



HartWest LLC
Real Estate Development Advisor
Design/Build Since 1976

STUDIO

co+hab

Clearwater Engineering, LLC



Use Permit Amendment

June 15, 2024

The Good Samaritan Inn

A Continuum of Care Homeless Transition Facility

Looking South toward Triangle Drive

900 Triangle Drive, Ponderay Idaho

Good Samaritan Inn - A continuum of care facility

Schematic Design - Progress Set

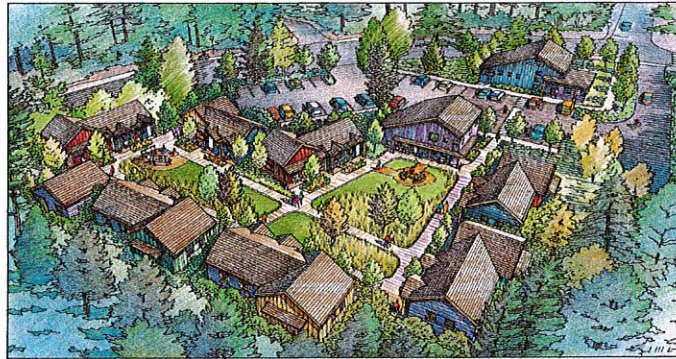
900 Triangle Drive, Ponderay, ID, 83852



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PERSPECTIVE VIEW



PROJECT DESCRIPTION

- THE PROJECT CONSISTS OF :
- A PROGRAM BUILDING WITH A DONATION AND DISPLAY SPACE, STORAGE, OFFICE SPACES AND TWO BATHROOMS
 - 27 TRANSITIONAL HOUSING DWELLING UNITS, AND (2) 1-BEDROOM MANAGERS APARTMENTS
 - A -1300 SF COMMUNITY HOUSE WITH SOCIAL/ CLASSES, LAUNDRY, AN OFFICE AND A SMALL FOOD PREP AREA

LEGAL DESCRIPTION

The site is parcel number RPP07660020080A, Lot 8, Schweitzer Subdivision, Block 002. It is a relatively flat 2.10-acre wooded site in an primarily industrial neighborhood. The boundary and topographic survey is included in the Civil Engineering drawings dated April 5th, 2022.

BUILDING CODE REVIEW

OCCUPANCY	CLASSIFICATION	CONSTRUCTION TYPE
Dwelling units IRC	R3 (Separated to form duplexes)	VB non-sprinklered
Common Facilities	B+R3 Accessory (Separated)	VB 13D system
HHHH Center	M+S1+B (Unseparated)	VB non-sprinklered*

*Building is less than 12,000 sf, so an automatic sprinkler system is not required per IBC 2018 - 903

- ALL RESIDENTIAL BUILDINGS ARE SEPARATED TO FOR DUPLEXES SO THESE BUILDINGS ARE REGULATED BY THE IRC.
- REQUIRED FIRE SEPARATIONS
 - R-R UNSPRINKLERED: 1 HOUR (708.3, 711.2.4.3)
 - R-B UNSPRINKLERED: 2 HOURS (508.4)

ACCESSIBILITY

- COMMON AREAS, MUST COMPLY WITH CHAPTER 11 OF THE BUILDING CODE.

ACCESSIBLE UNITS

- NO TYPE A UNIT REQUIRED IN THE IRC
- ONE UNIT IS ON TOP OF AN IBC COMMUNITY HOUSE, SO ONE OTHER UNIT MUST BE TYPE A.

HHHH CENTER - BUILDING OCCUPANT LOADS

SPACE CATEGORIES - HHHH CENTER	
Display	
DONATION AND DISPLAY	978 SF
	978 SF

Office Space	
CIRCULATION 2	60 SF
ENTRY	90 SF
OFFICE 1	121 SF
OFFICE 2	84 SF
OFFICE - DIRECTOR	98 SF
SHOWER	72 SF
WC	36 SF
	561 SF

Storage Space	
CIRCULATION 1	100 SF
DONATION STORAGE	487 SF
FOOD STORAGE	164 SF
UTILITY	82 SF
	833 SF

SPACE	SF	OL
DONATION AND DISPLAY @ 60 SF/PRS	978	17
OFFICE SPACE @ 150 SF/PRS GROSS	563	4
STORAGE @ 300 SF/PRS GROSS	833	3

APPLICABLE CODES

BUILDING:

- 2018 International Building Code, with amendments
- 2018 International Residential Code (parts I, II, III and IX), with Idaho amendments collectively named the Idaho Residential Code (2020 Edition)
- 2018 International Energy Conservation Code, with amendments collectively named the Idaho Energy Conservation Code (2020 Edition)

ELECTRICAL:

- 2017 NEC with amendments

MECHANICAL:

- 2018 International Mechanical Code
- 2018 International Fuel Gas Code
- 2018 International Residential Code Parts V & VI

PLUMBING:

- 2017 Idaho State Plumbing Code based on the 2015 Uniform Plumbing Code.

SHEET INDEX

- A0.0 Coversheet
- C1.0 Civil Survey & Existing Condition
- C2 Civil grading & drainage, parking calculations
- C3 Civil utilities
- C4 Civil general details
- A1.0 Site Plan
- A2.3.0 DWELLING UNIT - Floor Plans
- A2.3.1 DWELLING BUILDING - Floor and Roof Plans
- A2.4.0 DWELLING BUILDING - Exterior Elevations
- A3.3.0 COMMUNITY HOUSE - Floor Plans
- A3.4.0 COMMUNITY HOUSE - Exterior Elevations
- A3.4.1 COMMUNITY HOUSE - Exterior Elevations
- A4.3.0 HHHH CENTER - First Floor
- A4.3.1 HHHH CENTER - Roof Plan
- A4.4.0 HHHH CENTER - Exterior Elevations

REVISIONS

No.	Description	Date

PROJECT DIRECTORY

OWNER:

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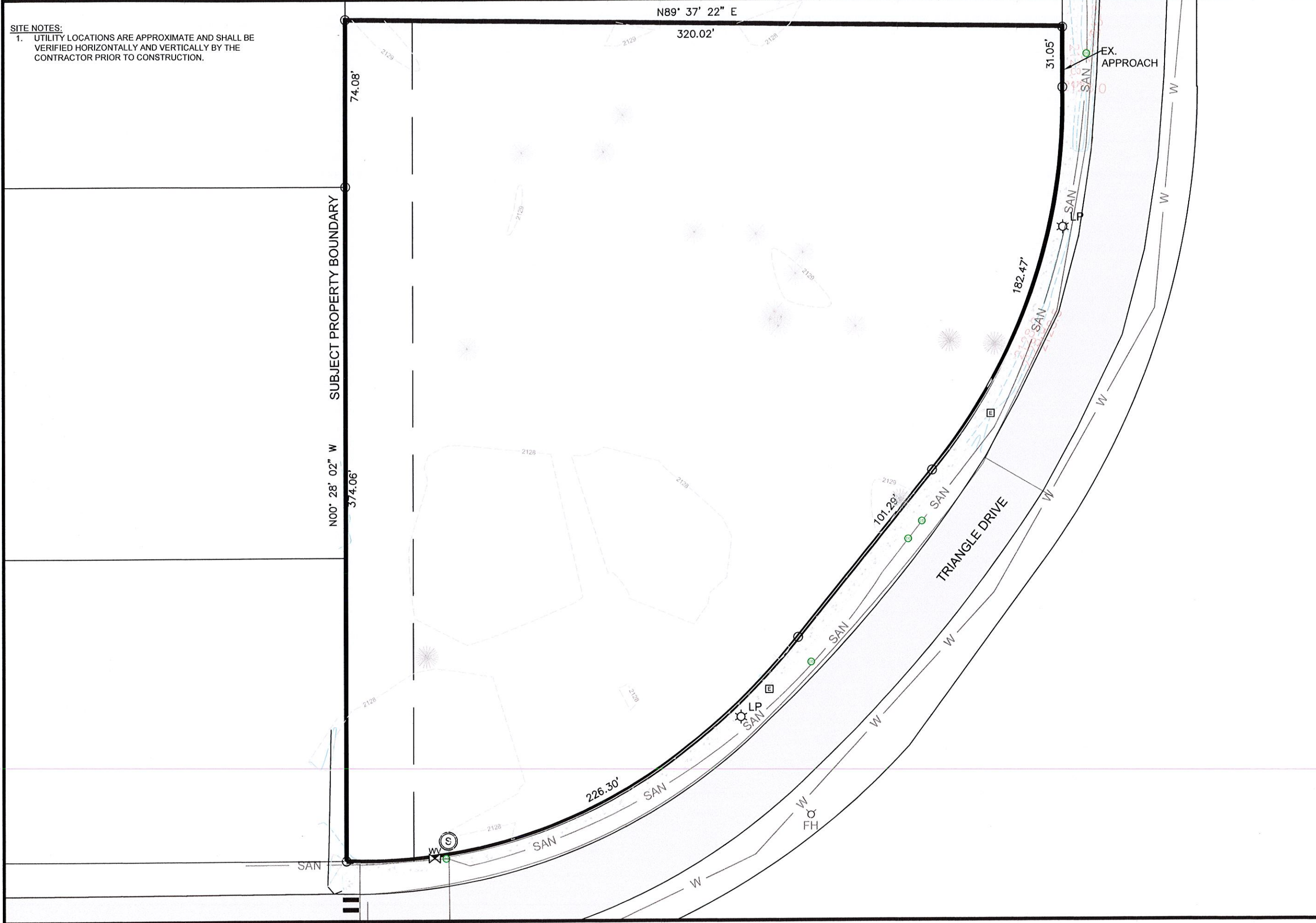
PROJECT NUMBER

2303GSI

DATE

4/29/2024

SITE NOTES:
 1. UTILITY LOCATIONS ARE APPROXIMATE AND SHALL BE VERIFIED HORIZONTALLY AND VERTICALLY BY THE CONTRACTOR PRIOR TO CONSTRUCTION.



