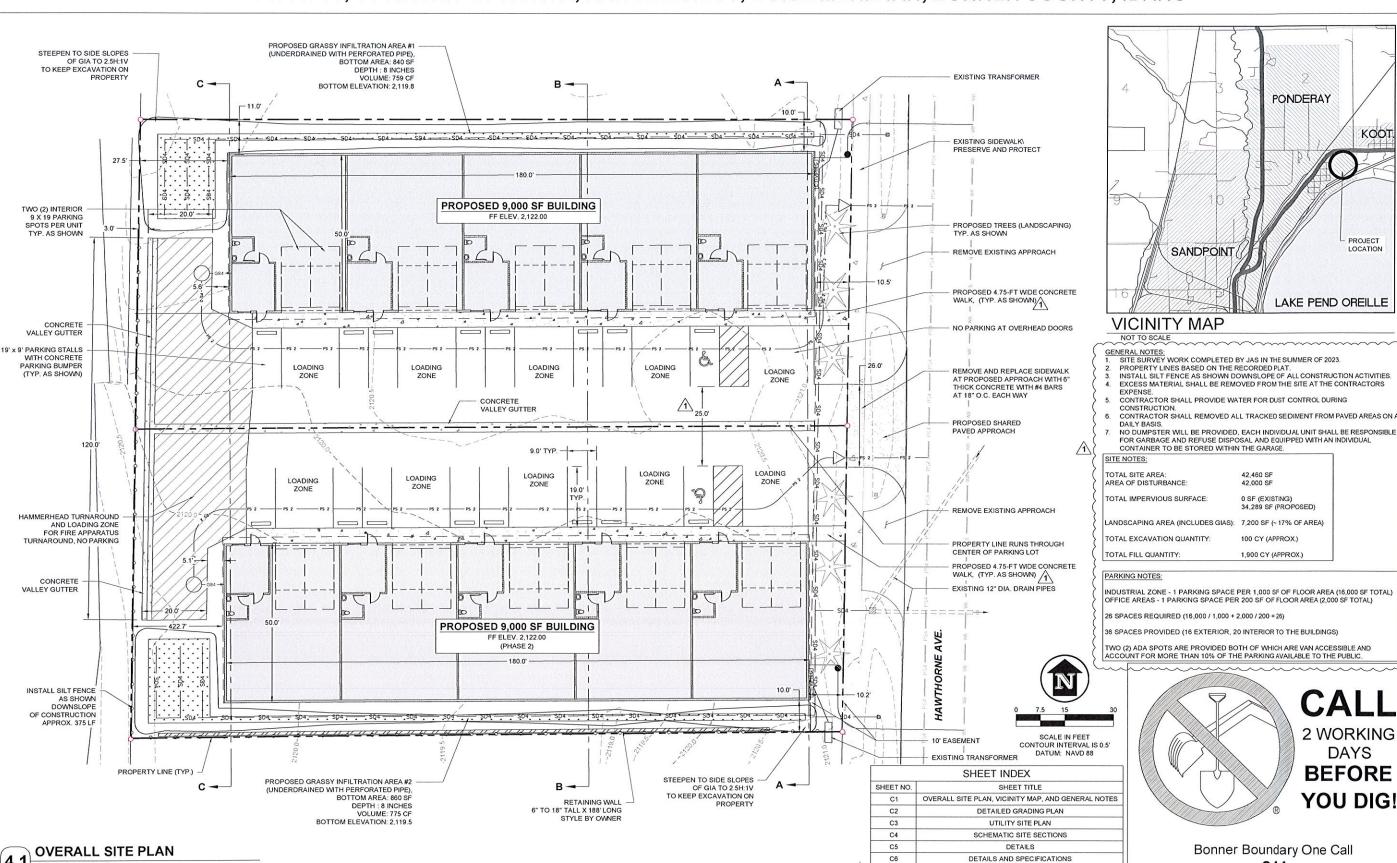
# SEARS LOTS 4 & 5, LEW'S INDUSTRIAL PARK

(PARCEL RPP39490010040A & RPP39490010050A / LEW'S INDUSTRIAL PARK, BLK 1, LOT 4 & 5) SECTION 11, TOWNSHIP 57 NORTH, RANGE 2 WEST, BOISE MERIDIAN, BONNER COUNTY, IDAHO





1-21-2023 REV. PER CITY COMMENTS (11-15-23), ADDED CT. JPJIF.
DATE. REVISION DATE.

