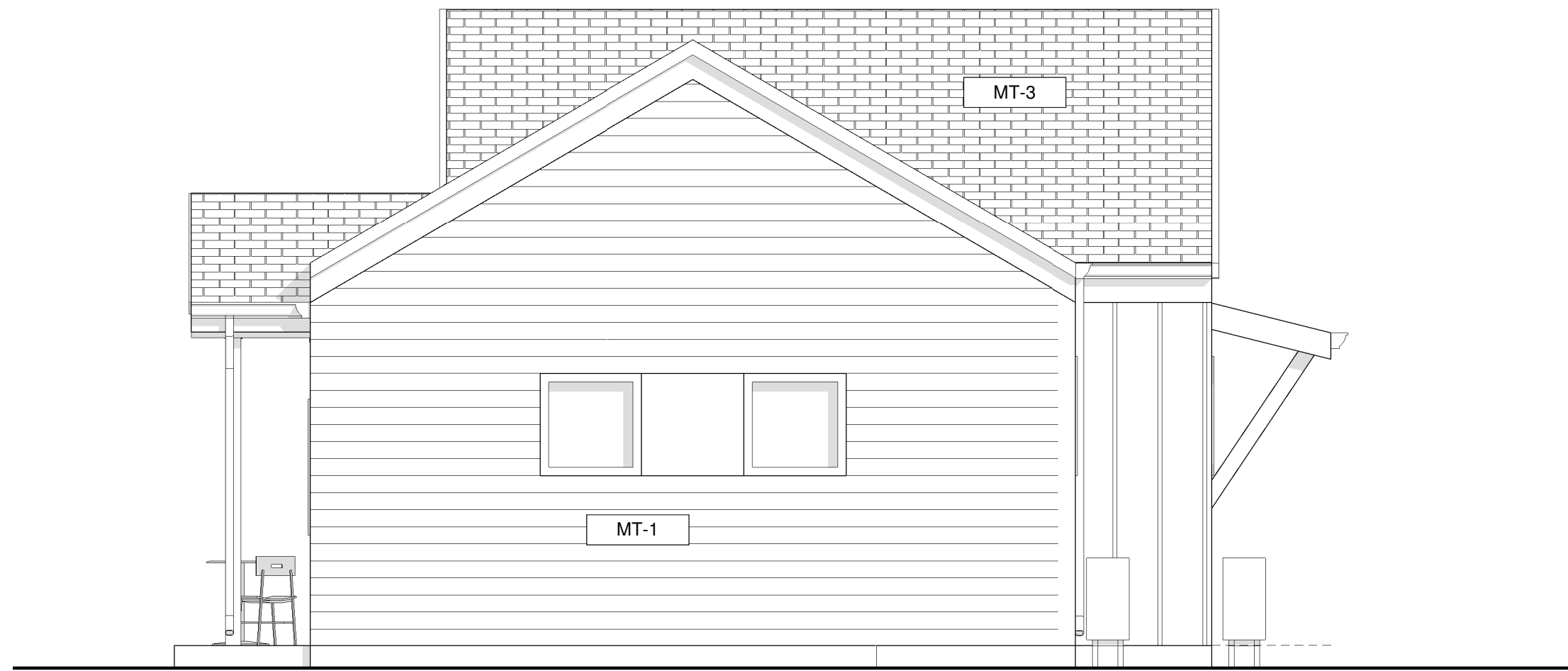
Drawn By M.B & E.B

Date 7/11/2024

Site Plan Set

# A2.4.0

Site Plan Set



④ Dwelling Building Elevation - East  
1/4" = 1'-0"

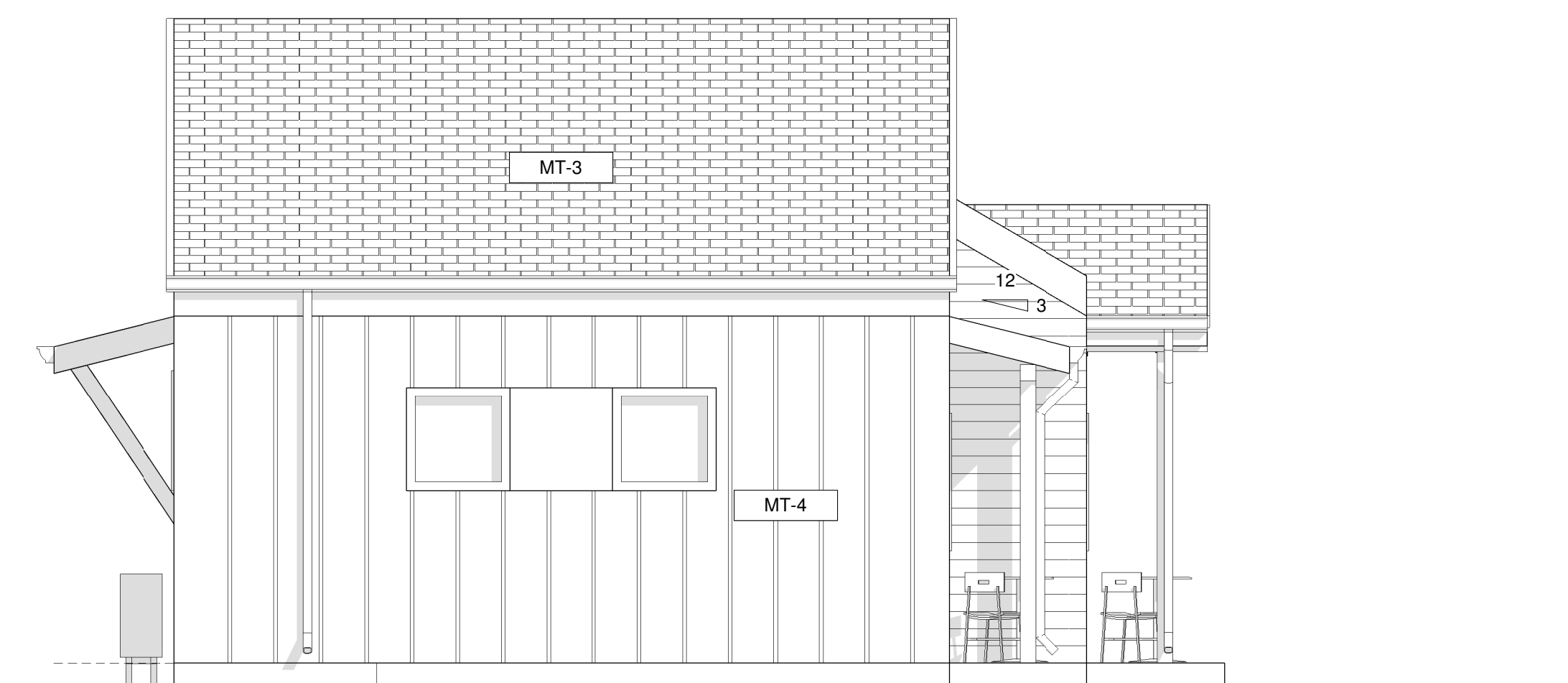


③ Dwelling Building Elevation - North  
1/4" = 1'-0"

- ELEVATION GENERAL NOTES:**
1. SLOPE ALL GUTTERS TOWARD DOWNSPOUTS, 1" TOTAL.
  2. WINDOW SILLS @ 3'-0" AFF. UON AND @ 3'-6" AFF @ COUNTERTOPS, UON.
  3. WHEN ADJACENT TO DOOR, ALIGN TOP FF WINDOW FRAME WITH TOP OF DOOR FRAME.
  4. WINDOW TAG: ☒☒
  5. DOOR TAG: ☒☒☒
  6. MATERIAL TAG: [MT-X]

**MATERIAL KEYED NOTES LEGEND**

Key Value	Keystone Text
MT-1	LAP SIDING
MT-2	WOODEN SOFFIT - UNDER ROOF
MT-3	COMP. SHINGLE ROOFING
MT-4	1X3 STK CEDAR BOARD AND BATTEN, 16" O.C
MT-5	HARDIE PANEL



② Dwelling Building Elevation - West  
1/4" = 1'-0"