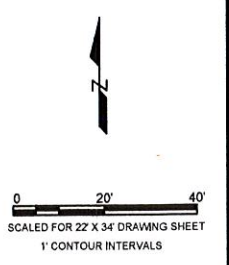
PRELIMINARY
 NOT FOR
 CONSTRUCTION

PROJ. NO.	REVISION
CW163	
DWN. BY	DATE
NMC	
DATE	BY
7/2/2024	
	SHEET
	C-1

GOOD SAMARITAN INN

EXISTING CONDITIONS

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UTILITY NOTES:

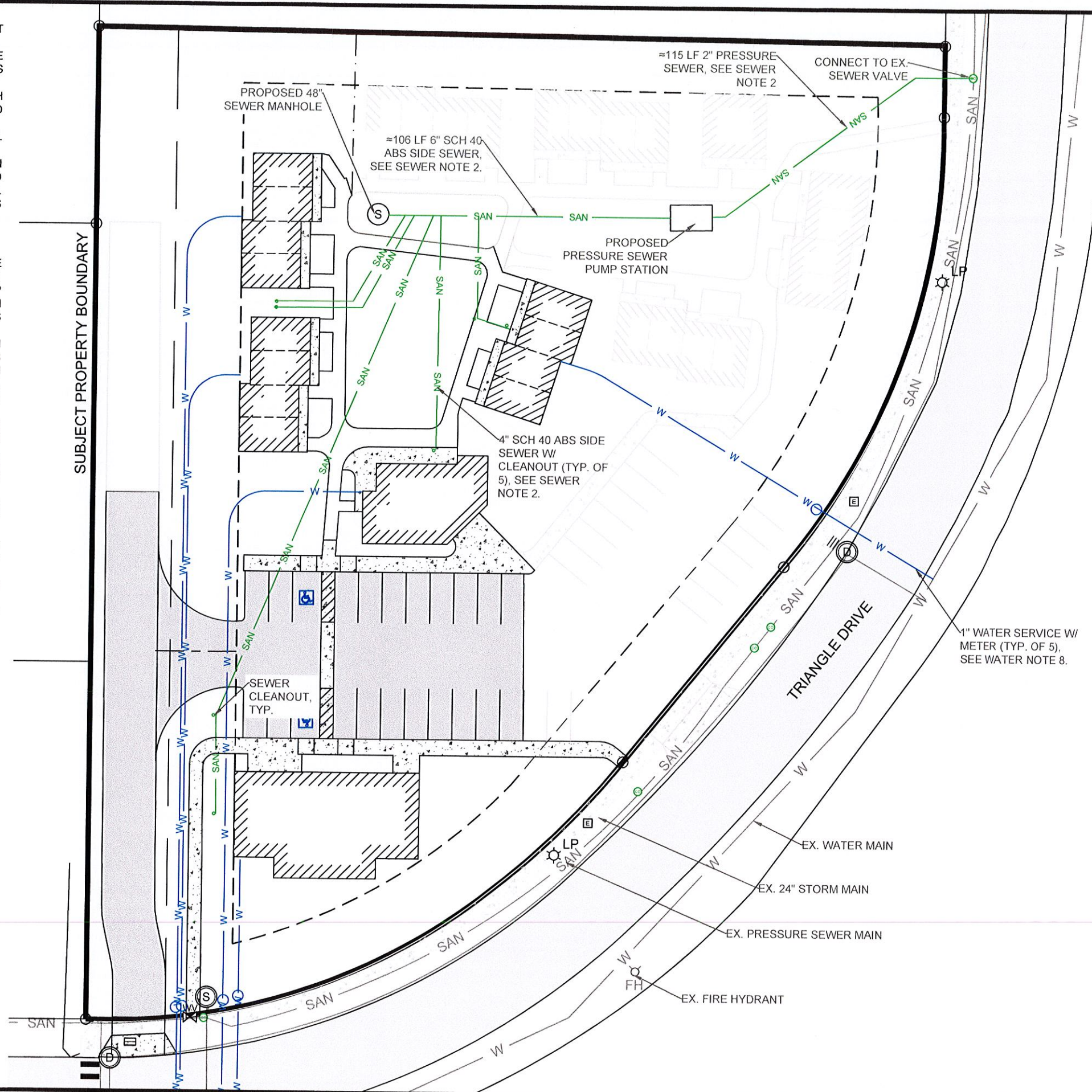
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ISPWC LATEST EDITION EXCEPT AS NOTED BELOW.
2. UTILITY LOCATIONS ARE APPROXIMATE. CONTRACTOR TO VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES INCLUDING INVERTS ASSOCIATED WITH PROPOSED CONNECTIONS.
3. CONTRACTOR TO COORDINATE INSTALLATION OF ALL SERVICES WITH ASSOCIATED UTILITIES INCLUDING SUBMITTING APPLICATIONS TO AND ACQUIRING PERMITS AS NEEDED.
4. CONTRACTOR RESPONSIBLE FOR COORDINATING A TRAFFIC CONTROL PLAN WHEN WORKING WITHIN THE RIGHT OF WAY.
5. THERE SHALL BE A MINIMUM OF 10' OF HORIZONTAL SEPARATION BETWEEN WATER AND SEWER PIPING, STRUCTURES, AND APPURTENANCES. IN ADDITION, A MINIMUM OF 18" OF VERTICAL SEPARATION IS REQUIRED BETWEEN WATER AND SEWER UTILITIES WHEN CROSSING.

WATER NOTES:

1. WATER SERVICES WILL BE THROUGH THE CITY OF SANDPOINT. SERVICE CONNECTION TO BE FROM WATER MAIN ON TRIANGLE DRIVE AS SHOWN.
2. WATER SERVICES SHALL INCLUDE A CORP STOP 1" (BALL TYPE CORP STOP) SEALED UNIT (FB 400 BALL CORP) - 1" AWWA/1" MALE IRON THREAD INLET BY 1" MALE IRON THREAD OUTLET. BRASS CONSTRUCTION. (FORD, MUELLER, MCDONALD)
3. WATER SERVICES SHALL BE INSTALLED WITHIN THE EXISTING SHOWN 60' ROW. 3M MID-RANGE MARKER #1257 SHALL BE PLACED AT CURB STOP AND VALVE. BRICKS SHALL BE PLACED BENEATH CORPORATION AND CURB STOP. CURB BOX SHALL BE BROOKS 250 SERIES - FULL LENGTH, WITH CAST IRON FLIP-TOP LID CUT OFF AS DIRECTED BY THE PUBLIC WORKS INSPECTOR.
4. WATER SERVICE PIPING SHALL BE IRON PIPE SIZE (IPS) POLY PIPE 200 PSI; MEETING AWWA C901 AND BEARING NSF STAMP FOR POTABLE WATER PIPE. SOLVENT WELDS NOT ACCEPTABLE. ALL BUSHINGS, NIPPLES AND FITTINGS SHALL BE BRASS MEETING NSF 61 CERTIFICATION. ALL SERVICE SADDLES SHALL BE DOUBLE STRAP-STAINLESS STEEL STRAPS.
5. WATER METERS SHALL BE BADGER AND SHALL BE LOCATED IN THE GROUND ADJACENT TO THE CURB STOP (PROVIDED AND INSTALLED BY THE CITY OF SANDPOINT). DUAL CHECK VALVE ASSEMBLY REQUIRED.
6. TRACING WIRE (12 GAUGE) SHALL BE PLACED ATOP WATER SERVICE LINES AND SHALL BE BROUGHT TO THE SURFACE ON THE OUTSIDE OF EACH WATER SERVICE CURB BOX.
7. A LICENSED CONTRACTOR IS TO HOT TAP THE EXISTING WATER MAIN UTILIZING ROMAC STAINLESS STEEL TAPPING SADDLES.
8. CONNECTIONS TO THE EXISTING WATER MAIN SHALL BE COORDINATED WITH THE CITY OF SANDPOINT.

SANITARY SEWER NOTES:

1. SEWER SERVICE WILL BE THROUGH THE KOOTENAI-PONDERAY SEWER DISTRICT. SERVICE CONNECTION TO BE FROM PRESSURE SEWER MAIN ON TRIANGLE DRIVE AS SHOWN.
2. SIDE SEWER SERVICE INSTALLATION SHALL ADHERE TO SECTION IV OF THE RULES AND REGULATIONS OF THE KOOTENAI-PONDERAY SEWER DISTRICT.
3. ALL SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ISPWC LATEST STANDARDS AND THE 10-STATE STANDARDS AND THE ADDITIONAL CONSTRUCTION REQUIREMENTS FROM ADDENDUM B OF THE RULES AND REGULATIONS OF THE KOOTENAI-PONDERAY SEWER DISTRICT INCLUDING BUT NOT LIMITED TO THOSE LISTED BELOW.
4. PUMP STATION MUST HAVE AN INTEGRAL BASE AND BOTTOM BARREL SECTION WITH NO JOINT FOR THREE (3) FEET.
5. CONTRACTOR MUST PROVIDE TEE AND VALVE IN PUMP STATION DISCHARGE PIPING TO ALLOW FOR AUXILIARY PUMP HOOK-UP.
6. PRESSURE SEWER LINES MUST BE 200 PSI OR SCH 40; STUB OUTS MUST HAVE BRASS OR STAINLESS STEEL ISOLATION VALVES AT THE END OF THE STUB WITH APPROPRIATE RISER AND METAL LID; STUBS MUST HAVE METALLIC TAPE MARKED "SEWER" WRAPPED AROUND VALVE TO PREVENT POTENTIAL CROSS-CONNECTION.
7. PRESSURE SEWER LINE FITTINGS MUST BE SMOOTH INTERNAL RADIUS WITH NO INTERNAL ROUGHNESS.
8. SEWER SERVICE LATERAL LOCATORS SHALL BE 3M MID-RANGE MARKERS #1258 PLACED AT EACH SEWER SERVICE STUB.
9. PUMP STATION CONTROLS AND OTHER ASSOCIATED EQUIPMENT SHALL BE DETERMINED BY THE KOOTENAI-PONDERAY SEWER DISTRICT.
10. TRACING WIRE (12 GAUGE SOLID CONDUCTOR) OF GREEN COLOR SHALL BE PLACED ATOP ALL PRESSURE AND GRAVITY LATERAL LINES.