A. Sewell and Associates, LLC NORTH DIVISION AVENUE (208) 263-4160



OVERALL SITE PLAN, VICINITY I AND GENERAL NOTES PROJECT: SEARS LOTS 4 & 5 LEW'S INDUSTRIAL PARK BONNER COUNTY, IDAHO

11-16-2023
AS SHOWN

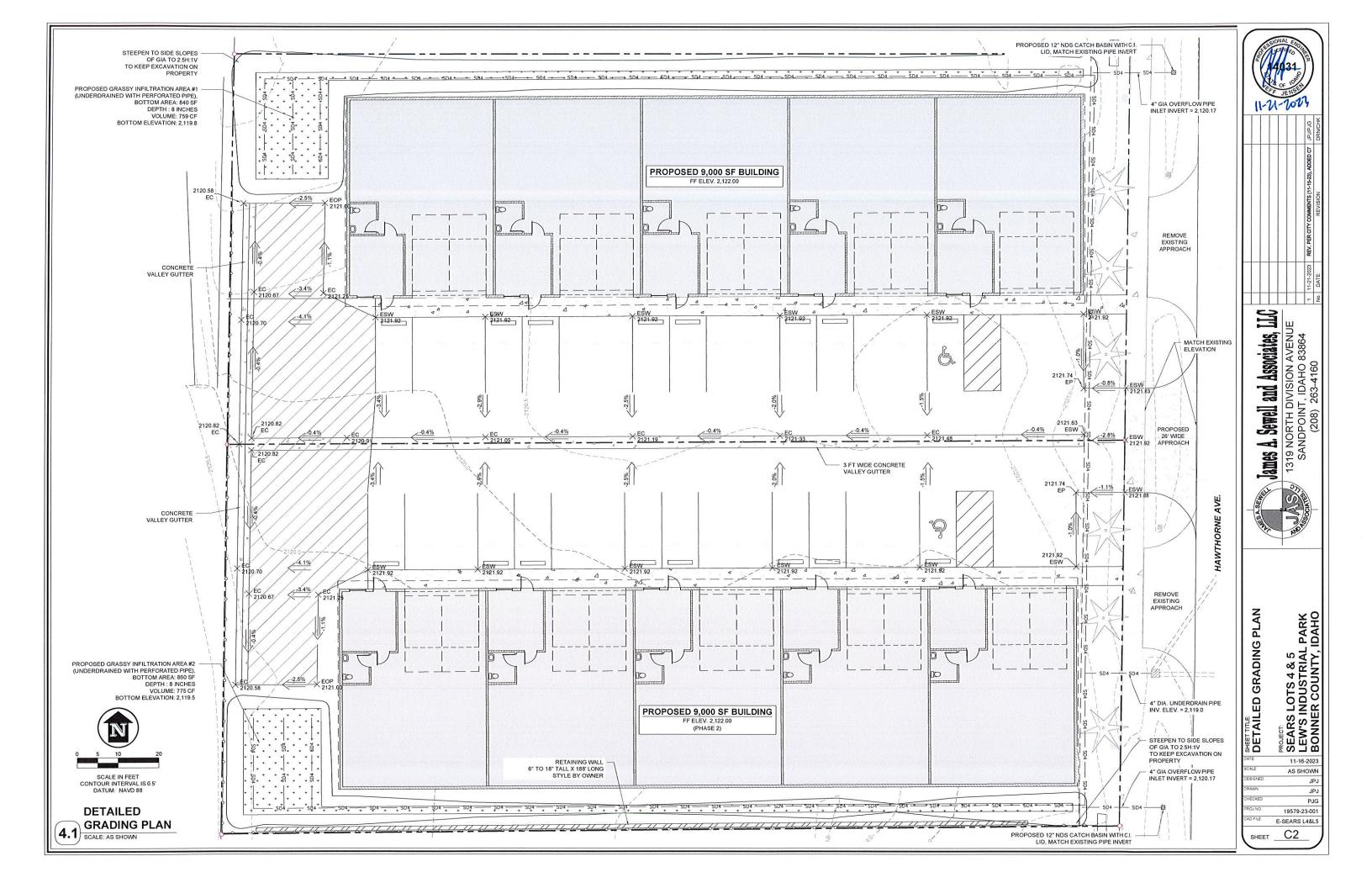
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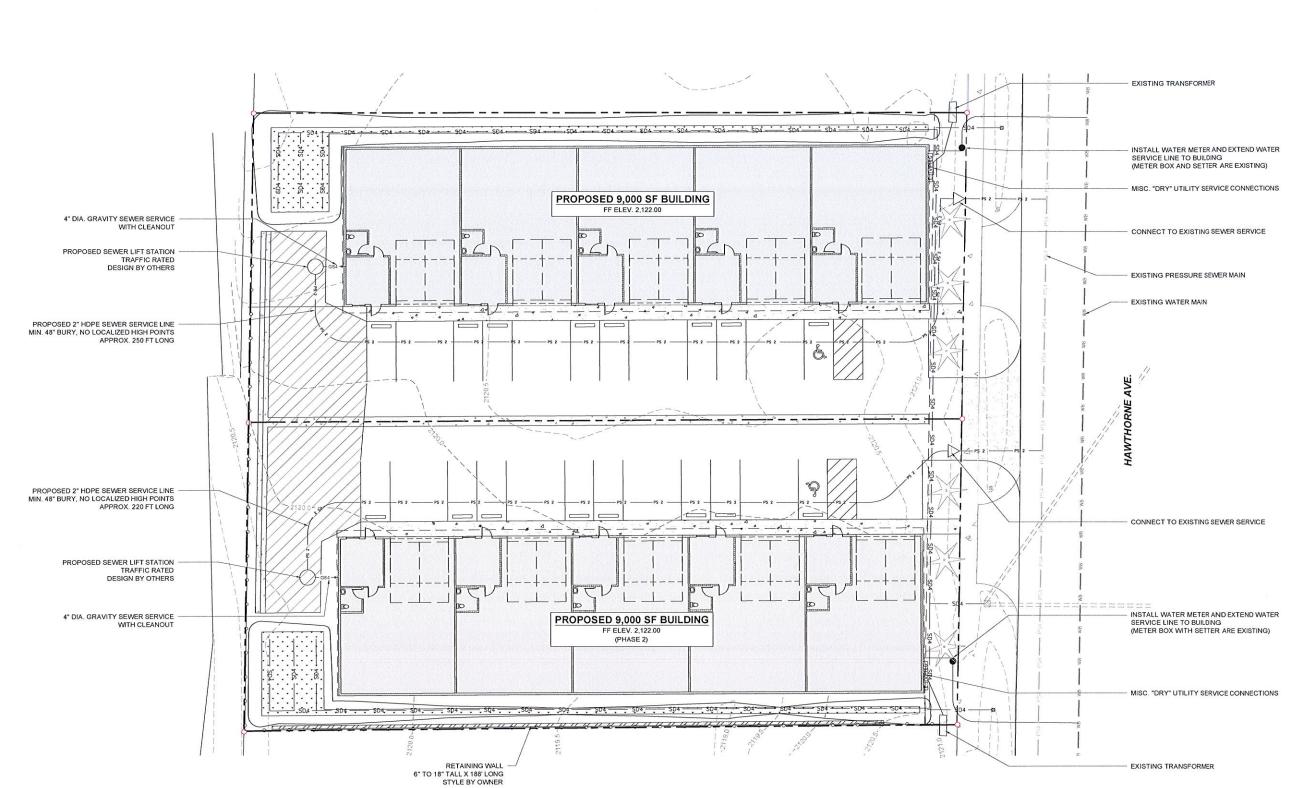
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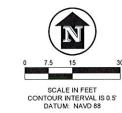
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SHEET

811







11-21-2023

James A. Sewell and Associates, LLC
1319 NORTH DIVISION AVENUE
SANDPOINT, IDAHO 83864
(208) 263-4160