① Dwelling Building Elevation - South  
1/4" = 1'-0"

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No.	Description	Date

Sheet Title:  
**COMMUNITY HOUSE  
- Floor Plans**

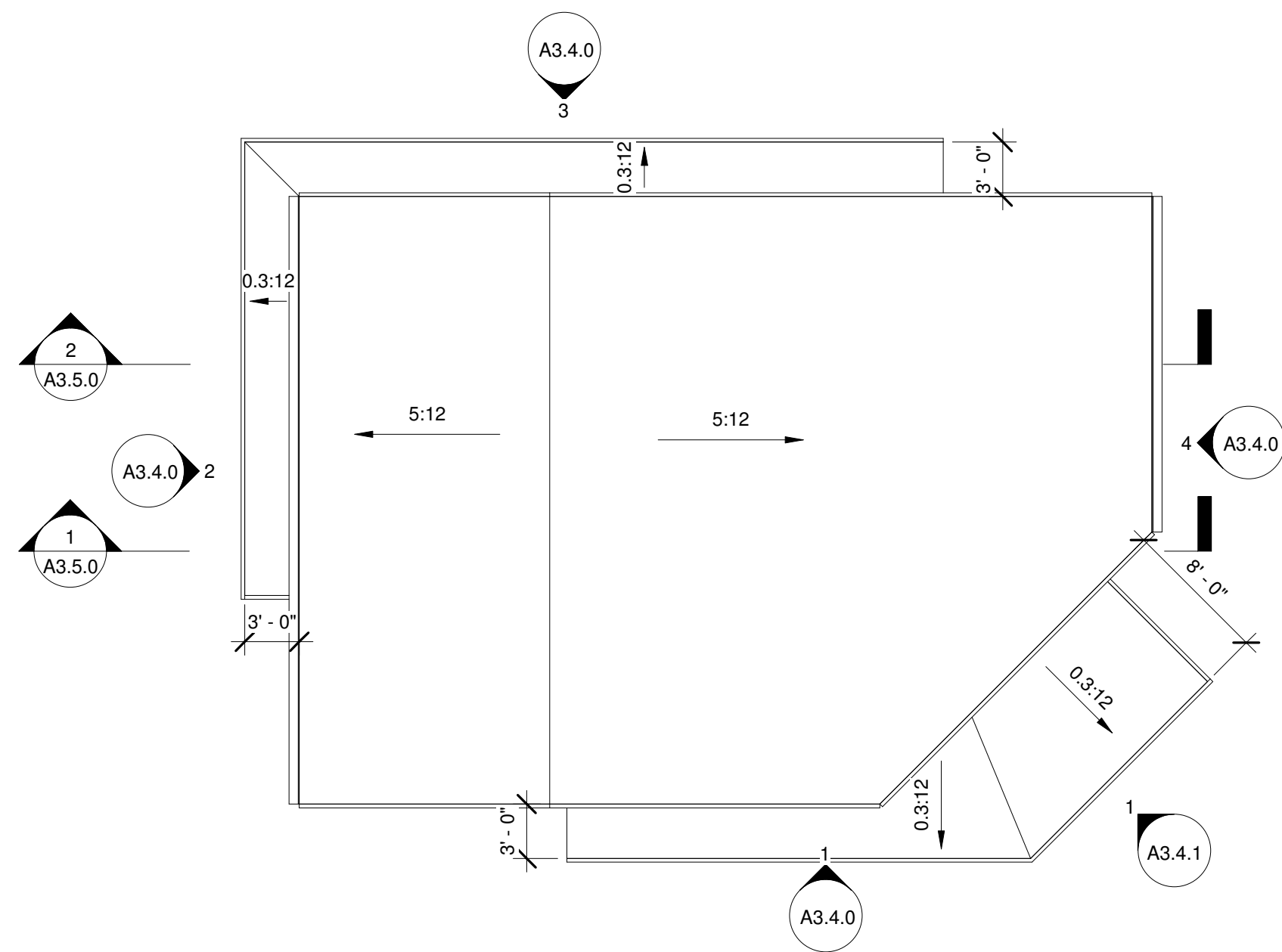
Project Number: 2303GSI  
Drawn By: M.B & E.B  
Date: 7/11/2024

Site Plan Set

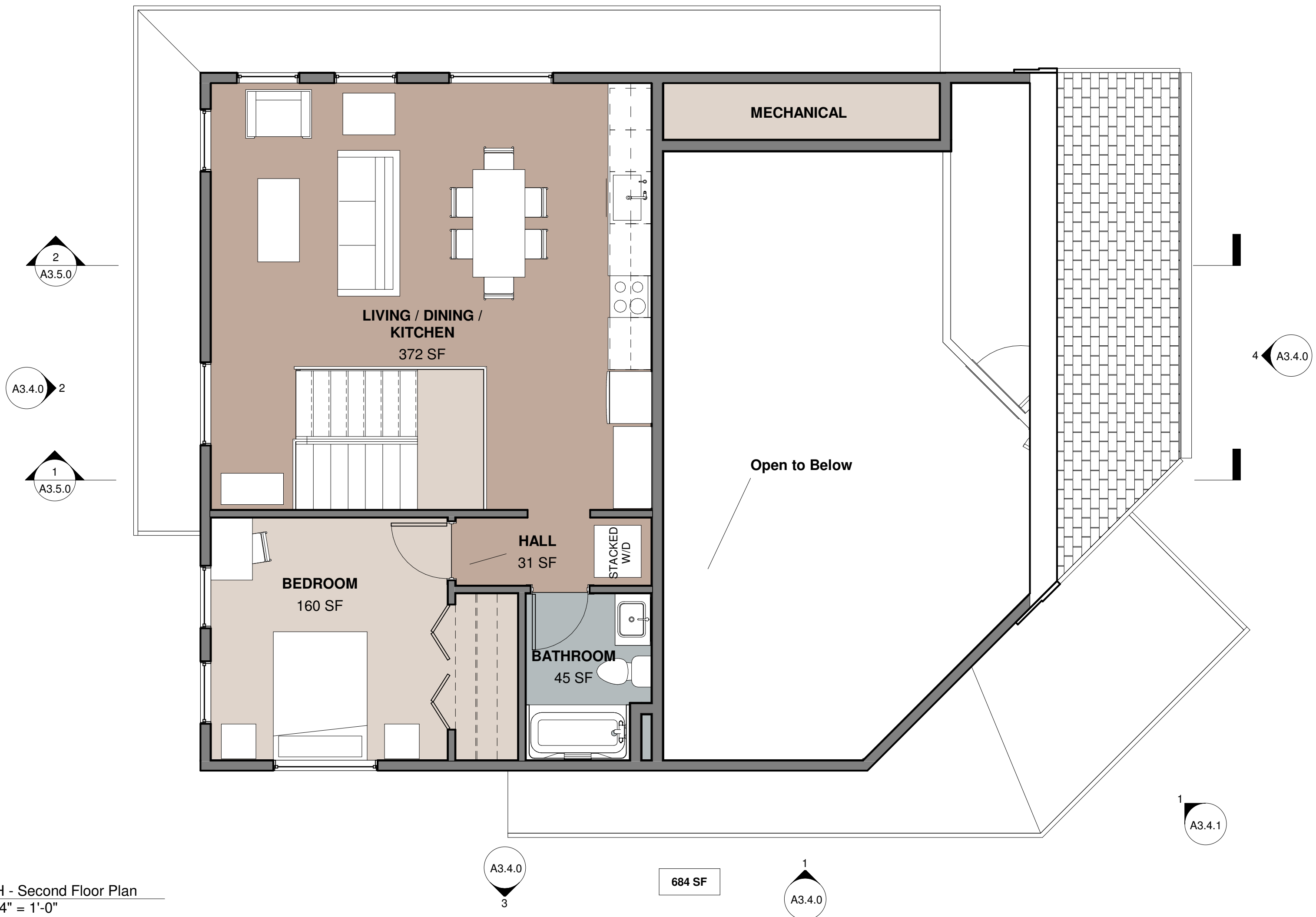
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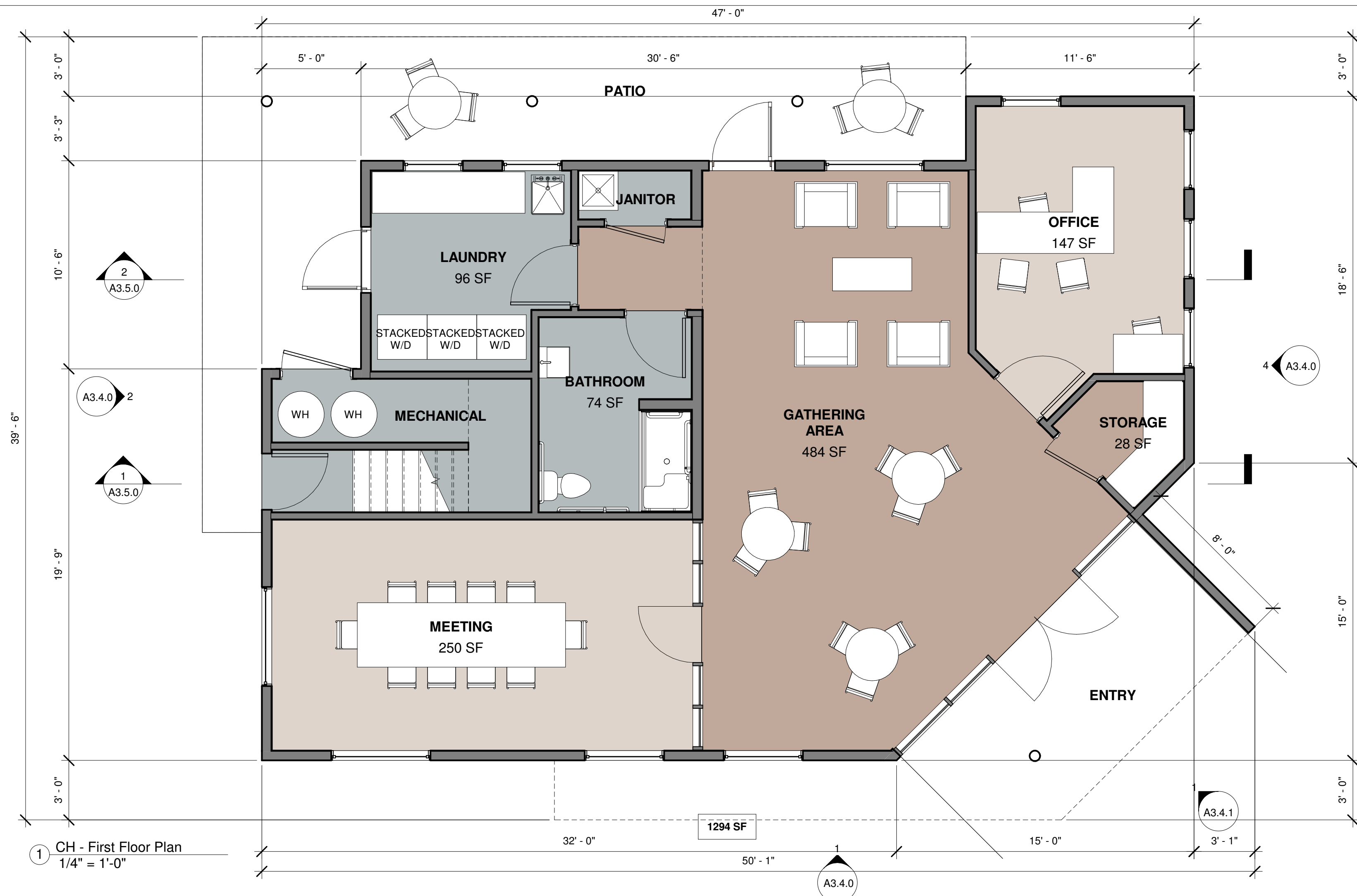
Site Plan Set