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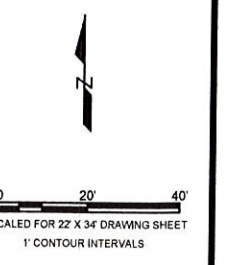
PROJ. NO. CW163	REVISION	DATE	BY	SHEET
DWN. BY NAC				C-3
DATE 7/2/2024				

GOOD SAMARITAN INN

CIVIL UTILITY PLAN

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**Good Samaritan
Inn - A continuum
of care facility**

Helping Hands
Healing Hearts

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No.	Description	Date

Sheet Title:
SITE PLAN

Project Number 2303GSI
Drawn By M.B & E.B
Date 4/29/2024

Schematic Design
Progress Set

A1.0

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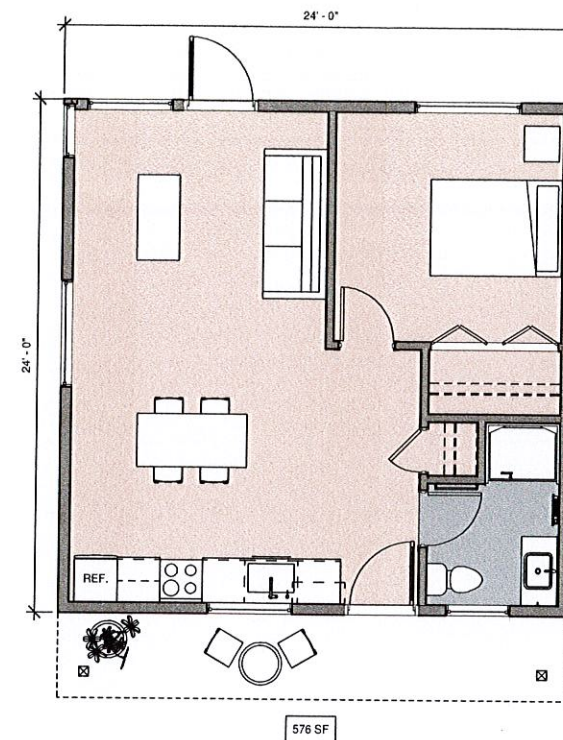
**DWELLING UNIT -
Floor Plans**

Project Number 2303GSI
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Date 4/23/2024

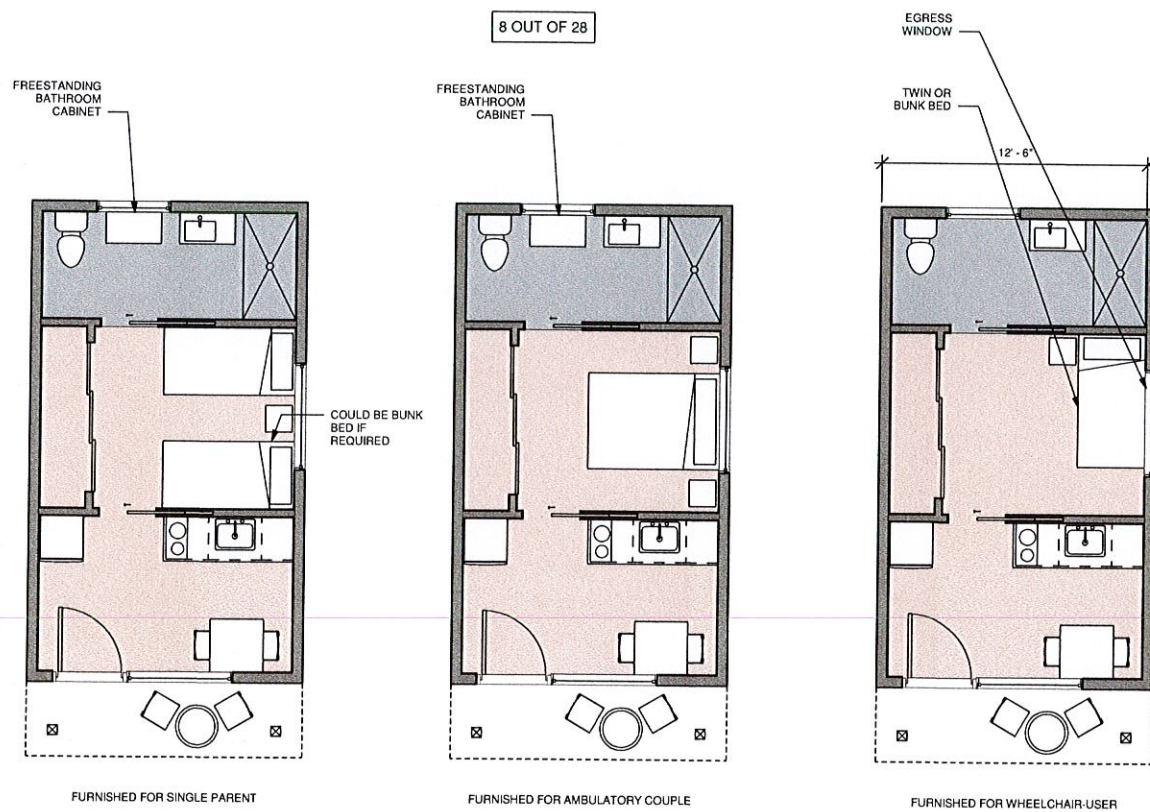
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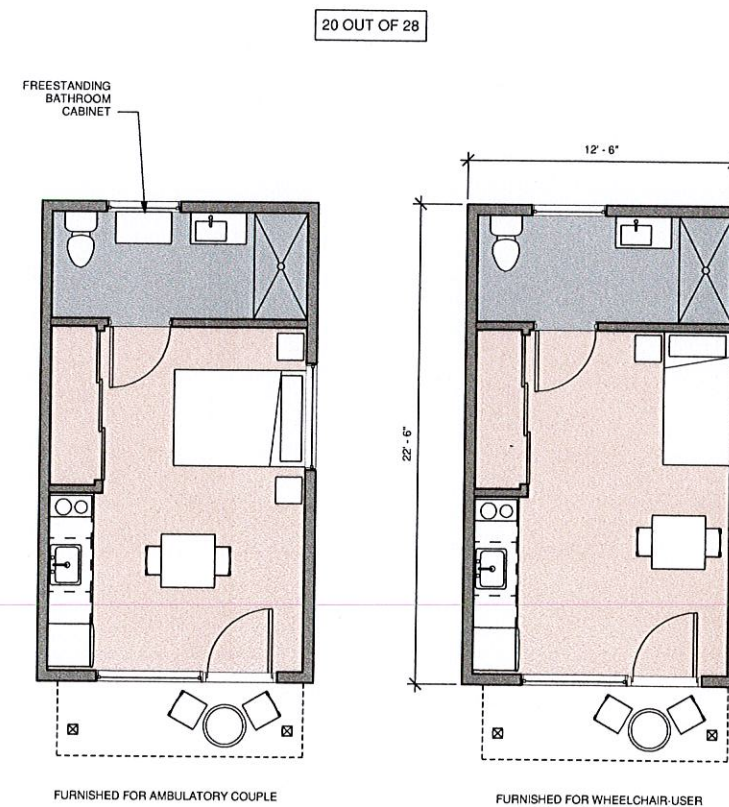


③ **MANAGER UNIT - Phase 2**
1/4" = 1'-0"



② **ACCESSIBLE, COUPLE'S & FAMILY UNIT**
1/4" = 1'-0"

(2017 ICC A117.- 1103.1 TYPE A - OPTIONAL)
275 SF



① **TYPICAL DWELLING UNIT**
1/4" = 1'-0"

(2017 ICC A117.- 1103.1 TYPE A - OPTIONAL)
275 SF
NOTE: THIS OPTION USES TWO SINKS

Schematic Design - Progress Set

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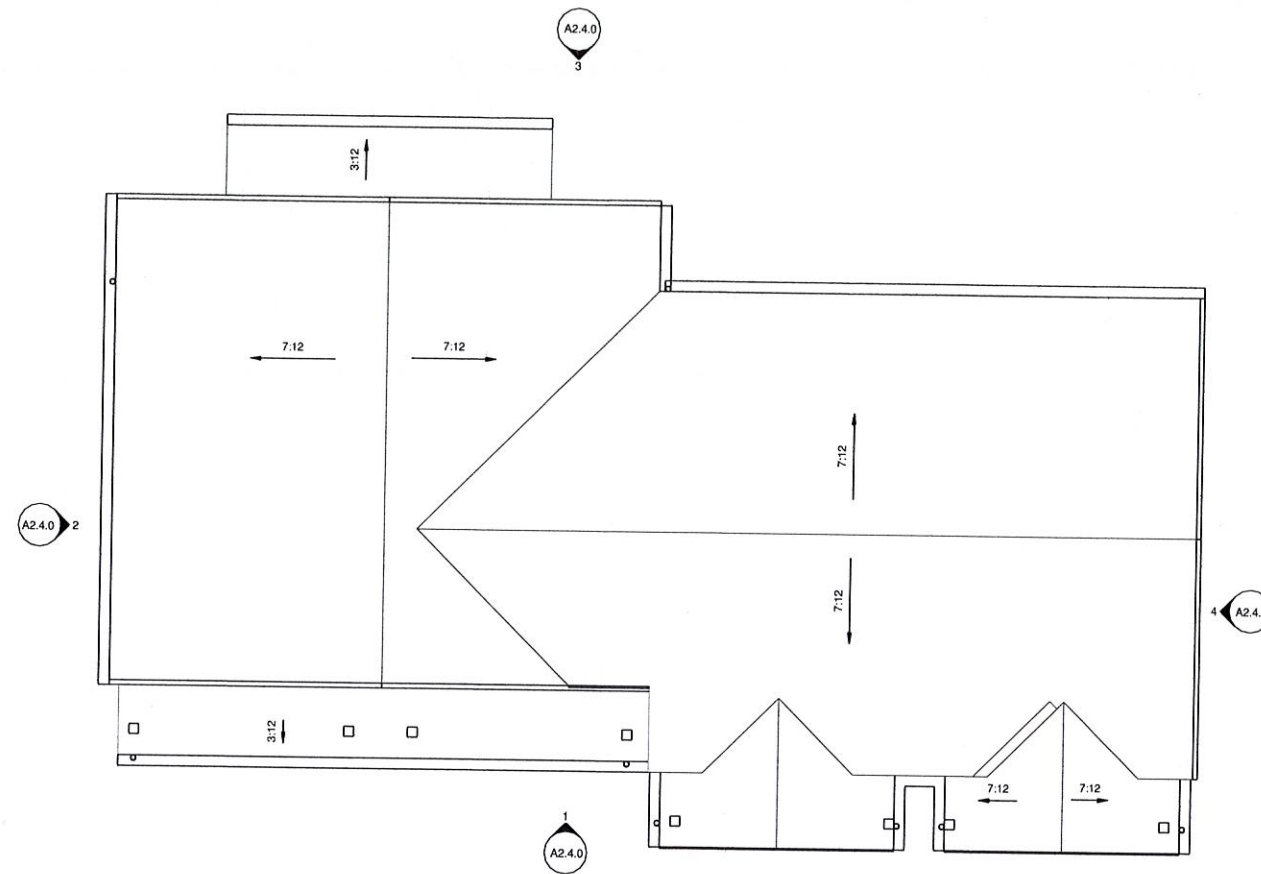
**DWELLING
BUILDING - Floor and
Roof Plans**