SEARS LOTS 4 & 5 LEW'S INDUSTRIAL P BONNER COUNTY, ID

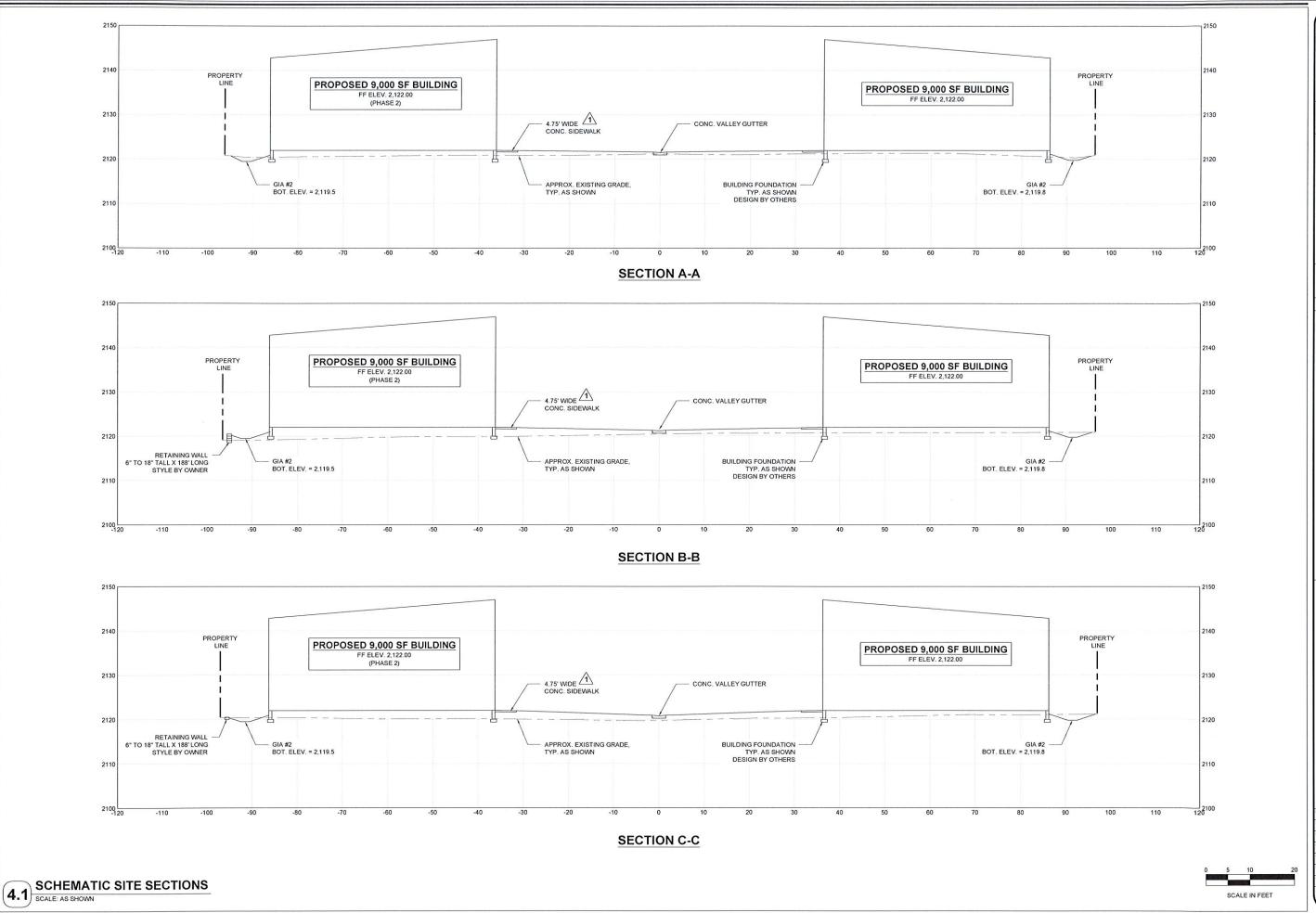
11-16-2023 AS SHOWN JPJ JPJ PJG 19579-23-001 E-SEARS L4&L5

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SHEET

SHEET TITE UTILITY SITE PLAN

4.1 UTILITY SITE PLAN
SCALE: AS SHOWN



11-21-2023

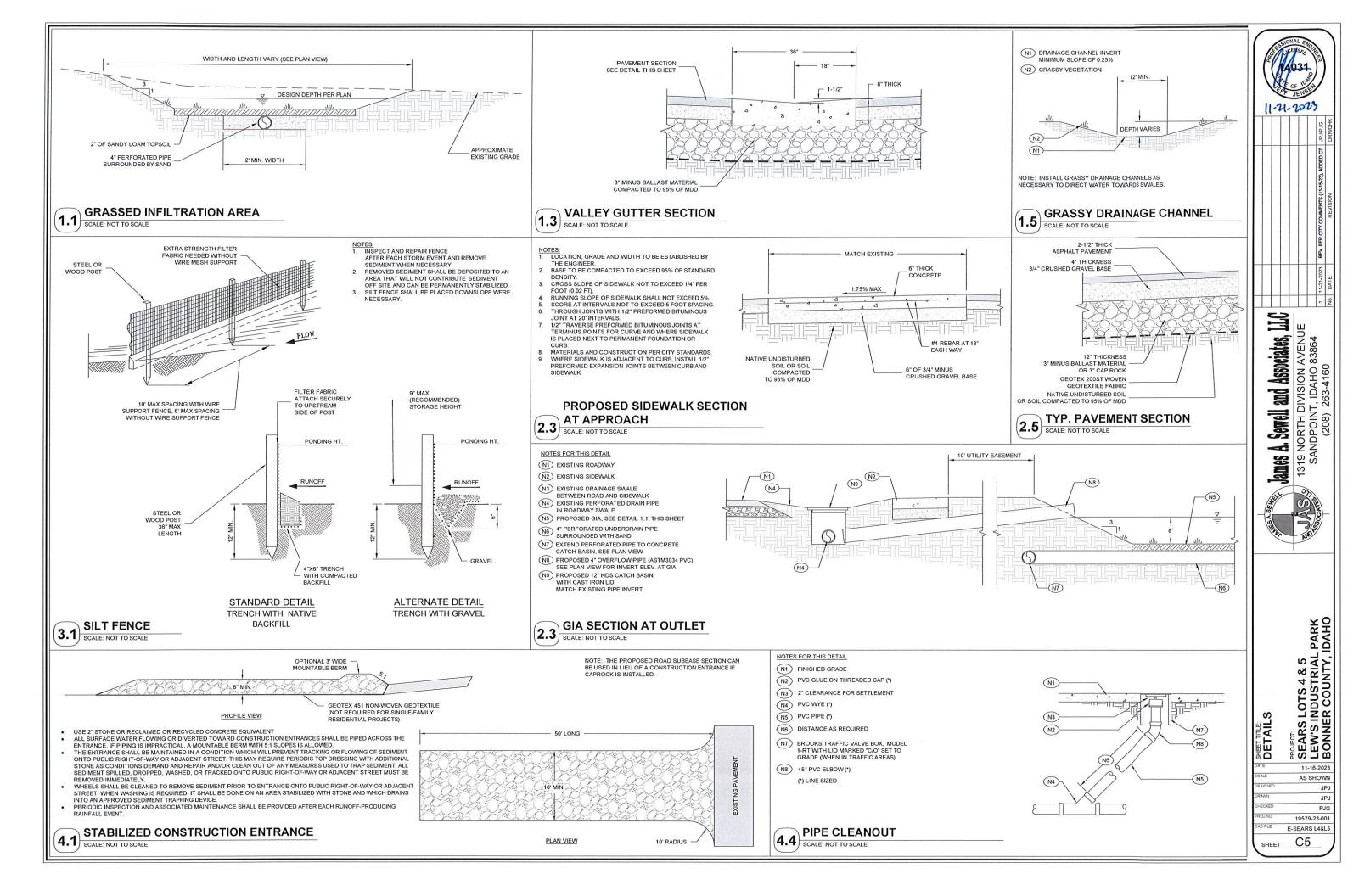
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SCHEMATIC SITE SECTIONS SEARS LOTS 4 & 5 LEW'S INDUSTRIAL P BONNER COUNTY, ID