3 CH - Roof Plan  
1/8" = 1'-0"



2 CH - Second Floor Plan  
1/4" = 1'-0"



1 CH - First Floor Plan  
1/4" = 1'-0"



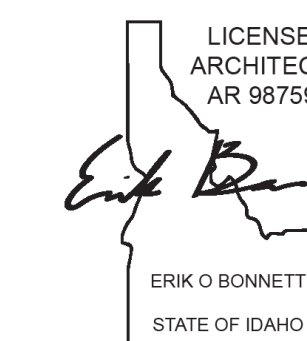
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No.	Description	Date

Sheet Title:  
**COMMUNITY HOUSE  
- Exterior Elevations**

Project Number 2303GSI  
Drawn By M.B & E.B  
Date 7/11/2024

Site Plan Set

# A3.4.0



③ CH Elevation - North  
1/4" = 1'-0"

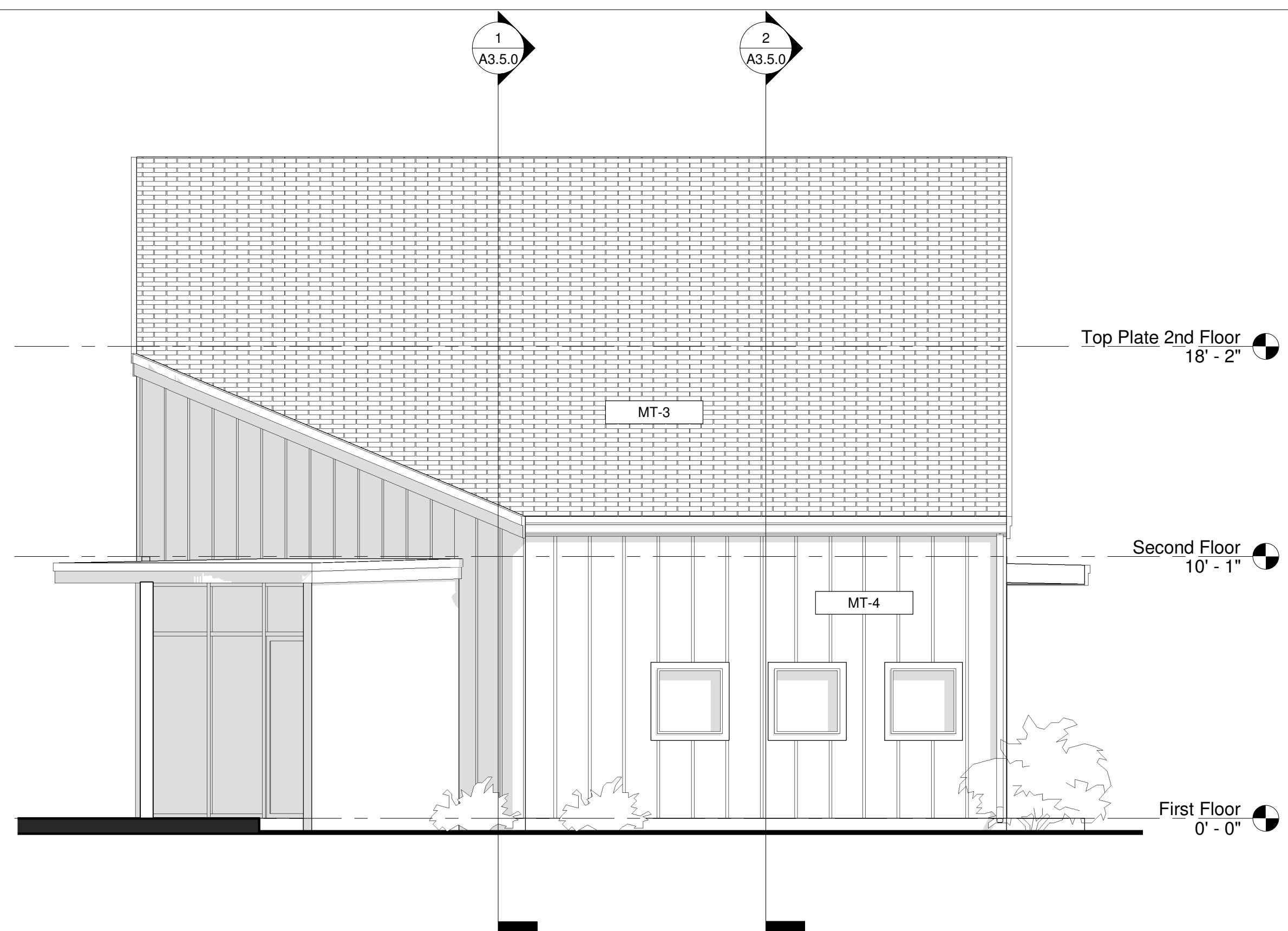
- ELEVATION GENERAL NOTES:**
1. SLOPE ALL GUTTERS TOWARD DOWNSPOUTS, 1" TOTAL.
  2. WINDOW SILLS @ 3'-0" AFF. UON AND @ 3'-6" AFF @ COUNTERTOPS, UON.
  3. WHEN ADJACENT TO DOOR, ALIGN TOP FF WINDOW FRAME WITH TOP OF DOOR FRAME.
  4. WINDOW TAG: ☒
  5. DOOR TAG: ☒
  6. MATERIAL TAG: [MT-X]