Project Number 2303GSI
Drawn By M.B & E.B
Date 4/23/2024

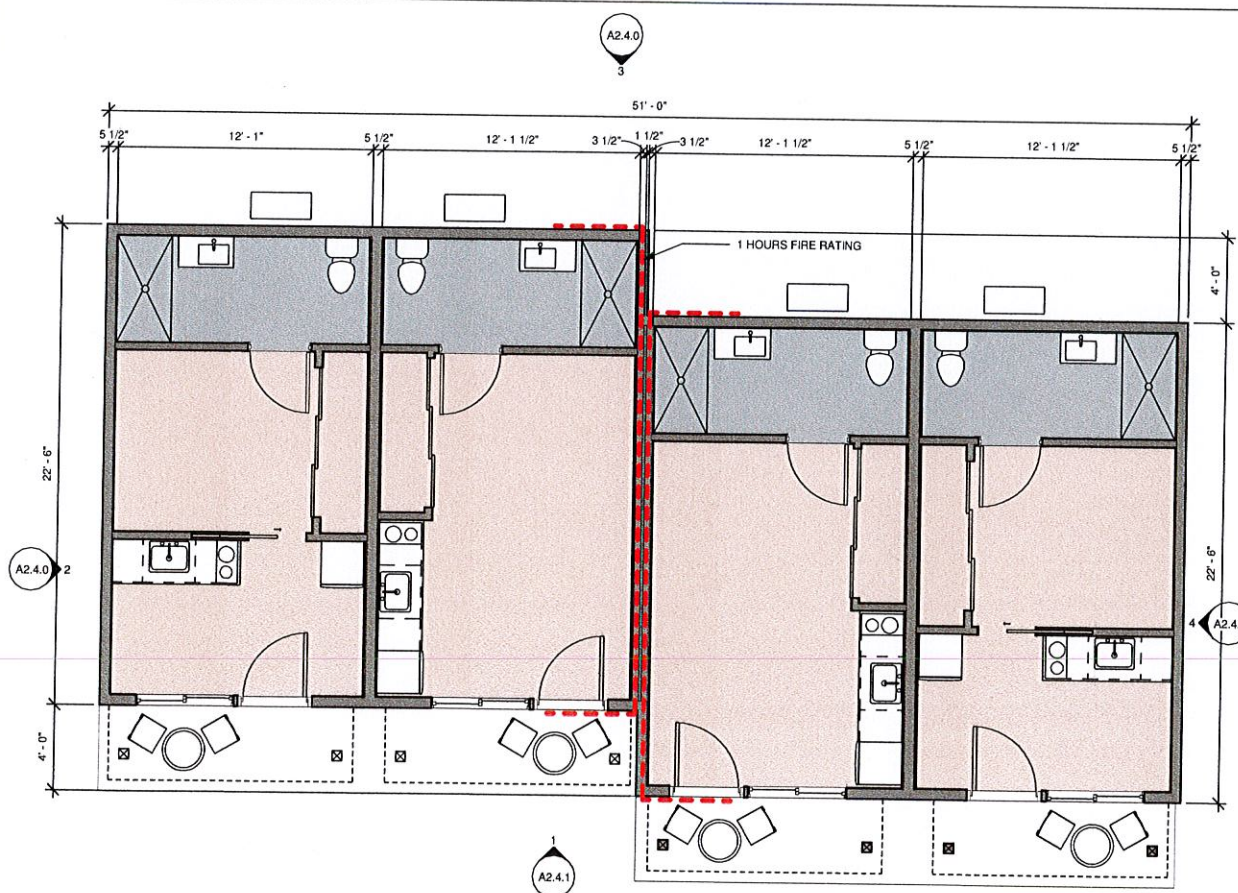
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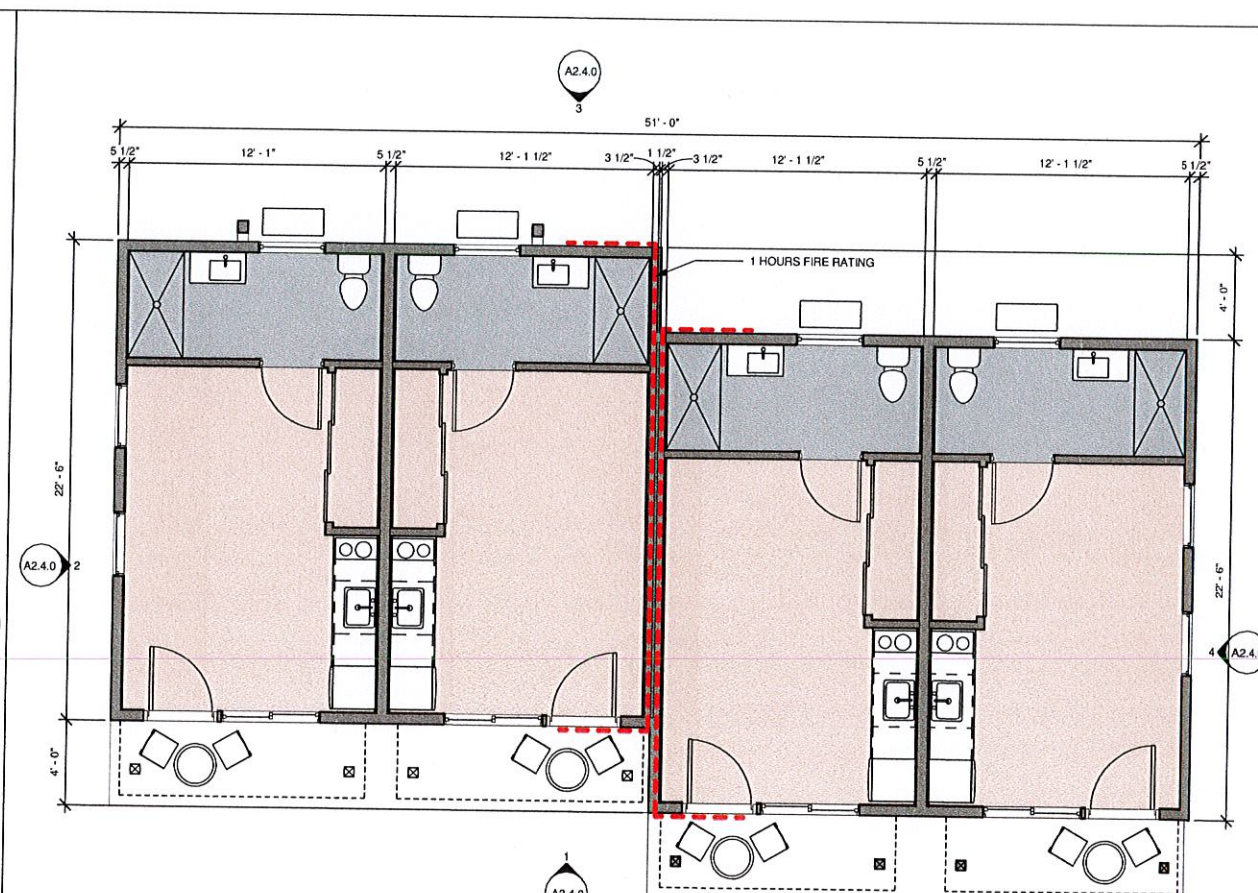
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③ DWELLINGS BUILDINGS - Roof Plan
1/4" = 1'-0"



② DWELLING BUILDING - Option 2
1/4" = 1'-0"



① TYP. DWELLING BUILDING - Floor Plan
1/4" = 1'-0"

Schematic Design - Progress Set

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**DWELLING
BUILDING - Exterior
Elevations**

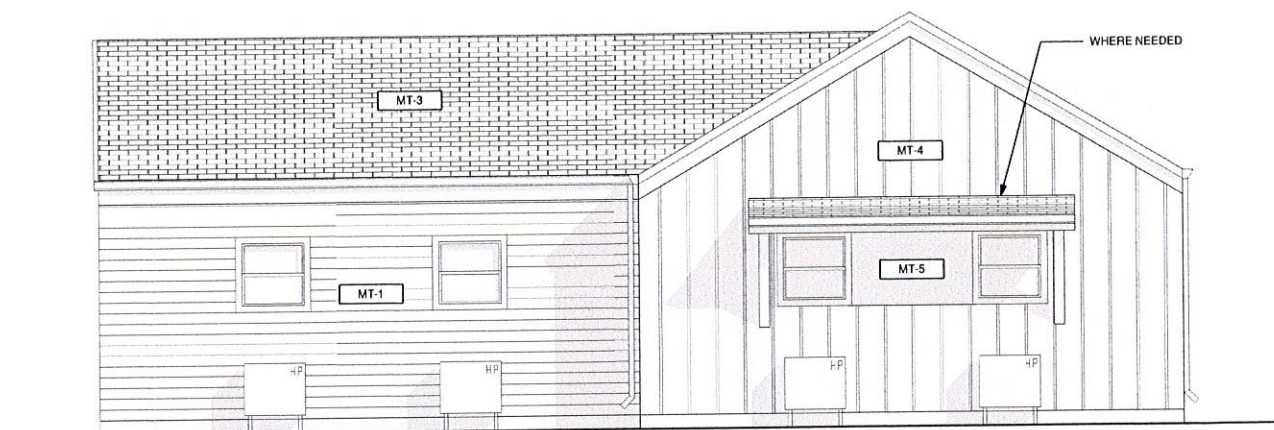
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Schematic Design - Progress Set

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④ Dwelling Building Elevation - East
1/4" = 1'-0"

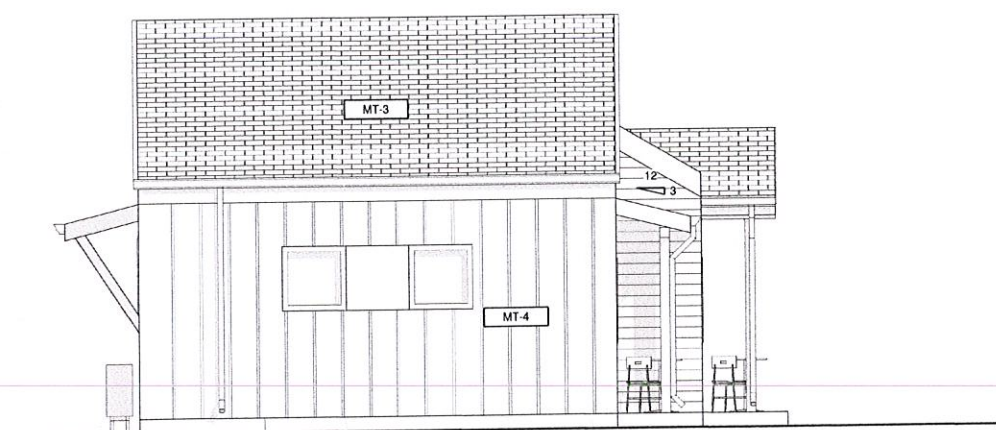


③ Dwelling Building Elevation - North
1/4" = 1'-0"