11-16-2023 AS SHOWN

JPJ JPJ PJG 19579-23-001 E-SEARS L4&L5

SHEET C4



WATER PIPE LINE - WATER DISTRIBUTION PIPELINES SHALL MEET THE EQUIREMENTS OF AWWA C900 FOR CLASS 235 DR18 PVC PIPE. JOINTS SHALL BE BELL AND SPIGOT TYPE WITH ELASTOMETRIC GASKETED FITTINGS VICE LINES SHALL MEET THE REQUIREMENTS OF AWWA C800-89 AND SHALL BE MINIMUM 2" DIAMETER POLYETHYLENE TUBING MEETING THE SPECIFICATIONS OF AWWA C901-88 OR SHALL BE SCH 40 PVC. ALL WATER PIPE SHALL BE NSF APPROVED FOR USE WITH POTABLE WATER SYSTEMS.

#### WATER MATERIALS:

PIPE FITTINGS - PIPE FITTINGS SHALL BE MECHANICAL JOINT CEMENT MORTAR LINED CAST IRON OR DUCTILE IRON CONFORMING TO AWWA C110, END CONNECTIONS SHALL BE FITHER FLANGED OR MECHANICAL JOINT CONFORMING TO AWWA STANDARD C-111. MECHANICAL JOINT FITTINGS SHALL CONFORM TO AWWA C111 USING TRANSITION GASKETS FOR CONNECTION TO ASTM PVC PIPE. ALL MJ FITTINGS SHALL BE EQUIPPED WITH GRIP-RING JOINT RESTRAINT OR ENGINEER APPROVED EQUAL. POLYETHYLENE PIPE SHALL USE FITTINGS APPROVED FOR USE WITH THE SPECIFIC TYPE OR PIPE.

VALVES - GATE VALVES SHALL CONFORM TO AWWA C-509 VALVES SHALL HAVE Y ENCAPSULATED, RESILIENT WEDGE, USING NON-RISING SYSTEM AND "O RING SEALS AND ENDS AS NOTED. VALVES SHALL BE "AFCO" BRAND, OR ENGINEER APPROVED EQUAL VALVE BODY SHALL BE COATED WITH A FUSION-BONDED EPOXY, COATED TO A MINIMUM DRY THICKNESS OF 10 MILS. VALVES SHALL INCLUDE A TWO PIECE CAST IRON VALVE BOX SUITABLE FOR THE BURIAL DEPTH REQUIRED. VALVE BOXES SHALL INCLUDE A CAP MARKED "WATER"

CURB STOPS - CURB STOPS SHALL BE 175 LB. CURB STOP VALVES, AND SHALL BE MUELLER MARK II ORISEAL CURB VALVE, OR EQUAL. CURB STOPS SHALL INCLUDE CAST IRON SCREW TYPE CURB BOX WITH ARCH PATTERN BASE, AND SHALL BE MUELLER H-1300-1 OR ENGINEER APPROVED EQUAL.

SERVICE CONNECTIONS - CONNECTION OF SERVICE LINE TO MAIN LINE SHALL BE MADE WITH A MAIN LINE SIZE TAPPING SADDLE. ALL SERVICE SADDLES SHALL BE STAINLESS STEEL, DOUBLE STRAPPED AND APPROVED FOR BY THE MANUFACTURER OF THE PIPE BEING TAPPED. THE PIPE SHALL BE CONNECTED IN A MANNER APPROVED BY THE MANUFACTURER OF THE PIPE AND THE SERVICE INSTALLED IN ACCORDANCE WITH THE ISPWC 409.08. SERVICE LINES SHALL BE 200 PSI POLYETHYLENE PIPE MEETING THE REQUIREMENTS OF AWWA C-901 AND ASTM D2239, AND SHALL BE NSF APPROVED. ALL SERVICES SHALL BE EQUIPPED WITH A CORPORATION STOP AT THE SERVICE SADDLE

## SEWER MATERIALS:

GRAVITY SEWER PIPE - BURIED GRAVITY SEWER PIPE AND FITTINGS SHALL CONFORM TO THE REQUIREMENTS OF ASTM D3034 WITH A MAXIMUM SDR OF 41. ALL BURIED PIPE JOINTS TO HAVE O-RING GASKETS.