**MATERIAL KEYED NOTES LEGEND**

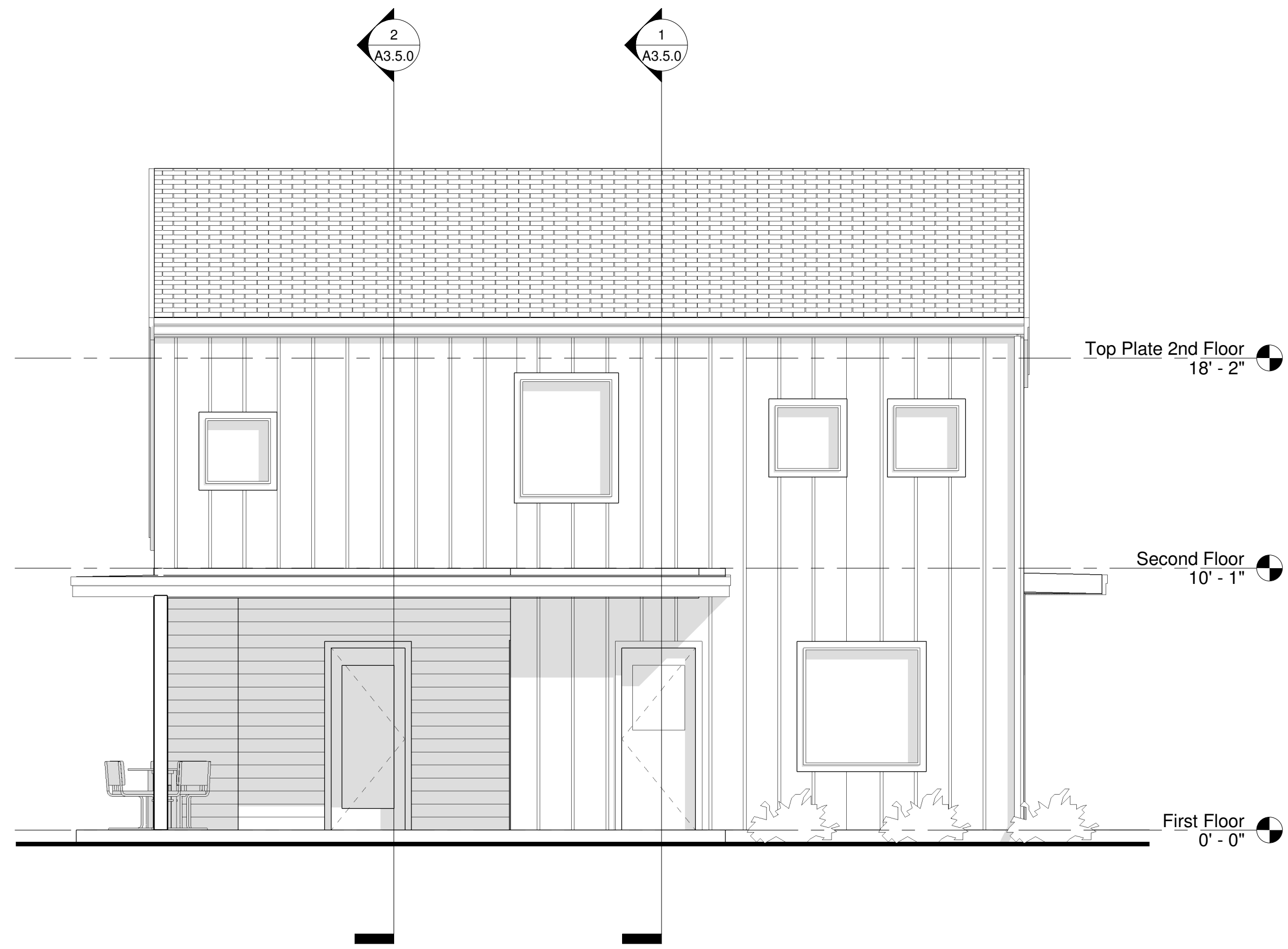
Key Value	Keynote Text
MT-1	LAP SIDING
MT-2	WOODEN SOFFIT - UNDER ROOF
MT-3	COMP. SHINGLE ROOFING
MT-4	1X3 STK CEDAR BOARD AND BATTEN, 16" O.C
MT-5	HARDIE PANEL



① CH Elevation - South  
1/4" = 1'-0"



④ CH Elevation - East  
1/4" = 1'-0"



② CH Elevation - West  
1/4" = 1'-0"

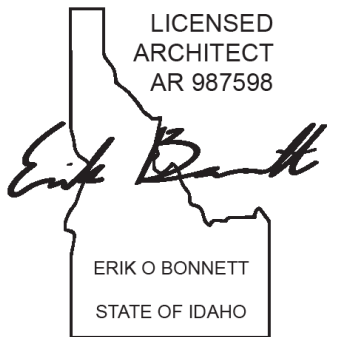
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**COMMUNITY HOUSE  
- Exterior Elevations**

Project Number 2303GSI  
Drawn By M.B & E.B  
Date 7/11/2024

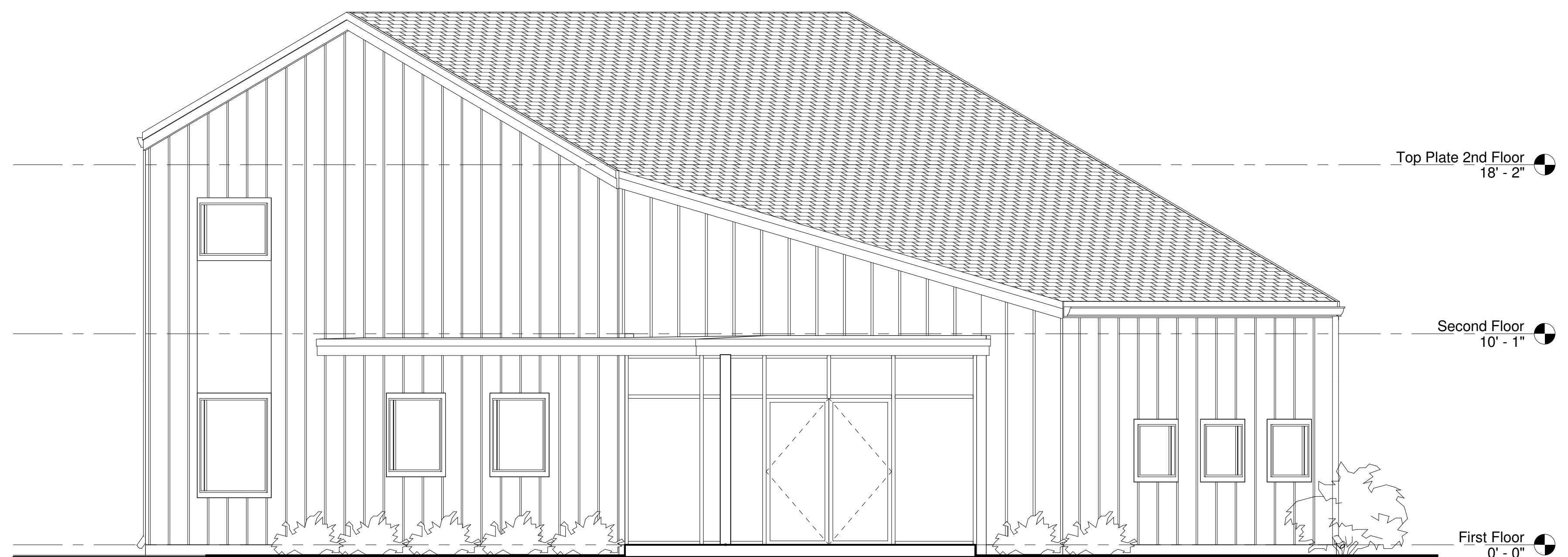
Site Plan Set

# A3.4.1

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  2. WINDOW SILLS @ 3'-0" AFF. UON AND @ 3'-6" AFF @ COUNTERTOPS, UON.
  3. WHEN ADJACENT TO DOOR, ALIGN TOP FF WINDOW FRAME WITH TOP OF DOOR FRAME.
  4. WINDOW TAG: ☒
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  6. MATERIAL TAG: [MT-X]