- ELEVATION GENERAL NOTES:**
1. SLOPE ALL GUTTERS TOWARD DOWNSPOUTS, 1" TOTAL.
 2. WINDOW SILLS @ 3'-0" AFF, UON AND @ 3'-6" AFF @ COUNTERTOPS, UON.
 3. WHEN ADJACENT TO DOOR, ALIGN TOP FF WINDOW FRAME WITH TOP OF DOOR FRAME.
 4. WINDOW TAG: ☉
 5. DOOR TAG: ☐
 6. MATERIAL TAG: [MT-#]

MATERIAL KEYED NOTES LEGEND

Key Value	Keynote Text
MT-1	LAP SIDING
MT-2	WOODEN SOFFIT - UNDER ROOF
MT-3	COMP. SHINGLE ROOFING
MT-4	1X3 STK CEDAR BOARD AND BATTEN, 16" O.C
MT-5	HARDIE PANEL



② Dwelling Building Elevation - West
1/4" = 1'-0"



① Dwelling Building Elevation - South
1/4" = 1'-0"

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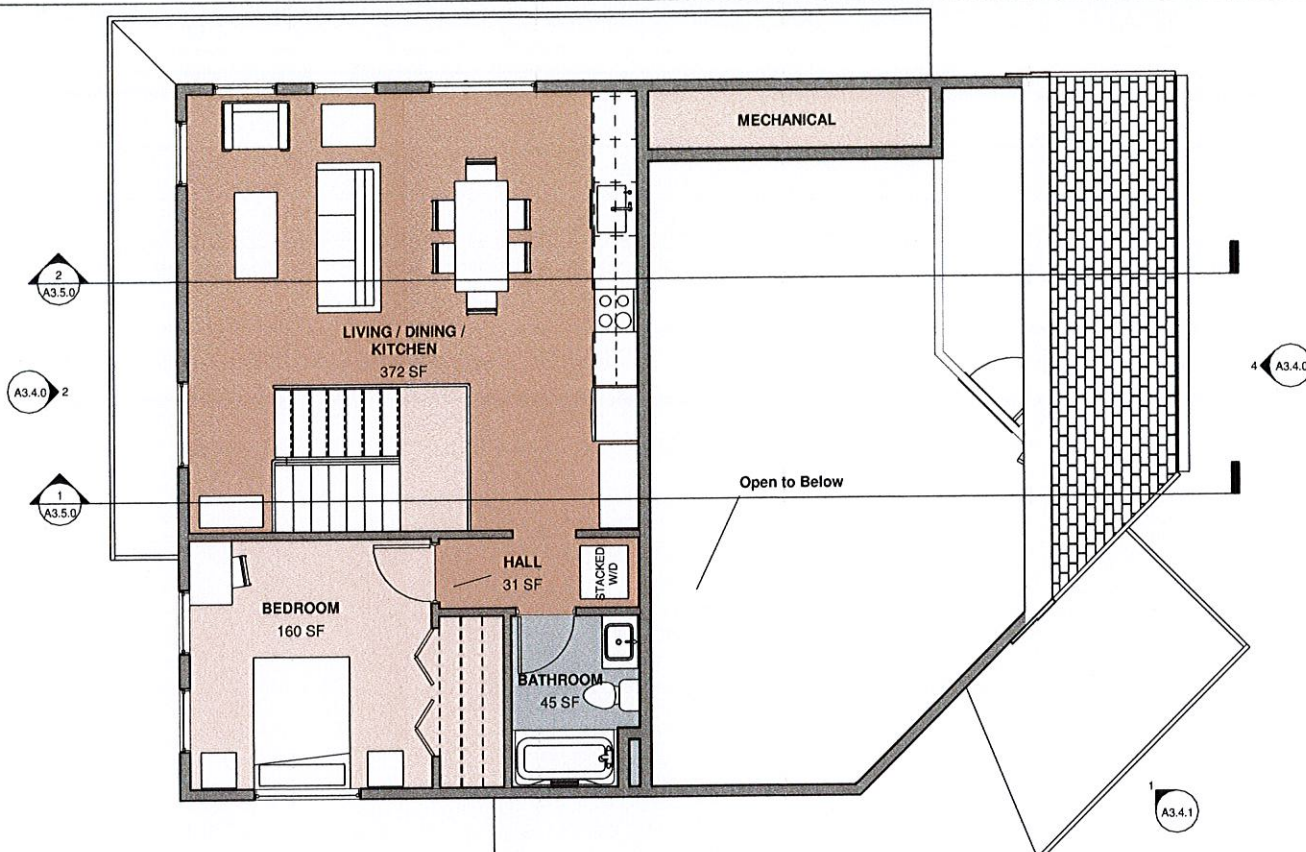
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Sheet Title:
**COMMUNITY HOUSE
- Floor Plans**

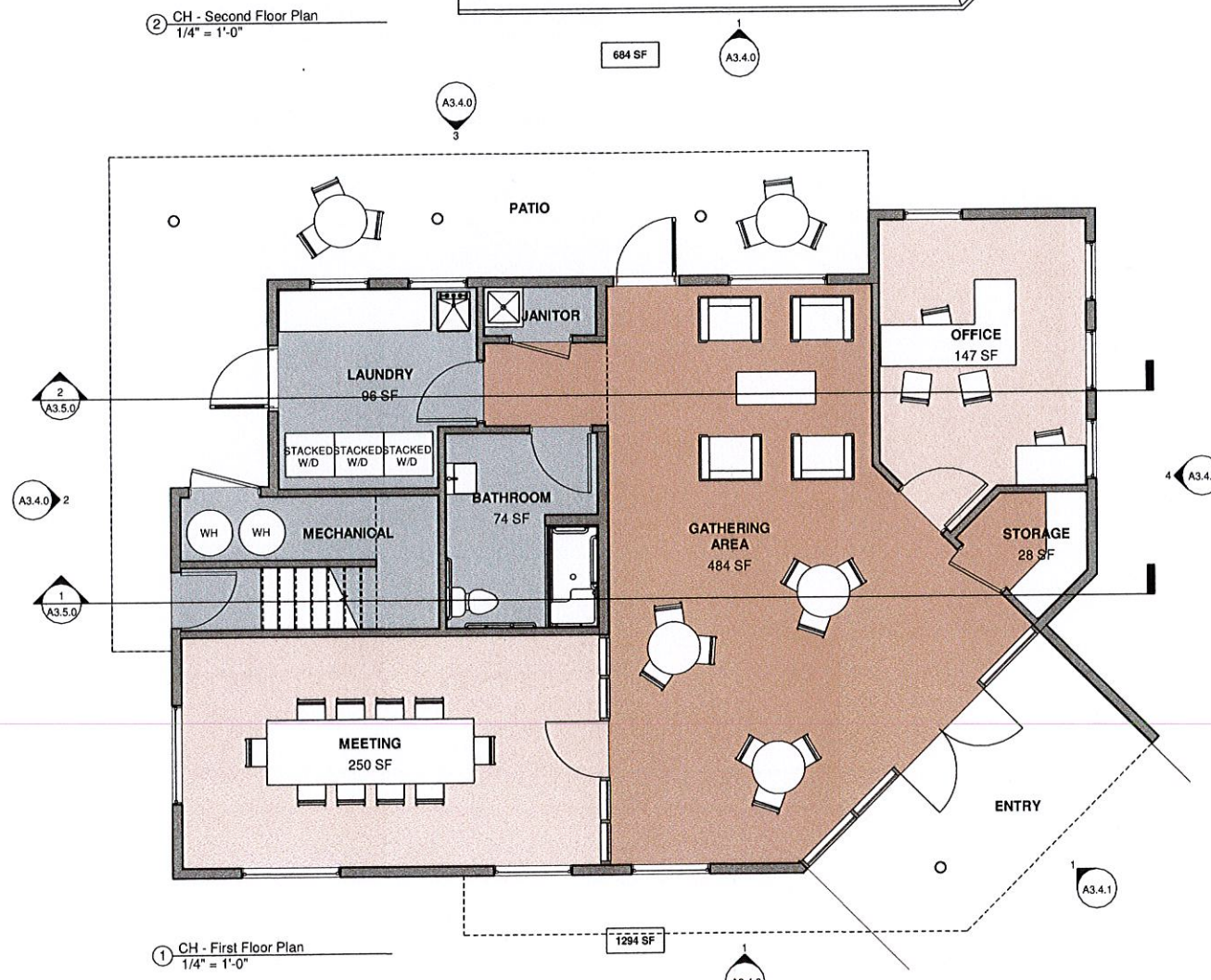
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Schematic Design - Progress
Set

A3.3.0



② CH - Second Floor Plan
1/4" = 1'-0"



① CH - First Floor Plan
1/4" = 1'-0"

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No.	Description	Date

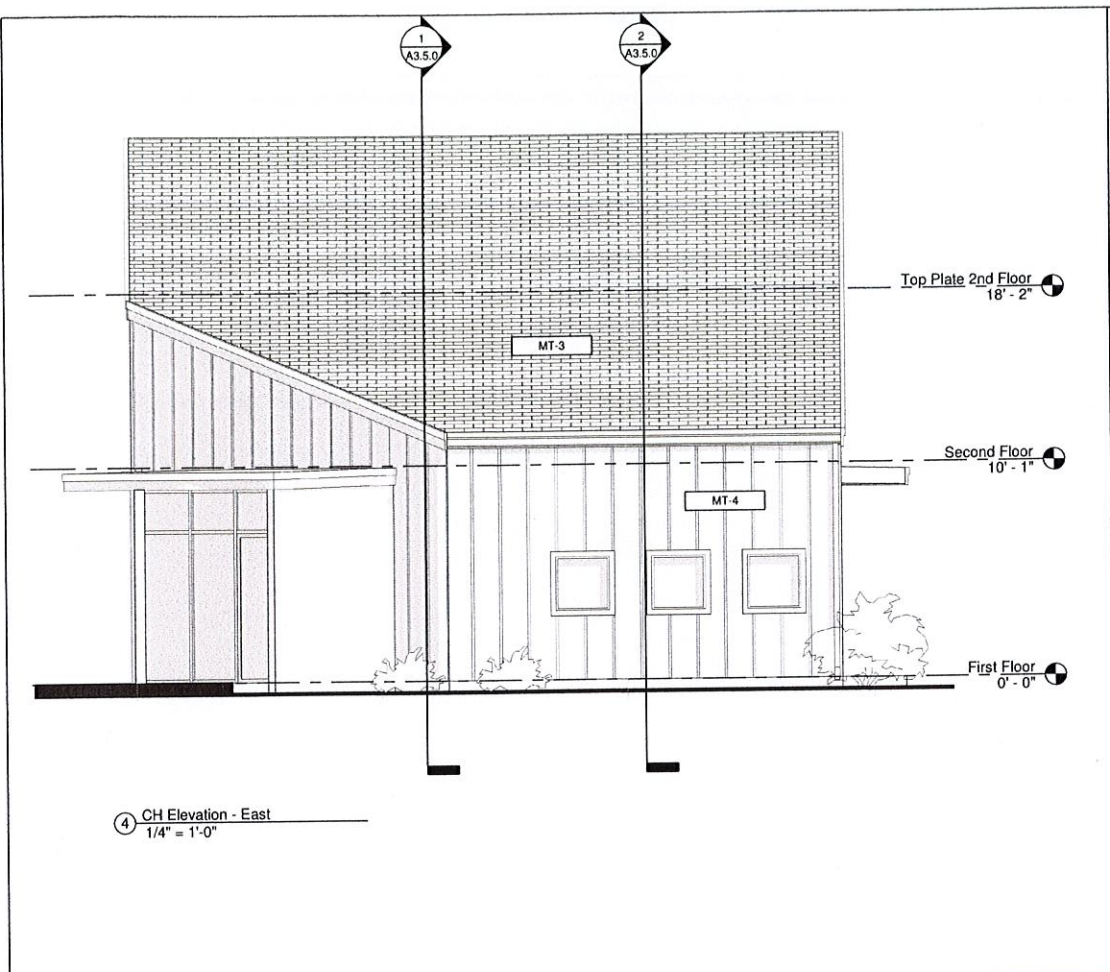
Sheet Title:
**COMMUNITY HOUSE
- Exterior Elevations**