PRESSURE SEWER PIPE - PRESSURE SERVICE LINES SHALL BE 200 PSI POLYETHYLENE PIPE MEETING THE REQUIREMENTS OF AWWA C-901 AND ASTM D2239 WITH A MINIMUM NOMINAL DIAMETER OF 2 INCHES, FITTINGS SHALL BE

# GENERAL MATERIALS:

MARKER TAPE SPECIFICATION - INSTALL MARKER TAPE IN ALL PIPELINE DITCHES. THE TAPE SHALL BE INSTALLED PARALLEL TO AND ABOVE THE PIPE. WATER LINES SHALL BE MARKED WITH BLUE TAPE, SEWER LINES WITH GREEN

TONING WIRE SPECIFICATION - INSTALL 12 GAUGE UF TONING WIRE IN AL PIPELINE DITCHES, INCLUDING SERVICE LINE DITCHES FROM THE MAIN TO THE METER BOX LOCATION. THE ENDS SHALL BE TERMINATED IN VALVE BOXES. SPLICES SHALL BE LOCATED NOT LESS THAN 250' SPACING AND WATERTIGHT. INDIVIDUAL BUTT CONNECTORS SHALL BE USED FOR WIRES. THEN INDIVIDUAL "HEAT SHRINK" TUBING PLACED OVER EACH BUTT SPLICE, THEN A LENGTH OF LARGER HEAT SHRINK TUBING SHALL BE PLACED OVER THE ENTIRE CABLE WITH A 2" MINIMUM OVERLAP OVER THE OUTER INSULATION ON BOTH SIDES OF SPLICE. THE ENTIRE SPLICE SHALL BE WRAPPED WITH ELECTRICAL TAPE

# **UTILITY SPECIFICATIONS**

(3.1) SCALE: NO SCALE

#### INSTALLATION:

PIPE TRENCH - TRENCHING SHALL CONFORM TO THE TYPICAL TRENCH DETAILS SHOWN ON ISPWC SECTION 301. WHEN ORGANIC OR FROZEN MATERIAL, BOULDERS, SOFT OR UNSTABLE MATERIAL, WHICH WILL NOT UNIFORMLY SUPPORT THE PIPE, ARE ENCOUNTERED, SUCH MATERIAL SHALL BE EXCAVATED TO AN ADDITIONAL DEPTH AS DIRECTED BY THE ENGINEER AND

BACK FILL AND COMPACTION - PIPE BACK FILLING SHALL COMPLY WITH ISPWC SECTION 303. COMPACT ALL BACK FILL TO TOP OF TRENCH TO 90% DENSITY IN OPEN GROUND, AND 95% DENSITY IN ROADWAYS, IN ACCORDANCE WITH ASTM D698, METHOD D (STANDARD PROCTOR), IN MAXIMUM NINE-INCH LOOSE LIFTS.

PIPE INSTALLATION - PIPE INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND ISPWC SECTION 402. FITTINGS SHALL BE REQUIRED AT ALL CHANGES IN DIRECTION THAT EXCEED 2° OR PER MANUFACTURERS RECOMMENDATIONS. PIPE SHALL NOT BE INSTALLED UNTIL TRENCH HAS BEEN COMPLETELY DE-WATERED BELOW THE BASE OF THE BEDDING COURSE. ALL PIPES SHALL BE LAID ON A STRAIGHT GRADE WITH NO LOCAL HIGH POINTS. MINIMUM COVER OF WATER PIPE SHALL BE 5 FEET.

<u>PIPE BEDDING</u> - PIPE BEDDING SHALL COMPLY WITH ISPWC SECTION 302 02, TYPE I, OR SECTION 302.03, TYPE II. ALTERNATE BEDDING MATERIALS MAY BE MITTED TO THE ENGINEER FOR REVIEW AND APPROVAL

 $\frac{\text{TRENCH PROTECTION}}{\text{SECTION 301}} \cdot \text{TRENCH PROTECTION SHALL CONFORM TO ISPWC SECTION 301}.$ 

#### TESTING AND INSPECTION:

WATER PRESSURE TEST - AFTER COMPLETE INSTALLATION, INCLUDING SERVICE CONNECTIONS, THE WATER SERVICE PIPELINE SHALL BE PRESSURE TESTED TO A PRESSURE OF 150 PSI MAXIMUM AT THE LOWEST POINT OF THE WATER SYSTEM. PRESSURE SHALL BE MAINTAINED FOR A MINIMUM OF 120 MINUTES OR UNTIL THE ENGINEER HAS DETERMINED THAT THE SECTION OF PIPE, VALVES, AND FITTINGS, ARE WATER TIGHT. THE ALLOWABLE LEAKAGE IN THE PIPELINE SHALL BE DETERMINED IN ACCORDANCE WITH SECTION 401.3.6 OF THE ISPWO. THE PIPE LINE WILL BE ACCEPTED AS A WATERTIGHT IF THE ACTUAL LEAKAGE IS LESS THAN THE ALLOWABLE LEAKAGE. HDPE PIPE SHALL BE TESTED PER THE APPLICABLE SECTION OF THE ISPWC. THE ENGINEER OR HIS REPRESENTATIVE AND A REPRESENTATIVE OF THE CITY OF SANDPOINT

WATER PIPE DISINFECTION - AFTER COMPLETE INSTALLATION, INCLUDING SERVICE CONNECTIONS, ALL WATER LINES SHALL BE FLUSHED AND DISINFECTED IN ACCORDANCE WITH AWWA C651, ISPWC SECTION 401 AND IDAHO DEQ REQUIREMENTS. WATER SHALL BE FED SLOWLY INTO THE LINES WITH CHI ORINE APPLIED IN AMOUNTS TO PRODUCE A DOSAGE OF 50 PARTS PER MILLION. THE SOLUTION SHALL BE HELD IN THE LINES FOR A PERIOD OF AT LEAST 24 HOURS. AT THE BEGINNING OF THE CHLORINATION PROCESS, AL VALVES AND ACCESSORIES SHALL BE OPERATED AND CHLORINE SOLUTION FLUSHED THROUGH ALL SERVICES. AFTER CHLORINATION THE WATER SHALL BE FLUSHED FROM THE LINES AT IT'S EXTREMITIES UNTIL THE REPLACEMENT WATER TESTS ARE FREE FROM ALL BACTERIOLOGICAL CONTAMINATION. BACTERIOLOGICAL SAMPLES SHALL BE TAKEN PRIOR TO APPROVAL FOR CONNECTION AND CONSUMER USE THE WATER SYSTEM. TWO (2)
CONSECUTIVE, ACCEPTABLE SAMPLES SHALL BE TAKEN A MINIMUM OF 24 HOURS APART. A REPRESENTATIVE OF THE CITY OF SANDPOINT WATER DEPARTMENT AND THE ENGINEER OR HIS REPRESENTATIVE SHALL BE PRESENT TO TAKE WATER SAMPLES UPON DISINFECTION. DISPOSAL OF CHLORINATED WATER SHALL BE IN ACCORDANCE WITH AWWA C651

GRAVITY SEWER PRESSURE TEST - GRAVITY SEWER SERVICE SHALL BE AIR TESTED IN ACCORDANCE WITH ISPWC SECTION 502.