**MATERIAL KEYED NOTES LEGEND**

Key Value	Keynote Text
MT-1	LAP SIDING
MT-2	WOODEN SOFFIT - UNDER ROOF
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MT-4	1X3 STK CEDAR BOARD AND BATTEN, 16" O.C
MT-5	HARDIE PANEL



1 CH Elevation - Southeast  
1/4" = 1'-0"

Site Plan Set



WINDOW SCHEDULE			
Type	Description	Width	Height
T1	TILT & TURN	2' - 0"	2' - 0"
T2	TILT & TURN	3' - 0"	4' - 6"
T3	TILT & TURN	3' - 0"	5' - 6"
T4	TILT & TURN	3' - 6"	3' - 0"
T5	TILT & TURN	4' - 0"	3' - 0"
T6	TILT & TURN	4' - 0"	5' - 6"
T7	TILT & TURN	4' - 6"	4' - 6"
T8	TILT & TURN	5' - 0"	2' - 6"
S1	SLIDING WINDOW	3' - 0"	4' - 0"
S2	SLIDING WINDOW	6' - 0"	4' - 0"
F1	FIXED	3' - 0"	3' - 0"
F2	FIXED	3' - 6"	3' - 0"
F3	FIXED	4' - 0"	3' - 0"
CO1	CASED OPENING - WINDOW	6' - 0"	4' - 0"

Door Schedule			
Type	Description	Width	Height
Exterior			
1	DOUBLE GLASS	72"	96"
2	HALF LITE GLASS DOOR	42"	80"
3	FLUSH DOOR	36"	80"
Interior			
100	SHAKER 5 PANEL	36"	80"
100	SHAKER 5 PANEL	36"	80"
100	SHAKER 5 PANEL	36"	80"
100	SHAKER 5 PANEL	36"	80"
100	SHAKER 5 PANEL	36"	80"
100	SHAKER 5 PANEL	36"	80"
100.1	SHAKER 5 PANEL - 180 DEGREE OPENING	36"	80"
101	DOUBLE HALF LITE	72"	80"
102	CASED OPENING	36"	80"

SPACE CATEGORIES - HHHH CENTER	
Display	
DONATION AND DISPLAY	978 SF
978 SF	
Office Space	
CIRCULATION 2	60 SF
ENTRY	90 SF
OFFICE 1	121 SF
OFFICE 2	84 SF
OFFICE - DIRECTOR	98 SF
SHOWER	72 SF
WC	36 SF
561 SF	
Storage Space	
CIRCULATION 1	100 SF
DONATION STORAGE	487 SF
FOOD STORAGE	164 SF
UTILITY	82 SF
833 SF	

FLOOR PLAN - GENERAL NOTES:

- GANG PLUMBING VENTS IN ATTIC FOR MINIMUM ROOF PENETRATIONS
- SEE ELECTRICAL PLANS FOR SOFFITS AND ATTIC ACCESS.
- SEE SHEETS A8-X FOR & ENLARGED PLANS. ALL DIMENSIONS ARE TO FACE OF FRAMING, U.O.N.
- ALL EXTERIOR WALLS ARE 2X6, U.O.N.
- ALL INTERIOR WALLS ARE 2X4 @ 24" O.C., U.O.N. & INSULATED AT ALL BEDROOMS, BATHROOMS AND W/D CLOSETS. OTHER CLOSET WALLS CAN BE UON UNINSULATED.
- ALL DOORS TO HAVE DBL 2X JAMBS MIN.
- ALL CLOSETS ARE POLE AND 4 SHELVES U.O.N. TOP SHELF 28", LOWER SHELVES 12".
- INSTALL TRANSITION STRIP BETWEEN DIFFERENT FLOORING TYPES, TYP.
- CONTINUE PLYWOOD SHEATHING ON AN INT. WALL WHERE SHEAR WALLS DO NOT EXTEND THE FULL LENGTH OF A ROOM, IN ORDER TO MAINTAIN A FLAT WALL FACE. IT IS NOT NECESSARY TO CONTINUE SHEAR NAILING BEYOND THE LIMITS REQ'D BY STRUCT. DRAWINGS.
- GYP. BD. TYP. @ ALL INTERIOR WALL SURFACES U.O.N. GYP. BD. "GREEN ROCK" @ ALL BATHRMS.
- 4-1/4" WOOD BASEBOARDS AT ALL WALLS, U.O.N.
- ALL ADJACENT WINDOWS TO BE MULLED TOGETHER.

FLOOR PLAN KEYED NOTES

NOTE #	NOTE TEXT
1	PLUMBING AND/OR MECHANICAL CHASE, TYP., CLUSTER DUCTS/PIPES IN CORNER AND SIZE CHASE MINIMUM NECESSARY
2	NOT USED
3	2x6 WALL
4	PULL DOWN ATTIC LADDER.