Project Number 2303GSI
Drawn By M.B & E.B
Date 4/23/2024

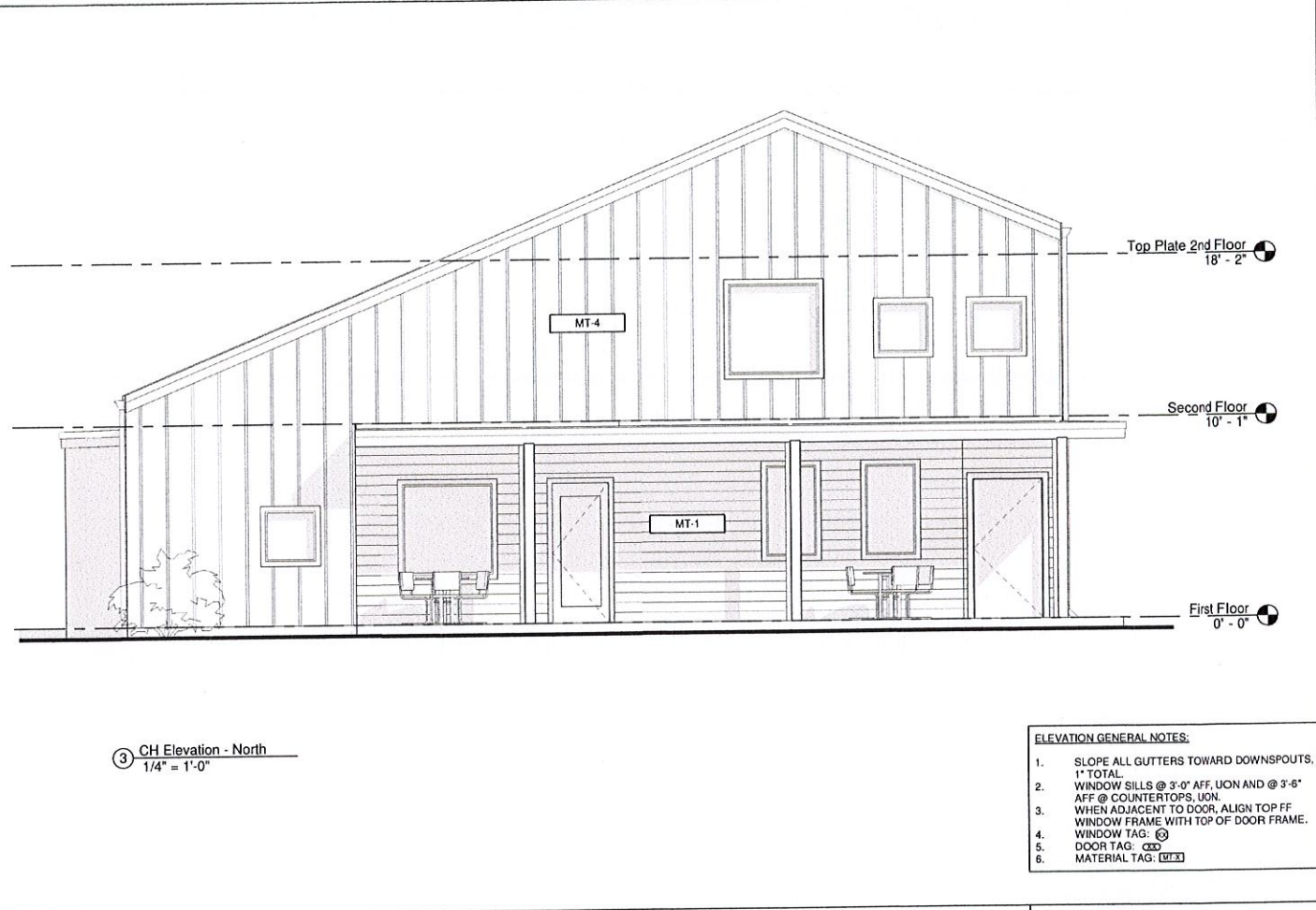
Schematic Design - Progress
Set

A3.4.0

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④ CH Elevation - East
1/4" = 1'-0"

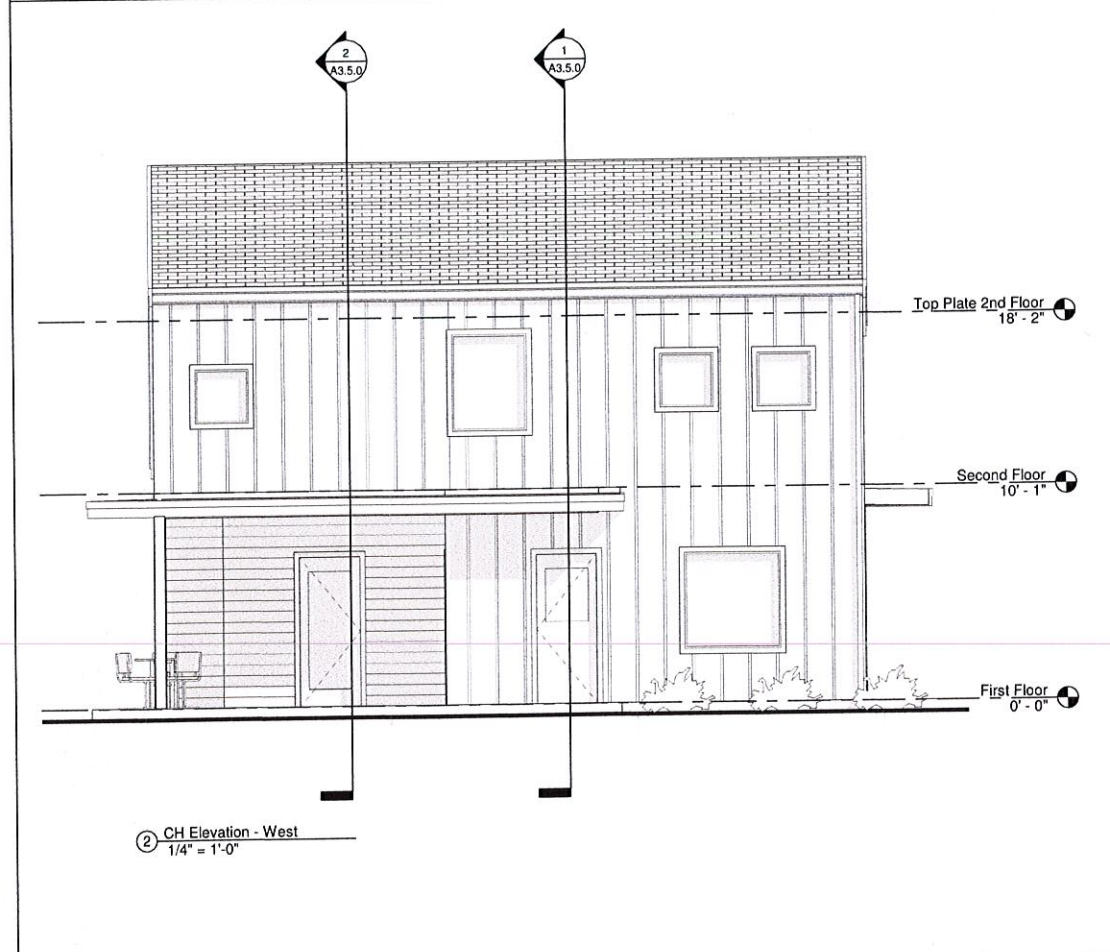


③ CH Elevation - North
1/4" = 1'-0"