WATER AND SEWER SERVICE TESTING AND INSPECTION - A PERMIT FROM THE STATE PLUMBING INSPECTOR WILL BE REQUIRED FOR THE WORK. TESTING AND INSPECTIONS FOR THE SERVICE LINES SHALL BE PER THE REQUIREMENTS OF THE STATE PLUMBING CODE AND INSPECTOR.

GENERAL - ALL CONSTRUCTION SHALL CONFORM TO THE IDAHO STANDARDS TRANSPORTATION DEPARTMENT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION (HEREAFTER REFERRED TO AS STANDARD SPECIFICATIONS) ALL MATERIALS SHALL CONFORM TO THE APPLICABLE SECTION OF THE ISPWC. IN CASE OF A CODE CONFLICT THE MORE RESTRICTIVE CODE SHALL

ADA ACCESSIBILITY - ALL PROPOSED SIDEWALKS AND COURTYARDS ARE CONSIDERED ADA ACCESSIBLE ROUTES. THE MAXIMUM CROSS SLOPE OF ALL NEW SIDEWALKS AND TRAVEL AREAS SHALL BE 2% AND THE MAXIMUM RUNNING SLOPE SHALL BE 5%. RAMPS SHALL HAVE A MAXIMUM SLOPE OF

SITE ACCESS - THE CONTRACTOR SHALL MAINTAIN ACCESS ALONG RNE AVE FOR THE DURATION OF CONSTRUCTION

CLEARING AND GRUBBING - CLEARING AND GRUBBING SHALL BE COMPLETED IN ACCORDANCE WITH SECTION 201 OF THE ISPWC. CLEARED AND GRUBBED MATERIAL SHALL BE DISPOSED OF OFF-SITE OR WASTED ON-SITE.

EXCESS EXCAVATION - EXCESS EXCAVATION SHALL BE PLACED WHERE DIRECTED BY THE OWNER OR THE ENGINEER. EXCESS EXCAVATION THAT CANNOT BE WASTED ON SITE SHALL BE DISPOSED OF AT AN OFF-SITE LOCATION AT CONTRACTORS EXPENSE.

DEMOLITION AND REMOVAL - ALL CONCRETE AND ASPHALT SCHEDULED FOR REMOVAL SHALL BE DEMOLISHED AND REMOVED FROM THE SITE. ALL DEMOLISHED MATERIAL SHALL BE DISPOSED OF AT AN OFF-SITE LOCATION AT CONTRACTORS EXPENSE. DEMOLITION SHALL INCLUDE PROVISIONS FOR SAW CUTTING CONCRETE AND ASPHALT WHERE APPLICABLE

GEOTEXTILE FABRIC - WHERE USED WOVEN FABRIC SHALL BE GEOTEX 200ST OR EQUAL AND NON-WOVEN FABRIC SHALL BE GEOTEX 451 OR EQUAL.

EARTHWORK - EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH SECTION 200 OF THE ISPWC. SUBGRADE SHALL BE CONSTRUCTED TO WITHIN ONE-TENTH (0.1) FOOT OF LINES AND GRADES AS SHOWN ON THE PLANS. SUBGRADE COMPACTION SHALL BE TO 95% MAXIMUM DRY DENSITY (MDD) PER ASTM D1557 (MODIFIED PROCTOR).

CONSTRUCTION - SIDEWALK CONSTRUCTION, INCLUDING PREPARATION, PLACEMENT AND COMPACTION OF BALLAST BASE AND ASPHALT OR CONCRETE SURFACING SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE ISPWC AND STANDARD SPECIFICATIONS.

SUBGRADE - ALL VEGETATIVE MATERIAL SHALL BE REMOVED FROM PROPOSED IMPERVIOUS SURFACE AREAS (SIDEWALK, BUILDINGS, DRIVEWAYS, PARKING AREAS, ETC) PRISM PRIOR TO PLACEMENT OF ANY FABRIC OR GRANULAR MATERIAL SUBGRADE SHALL CONSIST OF NATIVE MATERIAL COMPACTED TO 95% OF MDD.

BASE COURSE - BASE COURSE MATERIAL SHALL CONSIST OF A COMPACTED THICKNESS OF 3/4" MINUS CRUSHED AGGREGATE CONFORMING TO SECTION 703.04 OF THE STANDARD SPECIFICATIONS.

<u>CAP ROCK</u> - CAP ROCK MATERIAL SHALL CONFORM TO SECTION 703.08 AND SHALL BE CLEAN, ANGULAR, CRUSHED QUARRY ROCK, FREE OF CLAY

ASPHALT CONCRETE - ASPHALT CONCRETE SHALL CONFORM TO THE LATEST VERSION OF THE IDAHO TRANSPORTATION DEPARTMENT SUPPLEMENTAL SPECIFICATIONS REQUIREMENTS FOR ASPHALT.

CONCRETE - ALL CONCRETE MATERIALS AND PLACEMENT SHALL CONFORM TO SECTION 700 OF THE ISPWC. CONCRETE SHALL BE CLASS 30 CONCRETE WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI. ALL CONCRETE SHALL BE REINFORCED WITH WHITE FIBER MESH REINFORCEMENT. THE CONCRETE SURFACE SHALL BE GIVEN A BROOM INISH PRIOR TO COMPLETION

COMPACTION - IN-PLACE COMPACTION TESTS TO VERIEV ACHIEVEMENT OF REQUIRED DENSITIES MUST BE PERFORMED ON ALL SUBGRADE MATERIALS AND BITUMINOUS SURFACING AND SHALL BE SCHEDULED WITH THE ENGINEER PRIOR TO CONSTRUCTION, COMPACTION TESTS SHALL BE PERFORMED AT 100' MAXIMUM INTERVALS.