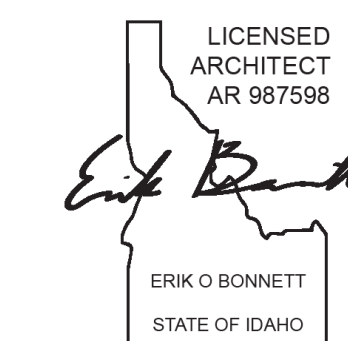
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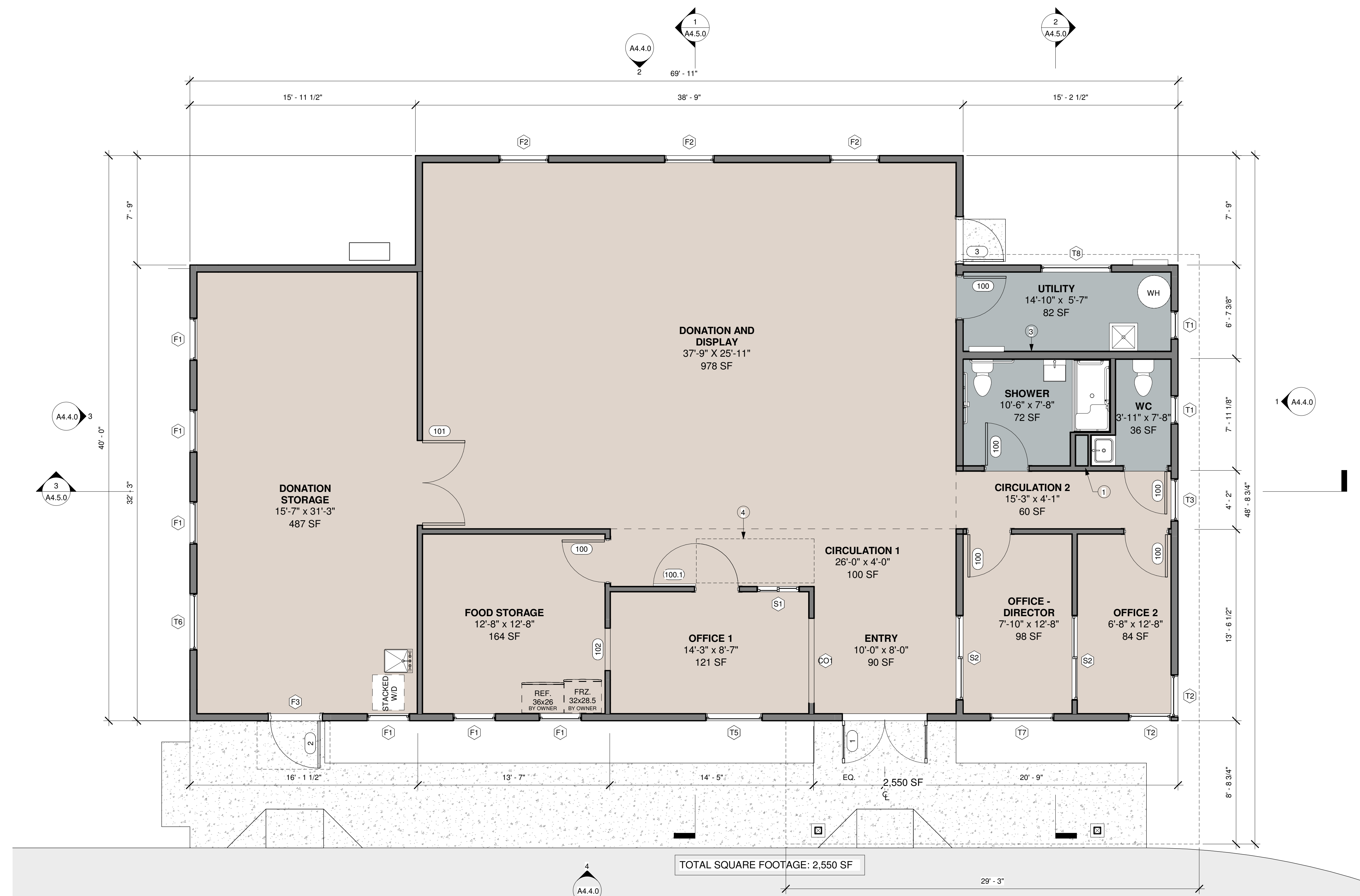
No.	Description	Date

Sheet Title:  
**HHHH CENTER - First Floor**

Project Number: 2303GSI  
Drawn By: M.B & E.B  
Date: 7/11/2024

Site Plan Set

# A4.3.0



1 HHHH Center - First Floor Plan  
1/4" = 1'-0"

Site Plan Set

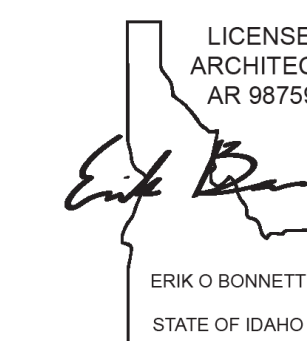
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No.	Description	Date

Sheet Title:

## HHHH CENTER - Roof Plan

Project Number 2303GSI

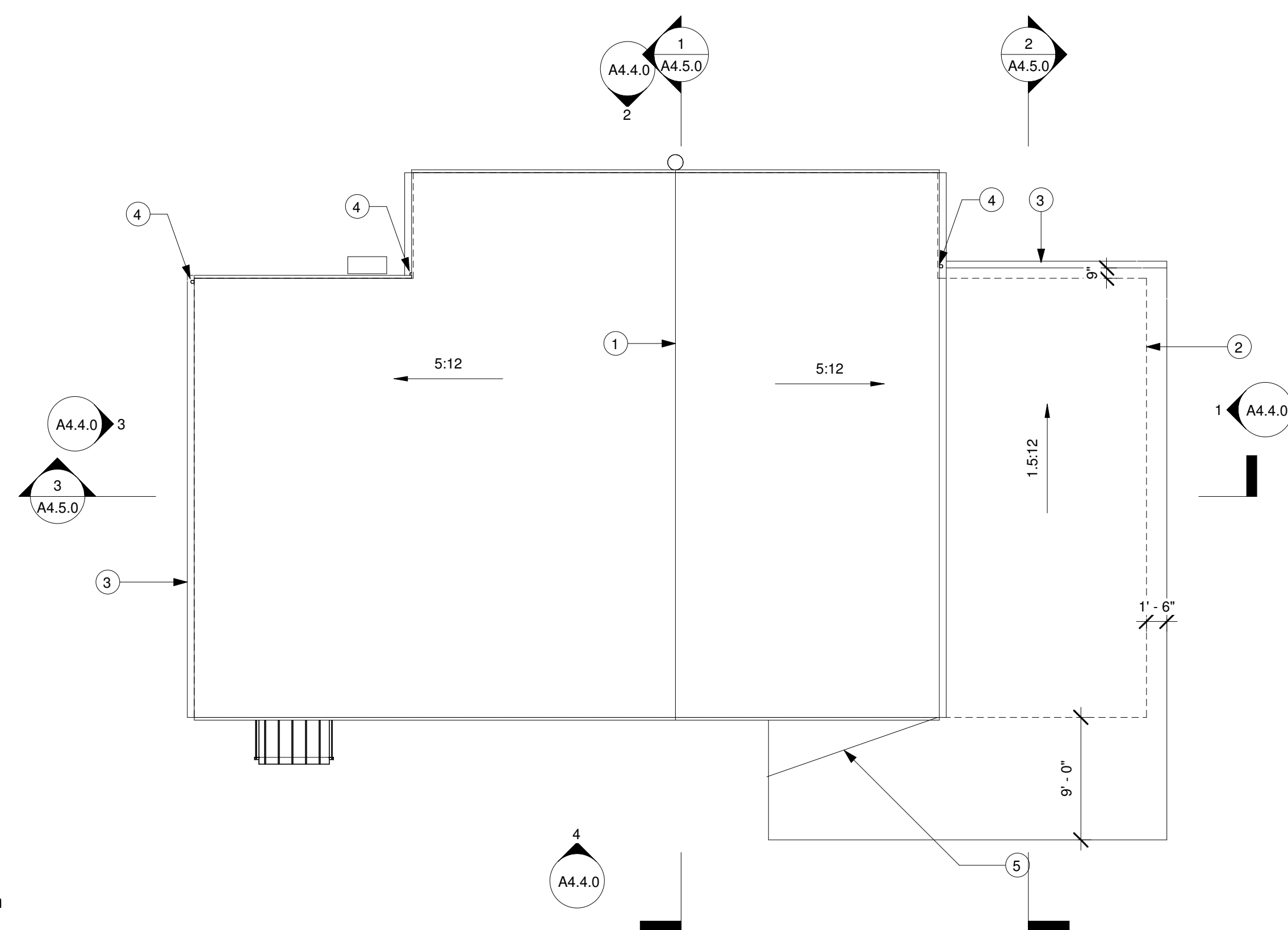
Drawn By M.B & E.B

Date 7/11/2024

Site Plan Set

# A4.3.1

ROOF PLAN KEYED NOTES	
NOTE #	NOTE TEXT
1	RIDGE VENTING, TYP.
2	EXTERIOR WALL BELOW
3	3" MIN. O.G. GUTTER, TYP.
4	3" OPEN FACE DOWNSPOUT. WHERE NECESSARY, HOLD OUT FROM WALL SEVERAL INCHES TO AVOID OFFSETS IN SIDING PLANE USING A STRAIGHT DOWNSPOUT RUN.
5	CRICKET.