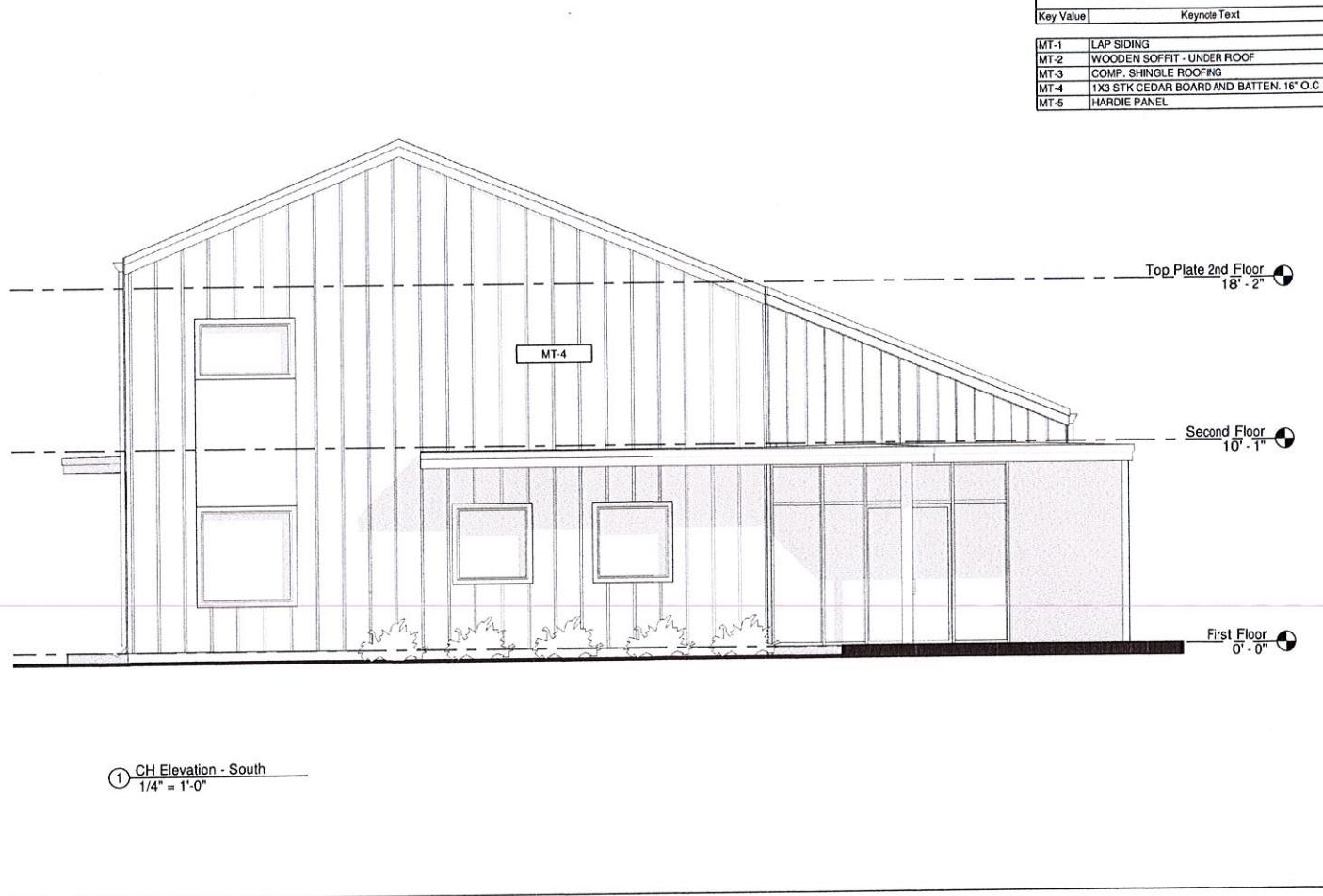
- ELEVATION GENERAL NOTES:**
1. SLOPE ALL GUTTERS TOWARD DOWNSPOUTS, 1" TOTAL.
 2. WINDOW SILLS @ 3'-0" AFF, UON AND @ 3'-6" AFF @ COUNTERTOPS, UON.
 3. WHEN ADJACENT TO DOOR, ALIGN TOP FF WINDOW FRAME WITH TOP OF DOOR FRAME.
 4. WINDOW TAG:
 5. DOOR TAG:
 6. MATERIAL TAG:

MATERIAL KEYED NOTES LEGEND

Key Value	Keynote Text
MT-1	LAP SIDING
MT-2	WOODEN SOFFIT - UNDER ROOF
MT-3	COMP. SHINGLE ROOFING
MT-4	1X3 STK CEDAR BOARD AND BATTEN 16" O.C
MT-5	HARDIE PANEL



② CH Elevation - West
1/4" = 1'-0"



① CH Elevation - South
1/4" = 1'-0"

Schematic Design - Progress Set

**Good Samaritan
Inn - A continuum
of care facility**

Helping Hands
Healing Hearts

900 Triangle Drive,
Ponderay, ID, 83852



STUDIO
co+hab

OWNER:
HELPING HANDS HEALING HEARTS
221 S DIVISION AVE, SANDPOINT ID 83864
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PROJECT MANAGER:
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**COMMUNITY HOUSE
- Exterior Elevations**

Project Number 2303GSI
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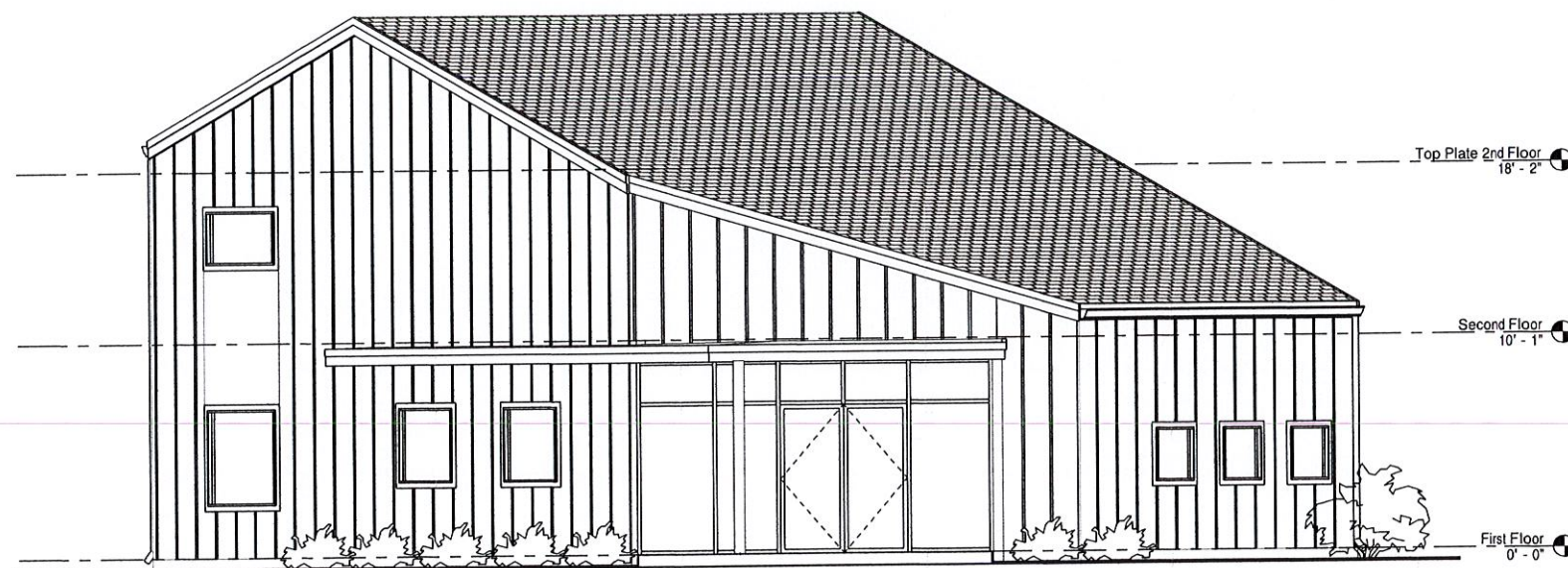
Schematic Design - Progress
Set

A3.4.1

- ELEVATION GENERAL NOTES:**
- SLOPE ALL GUTTERS TOWARD DOWNSPOUTS, 1" TOTAL.
 - WINDOW SILLS @ 3'-0" AFF, UON AND @ 3'-6" AFF @ COUNTERTOPS, UON
 - WHEN ADJACENT TO DOOR, ALIGN TOP FF WINDOW FRAME WITH TOP OF DOOR FRAME.
 - WINDOW TAG: ☉
 - DOOR TAG: ☼
 - MATERIAL TAG: [MT-X]

MATERIAL KEYED NOTES LEGEND

Key Value	Keynote Text
MT-1	LAP SIDING
MT-2	WOODEN SOFFIT - UNDER ROOF
MT-3	COMP. SHINGLE ROOFING
MT-4	1X3 STK CEDAR BOARD AND BATTEN, 16" O.C
MT-5	HARDIE PANEL



① CH Elevation - Southeast
1/4" = 1'-0"

Schematic Design - Progress Set

WINDOW SCHEDULE			
Type	Description	Width	Height
T1	TILT & TURN	2'-0"	2'-0"
T2	TILT & TURN	3'-0"	4'-6"
T3	TILT & TURN	3'-0"	5'-6"
T4	TILT & TURN	3'-6"	3'-0"
T5	TILT & TURN	4'-0"	3'-0"
T6	TILT & TURN	4'-0"	5'-6"
T7	TILT & TURN	4'-6"	4'-6"
T8	TILT & TURN	5'-0"	2'-6"
S1	SLIDING WINDOW	3'-0"	4'-0"
S2	SLIDING WINDOW	6'-0"	4'-0"
F1	FIXED	3'-0"	3'-0"
F2	FIXED	3'-6"	3'-0"
F3	FIXED	4'-0"	3'-0"
CO1	CASED OPENING - WINDOW	6'-0"	4'-0"

Door Schedule			
Type	Description	Width	Height
Exterior			
1	DOUBLE GLASS	72"	96"
2	HALF LITE GLASS DOOR	42"	80"
3	FLUSH DOOR	36"	80"
Interior			
100	SHAKER 5 PANEL	36"	80"
100	SHAKER 5 PANEL	36"	80"
100	SHAKER 5 PANEL	36"	80"
100	SHAKER 5 PANEL	36"	80"
100	SHAKER 5 PANEL	36"	80"
100	SHAKER 5 PANEL	36"	80"
100.1	SHAKER 5 PANEL - 180 DEGREE OPENING	36"	80"
101	DOUBLE HALF LITE	72"	80"
102	CASED OPENING	36"	80"

SPACE CATEGORIES - HHHH CENTER	
Display	
DONATION AND DISPLAY	978 SF
Office Space	
CIRCULATION 2	60 SF
ENTRY	90 SF
OFFICE 1	121 SF
OFFICE 2	84 SF
OFFICE - DIRECTOR	98 SF
SHOWER	72 SF
WC	36 SF
Storage Space	
CIRCULATION 1	100 SF
DONATION STORAGE	487 SF
FOOD STORAGE	164 SF
UTILITY	82 SF
833 SF	

- FLOOR PLAN GENERAL NOTES:**
- GANG PLUMBING VENTS IN ATTIC FOR MINIMUM ROOF PENETRATIONS. SEE ELECTRICAL PLANS FOR SOFFITS AND ATTIC ACCESS.
 - SEE SHEETS A8 X FOR & ENLARGED PLANS. ALL DIMENSIONS ARE TO FACE OF FRAMING, U.O.N.
 - ALL EXTERIOR WALLS ARE 2X6 U.O.N. ALL INTERIOR WALLS ARE 2X4 @ 24" O.C. U.O.N. & INSULATED AT ALL BEDROOMS, BATHROOMS AND W/D CLOSETS. OTHER CLOSET WALLS CAN BE UON UNINSULATED.
 - ALL DOORS TO HAVE DBL 2X JAMBS MIN. ALL CLOSETS ARE POLE AND 4 SHELVES U.O.N. TOP SHELF 28", LOWER SHELVES 12".
 - INSTALL TRANSITION STRIP BETWEEN DIFFERENT FLOORING TYPES, TYP. CONTINUE PLYWOOD SHEATHING ON AN INT. WALL WHERE SHEAR WALLS DO NOT EXTEND THE FULL LENGTH OF A ROOM, IN ORDER TO MAINTAIN A FLAT WALL FACE IT IS NOT NECESSARY TO CONTINUE SHEAR NAILING BEYOND THE LIMITS REQ'D BY STRUCT. DRAWINGS.
 - GYP. BD., TYP. @ ALL INTERIOR WALL SURFACES U.O.N. GYP. BD. "GREENROCK" @ ALL BATHRMS.
 - 4-1/4" WOOD BASEBOARDS AT ALL WALLS, U.O.N.
 - ALL ADJACENT WINDOWS TO BE MULLED TOGETHER.