DRAINAGE PIPE - ALL DRAINAGE PIPE SHALL BE NDS DOUBLE WALL CORRUGATED HDPE PIPE OR EQUIVALENT. TRENCHING, INSTALLATION AND BACKFILL OVER DRAINAGE PIPE SHALL CONFORM TO SECTION 304 AND SECTION 602 OF THE ISPWC. TRENCH BACKFILLING SHALL COMPLY WITH ISPWC SECTION 304. COMPACT ALL BACKFILL TO TOP OF TRENCH AND TO 90% DENSITY IN OPEN GROUND, AND 95% DENSITY IN ROADWAYS IN CORDANCE WITH ASTM D1557, IN MAXIMUM NINE-INCH LOOSE LIFTS.

SIGNAGE AND STRIPING - ALL SIGNAGE AND STRIPING SHALL CONFORM TO THE LATEST ADDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. PERMANENT PAVEMENT MARKINGS SHALL CONFORM TO THE

PROPERTY CORNERS - CONTRACTOR SHALL PRESERVE AND PROTECT ALL PROPERTY CORNERS. ANY CORNERS THAT ARE DISTURBED OR DESTROYED SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR AT THE CONTRACTORS EXPENSE

GENERAL - STORM WATER AND EROSION CONTROL SHALL CONFORM TO THE APPLICABLE SECTIONS OF THE CITY OF PONDERAY CODE. THE CONTRACTOR SHALL PROVIDE DUST CONTROL FOR CONSTRUCTION OPERATIONS. WATER WILL BE APPLIED USING A WATER TRUCK OR OTHER APPROVED METHOD. THE CONTRACTOR SHALL REPORT SIGNIFICANT CONFLICTS BETWEEN CONDITIONS SHOWN ON PLANS AND CONDITIONS. ENCOUNTERED IN THE FIELD TO THE OWNER AND THE ENGINEER OR THE NECESSARY CONSTRUCTION NOTIFICATIONS.

CONSTRUCTION STAGING - A CONSTRUCTION STAGING AREA SHALL BE DELINEATED TO LIMIT CONSTRUCTION VEHICLE DISTURBANCES.

EXCESS EXCAVATION - EXCESS EXCAVATION SHALL BE PLACED WERE DIRECTED BY THE ENGINEER.

MATERIAL STOCK PILES - ALL ERODABLE STOCK PILED MATERIALS SHALL BE COVERED WITH TARPS AND SECURED, OR THE BASE OF THE STOCK PILES SHALL BE SURROUNDED BY SILT FENCE.

GIA SEEDING - THE GIAS SHALL BE SEEDED WITH LAWN TYPE NATIVE SEED MIXTURE OR COVERED WITH SOD. RECOMMENDATIONS FOR SEFDING MIXTURE MAY BE OBTAINED FROM THE U.S.D.A. NATURAL RESOURCE CONSERVATION SERVICE, LANDSCAPE ARCHITECT OR COMMERCIALLY MARKETED GRASS MIXTURE MAY BE APPLIED ACCORDING TO THE ATTACHED INSTRUCTIONS.

FROSION CONTROL - FROSION CONTROL SHALL BE MAINTAINED THROUGH THE USE OF STRAW WATTLES, AND RESEEDING OF AREAS DENUDED OF VEGETATION. SILT FENCE SHALL BE PLACED AS SHOWN ON THE PLAN SET AREAS WHERE CONSTRUCTION ACTIVITIES TEMPORARILY CEASE FOR MORE THAN 21 DAYS SHALL BE STABILIZED WITH SEEDING OR OTHER METHODS OF STABILIZATION APPROVED BY THE ENGINEER OR HIS REPRESENTATIVE. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN GOOD WORKING ORDER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF EROSION CONTROL MEASURES UNTIL SUCH TIME THAT FINAL STABILIZATION OF THE SITE IS COMPLETE.

OFF-SITE TRACKING CONTROLS - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT THE PROJECT SITE. FOLLOWING CLEARING AND GRUBBING THE INITIAL LAYER OF ROAD BASE SHOULD BE INSTALLED AND CONSTRUCTION TRAFFIC SHOULD STAY ON THE ROAD BASE TO THE SEDIMENT FROM THE ROADWAY ON A DAILY BASIS.

GRASSED INFILTRATION AREAS (GIAS) - GIAS SHALL BE CONSTRUCTED WITH LEVEL BOTTOMS AND HAVE A 2" MINIMUM LAYER OF SANDY LOAM TOPSOIL AND SHALL BE UNDERDRAINED WITH A 4" DIAMETER PERFORATED SOCK DRAIN SURROUNDED WITH SAND. THE PERFORATED DRAIN PIPE SHALL BE ROUTED TO THE EXISTING CATCH BASIN AND SEALED WITH

INSPECTIONS - THE CONTRACTOR SHALL INSPECT ALL STORM WATER AND EROSION CONTROL MEASURES AT LEAST ONCE EVERY 7 DAYS UNTIL SUCH TIME THAT FINAL STABILIZATION IS COMPLETE. THE FOLLOWING ITEMS SHALL BE INSPECTED

-DEPTH OF SEDIMENT (SEDIMENT SHALL BE REMOVED FROM WHEN IT REACHES 2" IN DEPTH) -FENCE CONTACT WITH GROUND -STAKES FIRMLY IN GROUND

RESEEDING

-BARE SPOTS, WASHOUTS, AND HEALTHY GROWTH

-DEPTH OF SEDIMENT (SEDIMENT SHALL BE REMOVED WHEN IT REACHES 10% OF THE DESIGN CAPACITY OF THE GIA, AND/OR AT THE END OF CONSTRUCTION)

THE ENGINEER OR THE ENGINEER'S REPRESENTATIVE SHALL BE NOTIFIED 24 HOURS IN ADVANCE OF THE FOLLOWING INSTALLATION

- TEMPORARY EROSION CONTROL MEASURES
- SILT FENCE
- STRAW WATTLES RESEEDING
- GIAS

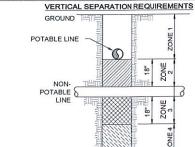
AFTER FINAL STABILIZATION - UPON COMPLETION OF CONSTRUCTION AND FINAL STABILIZATION, THE OWNERS SHALL TAKE RESPONSIBILITY FOR OPERATION AND MAINTENANCE OF THE STORM WATER MANAGEMENT AND EROSION CONTROL SYSTEM AS WELL AS THE FUNDING FOR THE CONTINUED MAINTENANCE OF THIS SYSTEM. AFTER FINAL STABILIZATION, THE STORM WATER MANAGEMENT AND EROSION CONTROL SYSTEM SHALL BE INSPECTED AT LEAST EVERY SIX MONTHS. THE ITEMS THAT SHALL BE