1 HHHH Center - Roof Plan  
1/8" = 1'-0"

Site Plan Set



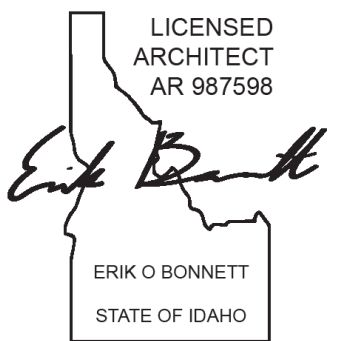
# Good Samaritan Inn - A continuum of care facility

Helping Hands  
Healing Hearts

900 Triangle Drive,  
Ponderay, ID, 83852



STUDIO  
co+hab



**OWNER:**  
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No.	Description	Date

Sheet Title:

## HHHH CENTER - Exterior Elevations

Project Number 2303GSI

Drawn By M.B & E.B

Date 7/11/2024

Site Plan Set

# A4.4.0

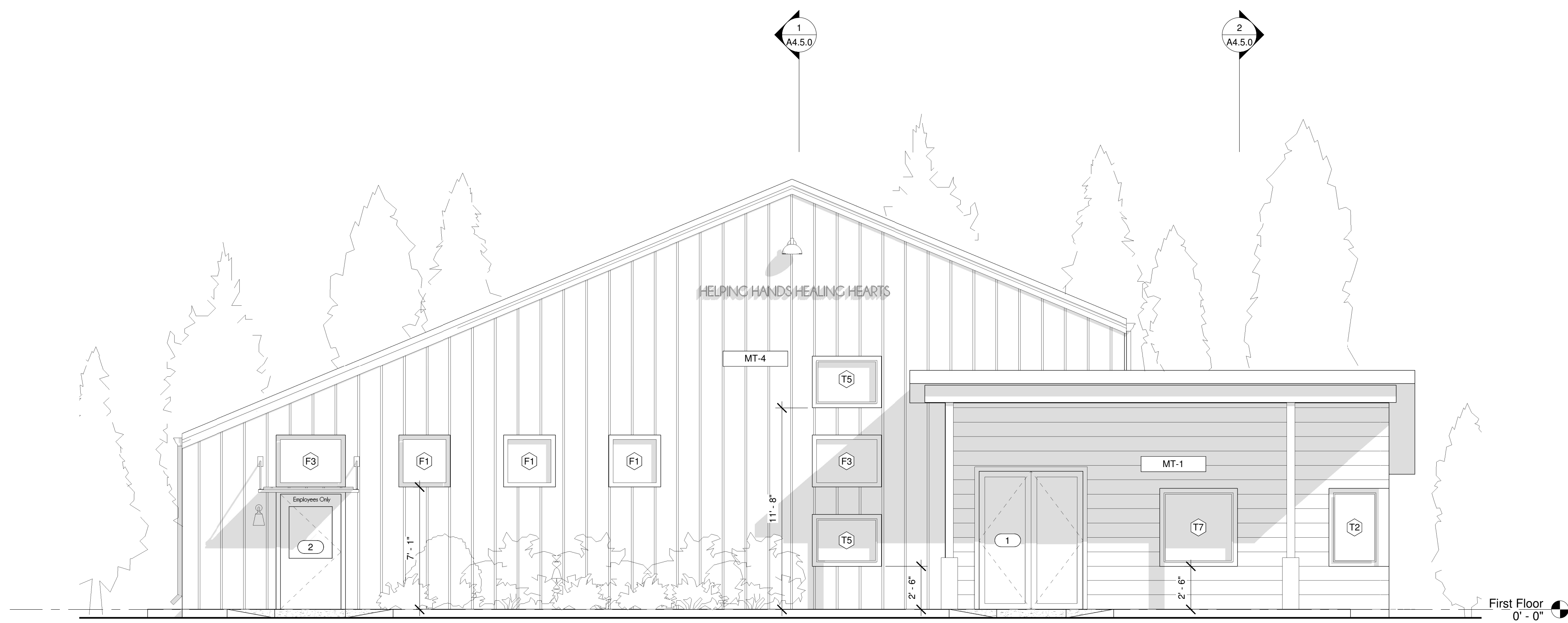
Site Plan Set

**ELEVATION GENERAL NOTES:**

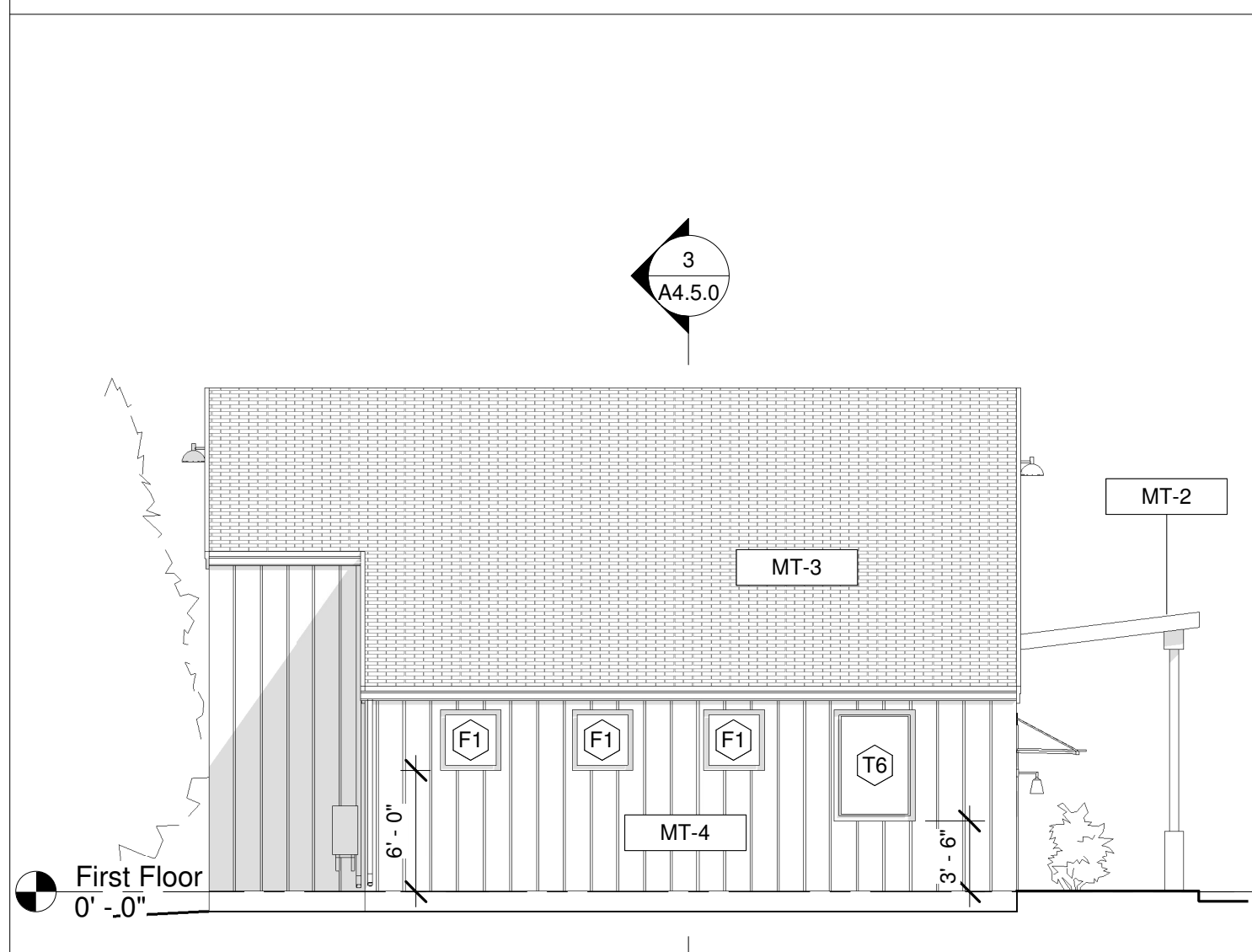
- SLOPE ALL GUTTERS TOWARD DOWNSPOUTS, 1" TOTAL.
- WINDOW SILLS @ 3'-0" AFF, UON AND @ 3'-6" AFF @ COUNTERTOPS, UON.
- WHEN ADJACENT TO DOOR, ALIGN TOP FF WINDOW FRAME WITH TOP OF DOOR FRAME.
- WINDOW TAG: ☒
- DOOR TAG: ☒☒
- MATERIAL TAG: [MTX]