FLOOR PLAN KEYED NOTES

NOTE #	NOTE TEXT
1	PLUMBING AND/OR MECHANICAL CHASE, TYP., CLUSTER DUCTS/PIPES IN CORNER AND SIZE CHASE MINIMUM NECESSARY
2	NOT USED
3	2x6 WALL
4	PULL DOWN ATTIC LADDER.

Good Samaritan Inn - A continuum of care facility

Helping Hands Healing Hearts

900 Triangle Drive, Ponderay, ID, 83852



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co+hab

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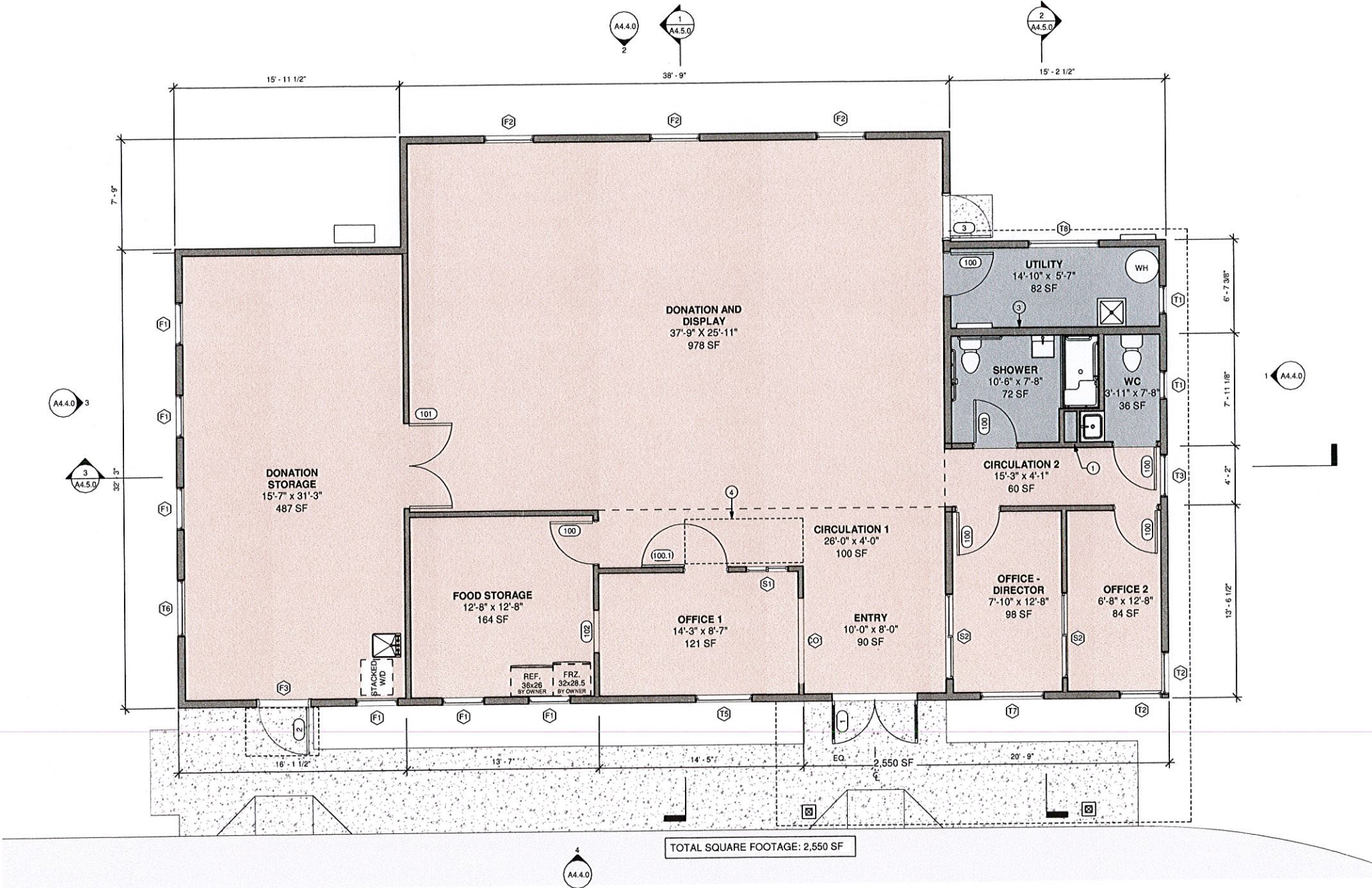
No.	Description	Date

Sheet Title:
HHHH CENTER - First Floor

Project Number: 2303GSI
Drawn By: M.B & E.B
Date: 4/23/2024

Schematic Design - Progress Set

A4.3.0



1 HHHH Center - First Floor Plan
1/4" = 1'-0"

Schematic Design - Progress Set

**Good Samaritan
Inn - A
continuum of
Helping Hands Healing
Hearts**
900 Triangle Drive,
Ponderay, ID, 83852

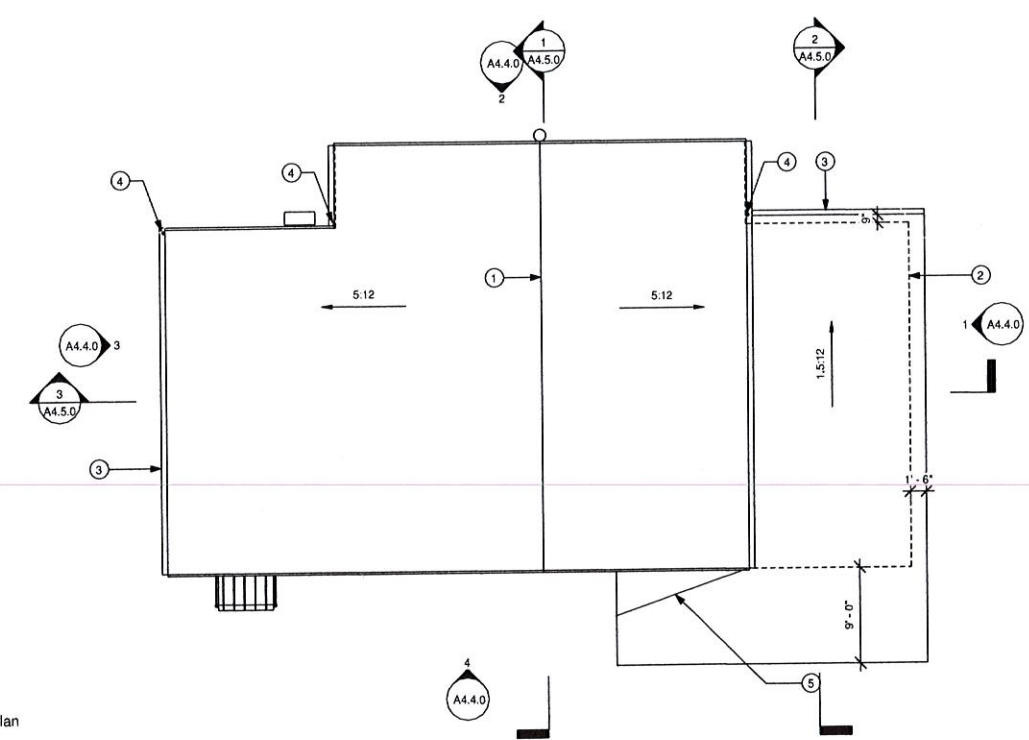
**STUDIO
co+hab**

Architect:
STUDIO CO+HAB, LLC
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BOZEMAN, MT 59715
651.336.0394
erik@studiocohab.com

ROOF PLAN KEYED NOTES

NOTE #	NOTE TEXT
1	RIDGE VENTING, TYP.
2	EXTERIOR WALL BELOW
3	3" MIN. O.G. GUTTER, TYP.
4	3" OPEN FACE DOWNSPOUT, WHERE NECESSARY, HOLD OUT FROM WALL SEVERAL INCHES TO AVOID OFFSETS IN SIDING PLANE USING A STRAIGHT DOWNSPOUT RUN.
5	CRICKET.

No.	Description	Date



① HHHH Center - Roof Plan
1/8" = 1'-0"

Sheet Title:
**HHHH CENTER -
Roof Plan**

Project Number: 2303GSI
 Drawn By: M.B & E.B
 Date: 4/23/2024

Schematic Design - Progress Set

A4.3.1

**Good Samaritan
Inn - A continuum
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Sheet Title:
**HHHH CENTER -
Exterior Elevations**

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Schematic Design - Progress
Set

A4.4.0

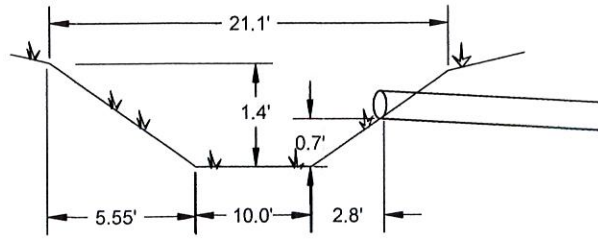


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 4. WINDOW TAG: (F)
 5. DOOR TAG: (D)
 6. MATERIAL TAG: (MT)

MATERIAL KEYED NOTES LEGEND

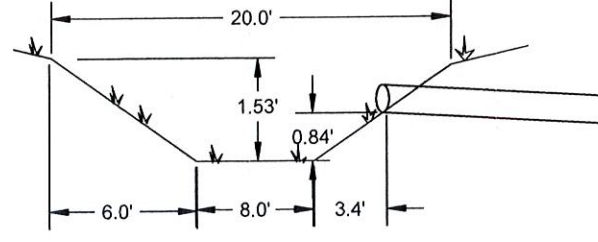
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MT-5	HARDIE PANEL

Schematic Design - Progress Set



1. SWALE TO BE SEEDED WITH NATIVE GRASS SEED.

GRASSED STORMWATER DETENTION SWALE SECTION #1
NTS



1. SWALE TO BE SEEDED WITH NATIVE GRASS SEED.

GRASSED STORMWATER DETENTION SWALE SECTION #2
NTS

PRELIMINARY
NOT FOR
CONSTRUCTION

PROJ. NO.	REVISION	DATE	BY	SHEET
CW163				C-5
	DWN BY			
	DATE	7/2/2024		

GOOD SAMARITAN INN

CIVIL DETAILS

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