 RESEEDED AREAS - BARE SPOTS, WASHOUTS, AND HEALTHY VEGETATION

- REMOVE SEDIMENT DEPTH AND REPLACE TOPSOIL IF RUNOFF FAILS TO DRAIN WITH 24 HOURS OF MINOR STORM EVENTS

STORM DRAINS AND PIPES -CLOGS AND SEDIMENT BUILD-UP

<u>DEQ COMPLIANCE</u> - THE PROPOSED PROJECT WILL DISTURB LESS THAT 1 ACRE OF SOIL, THEREFORE AN EPA NOTICE OF INTENT (NOI) IS NOT REQUIRED FOR THE PROJECT.



### VERTICAL SEPARATION NOTES:

ZONE 1: A). POTABLE WATER, NON-POTABLE WATER, AND SERVICE LINES

MUST BE SEPARATED BY AT LEAST 18 INCHES, <u>AND</u> POTABLE PIPELINE JOINTS MUST BE AS FAR AS POSSIBLE FROM THE NON-POTABLE WATER PIPELINE

POTABLE LINE <18" OVER TOP OF NON-POTABLE LINE POTABLE PIPELINE JOINTS MUST BE AS FAR AS POSSIBLE FROM

THE NON-POTABLE PIPELINE, AND NON-POTABLE LINE MUST BE CONSTRUCTED WITH POTABLE WATER CLASS PIPE WITH A SINGLE 20' SECTION OF POTABLE WATER CLASS PIPE CENTERED ON THE CROSSING; EITHER

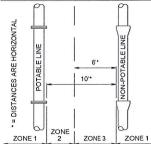
SLEEVE NON-POTABLE OR POTABLE PIPELINE WITH POTABLE C). WATER CLASS PIPE FOR 10' EITHER SIDE OF THE CROSSING.

SAME REQUIREMENTS AS ZONE 2 EXCEPT THE NON-POTABLE LINE ZONE 3: MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT

ZONE 4 SAME REQUIREMENTS AS ZONE 1 EXCEPT THE NON-POTABLE LINE MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT

SEWAGE FORCE MAINS SHALL HAVE AT LEAST EIGHTEEN INCHES OF CLEARANCE FROM POTABLE WATER MAINS AND ZONE 2 AND 3 PLACEMENTS ARE PROHIBITED. SEPARATION REQUIREMENTS ALSO APPLY TO EXISTING POTABLE SERVICES IN RELATION TO NEW NON-POTABLE MAINS, EXISTING NON-POTABLE SERVICES IN RELATION TO NEW POTABLE MAINS AND EXISTING POTABLE SERVICES IN RELATION TO NEW NON-POTABLE SERVICES POTABLE AND NON-POTABLE SERVICE LINES WHERE PRACTICAL BASED ON COST, CONSTRUCTION FACTORS AND PUBLIC HEALTH SIGNIFICANCE. WHERE DEQ. DETERMINES THAT THERE ARE SIGNIFICANT HEALTH CONCERNS WITH SERVICES, THE DESIGN SHALL CONFORM TO THE ABOVE INFORMATION

# HORIZONTAL SEPARATION REQUIREMENTS



HORIZONTAL SEPARATION REQUIREMENT NOTES: ZONE 1: MORE THAN 10 FEET APART:

NO SPECIAL REQUIREMENTS

ZONE 2: FROM 10 TO 6 FEET APART

POTABLE AND NON-POTABLE MAINS SEPARATED BY AT LEAST 6 FEET AT OUTSIDE WALLS, AND

C). POTABLE MAINS HIGHER IN ELEVATION THAN THE NON-POTABLE MAINS, AND
NON-POTABLE MAINS CONSTRUCTED WITH POTABLE

D). WATER CLASS PIPE

FOR MAINS AND SERVICES, DESIGN ENGINEER TO SUBMIT DATA TO DEPARTMENT FOR REVIEW AND APPROVAL THAT THIS INSTALLATION WILL PROTECT PUBLIC HEALTH AND ENVIRONMENT AND NON-POTABLE LINE CONSTRUCTED WITH POTABLE WATER CLASS PIPE POTABLE MAIN HIGHER IN ELEVATION THAT NON-POTABLE MAIN

FOR DETAILS REFER TO IDAPA 58.01.08.542.07; IDAHO RULES FOR PUBLIC RINKING WATER SYSTEMS OR IDAPA 58.01.16.430.0: IDAHO WASTEWATER

SEWAGE FORCE MAINS SHALL HAVE AT LEAST TEN FEET OF HORIZONTAL SEPARATION FROM POTABLE MAINS - ZONE 2 AND ZONE 3 PLACEMENTS ARE PROHIBITED. NEW POTABLE SERVICES CAN BE LOCATED WITHIN 6' OF

HORIZONTAL SEPARATION REQUIREMENTS ALSO APPLY TO POTABLE AND NON-POTABLE SERVICE LINES CONTROLLED BY THE SYSTEM OWNER AND EXTENDING THE MAIN LINE TO THE PROPERTY LINE, SERVICE METER, OR CLEANOUT

THE TERM "LINE" APPLIES TO BOTH MAIN LINES AND SERVICE LINES.
SITE SPECIFIC APPROVAL BY THE DEPARTMENT IS REQUIRED BEFORE. SEPARATION LESS THAN 6 FEET (ZONE 3) IS INSTALLED.

SEPARATION REQUIREMENTS 4.5 SCALE: NO SCALE



N AVENUE ) 83864 Associates, 10N 10N 1160 景 Sewell 1319 NORT SANDPC James

OTS 4 & 5 IDUSTRIAL I R COUNTY, II

SPECIFICATIONS

AND

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DET

EARS EW'S I 11-16-2023 AS SHOWN JP. JPJ PJG

19579-23-00 E-SEARS L4&L5

C6 SHEET

STORMWATER SPECIFICATIONS SCALE: NO SCALE

SITEWORK SPECIFICATIONS