**MATERIAL KEYED NOTES LEGEND**

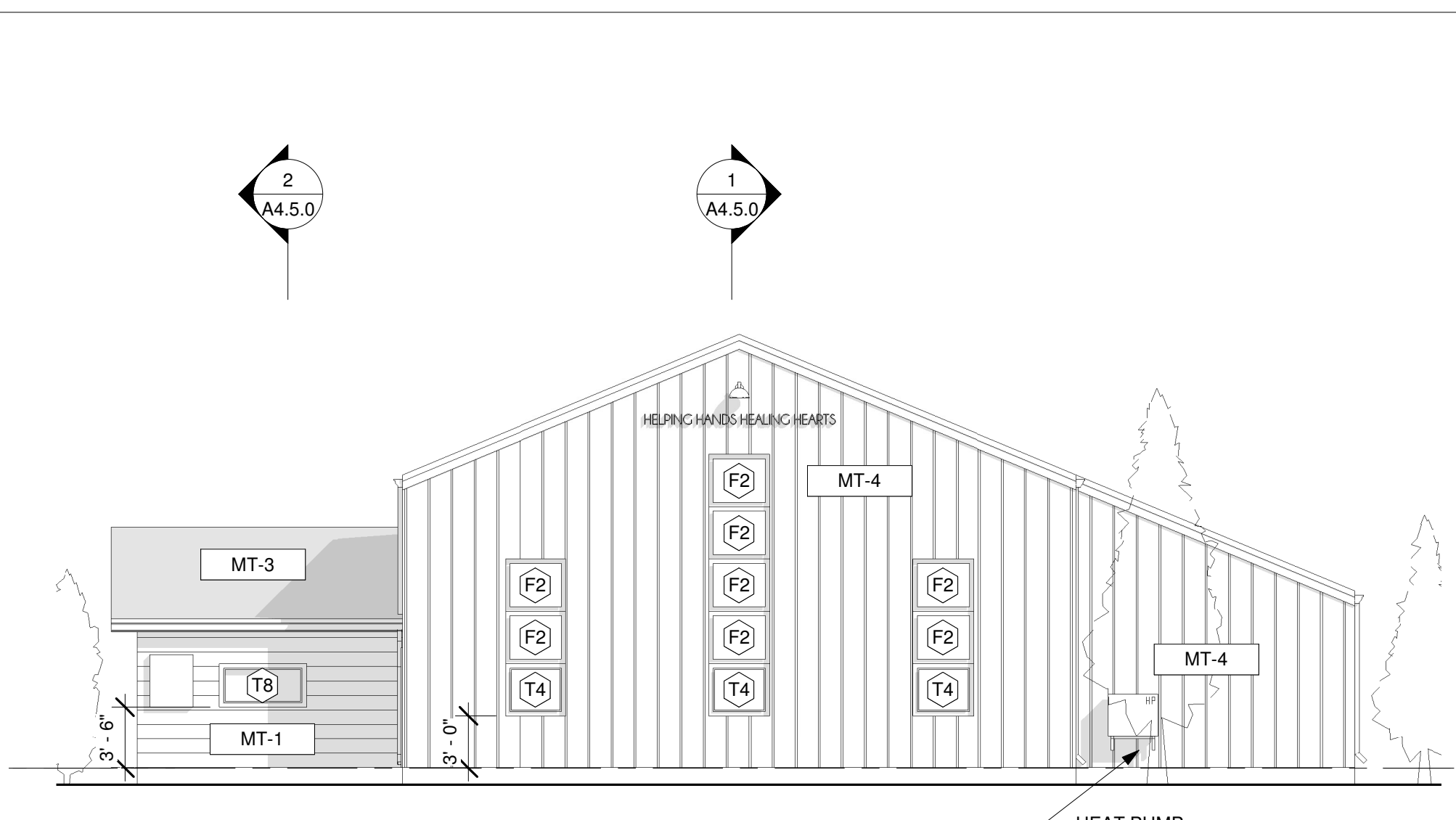
Key Value	Keystone Text
MT-1	LAP SIDING
MT-2	WOODEN SOFFIT - UNDER ROOF
MT-3	COMP. SHINGLE ROOFING
MT-4	1X3 STK CEDAR BOARD AND BATTEN. 16" O.C
MT-5	HARDIE PANEL



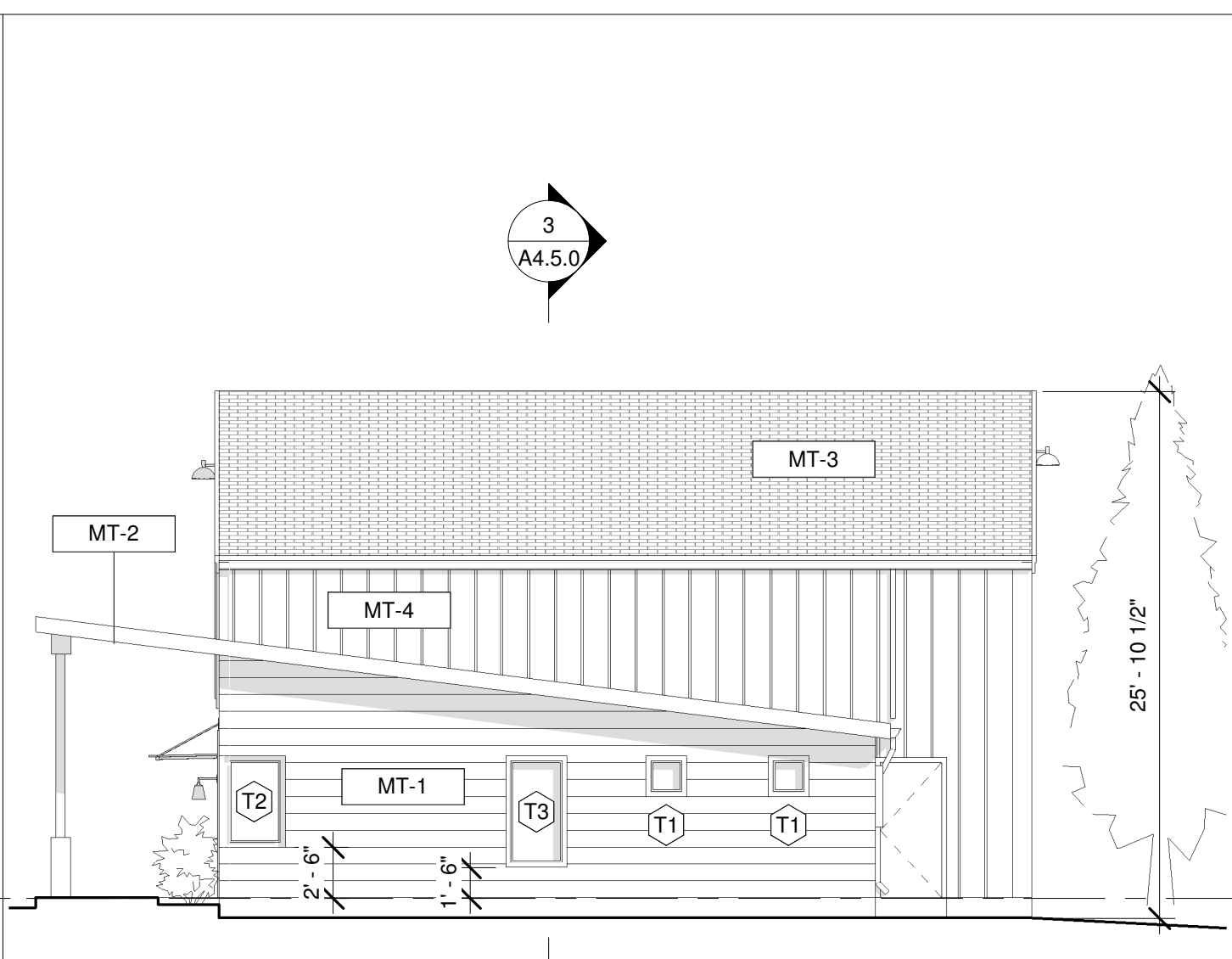
④ HHHH Elevation - East  
1/4" = 1'-0"



③ HHHH Elevation - South  
1/8" = 1'-0"



② HHHH Elevation - West  
1/8" = 1'-0"



① HHHH Elevation - North  
1/8" = 1'-0"