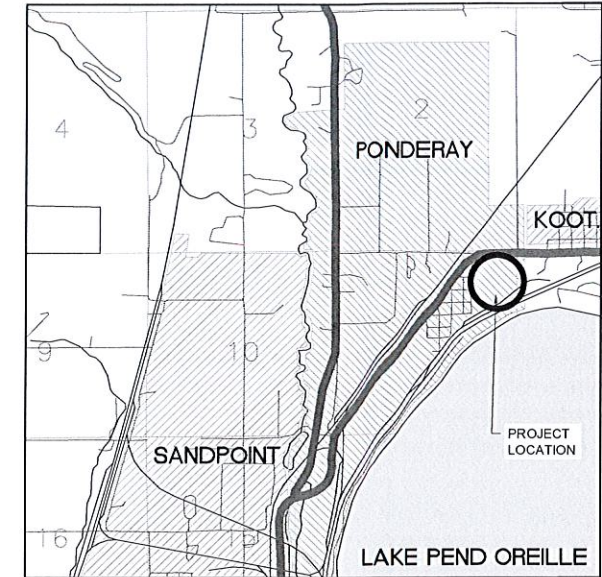
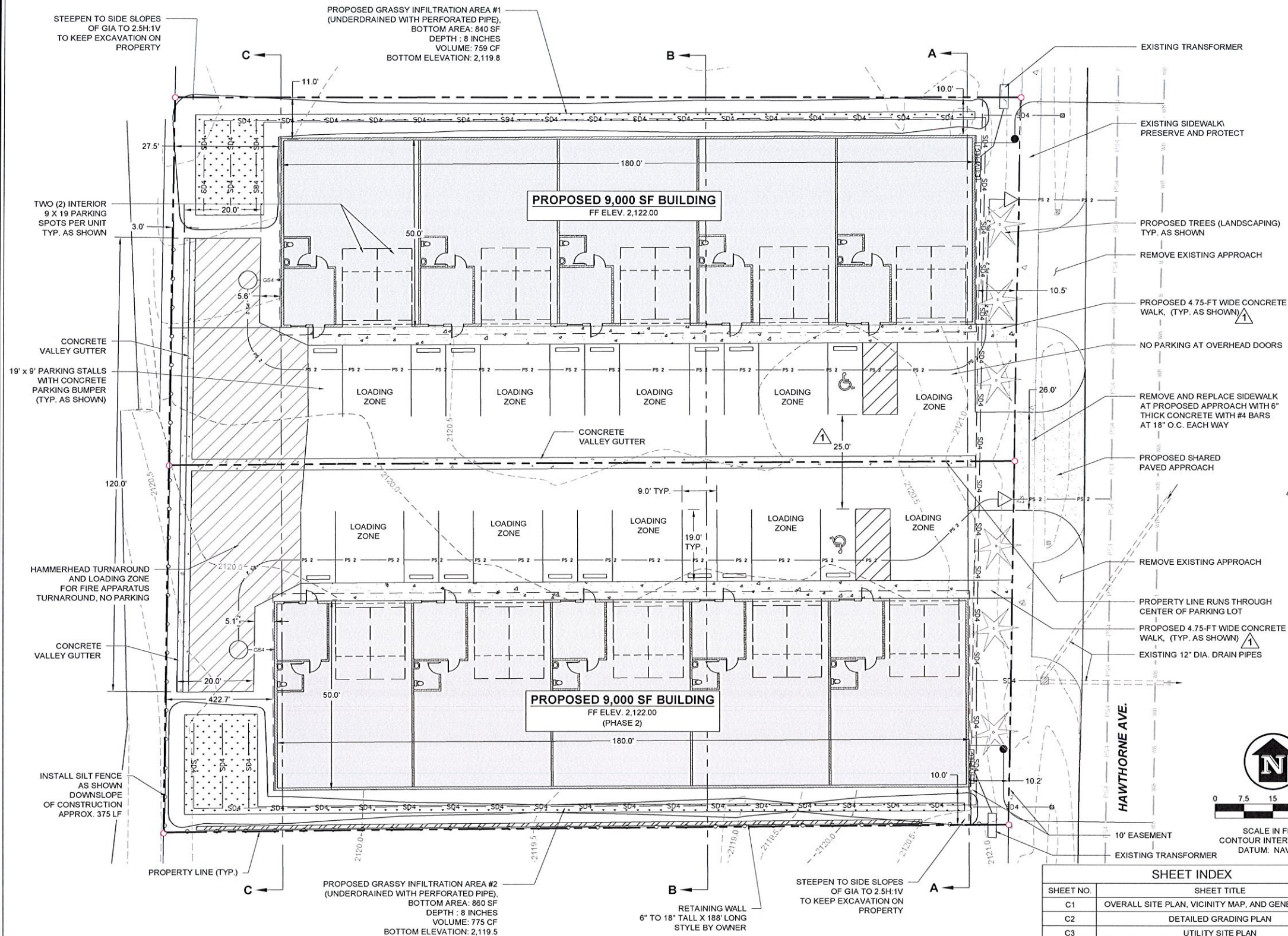


# SEARS LOTS 4 & 5, LEW'S INDUSTRIAL PARK

(PARCEL RPP39490010040A & RPP39490010050A / LEW'S INDUSTRIAL PARK, BLK 1, LOT 4 & 5)  
SECTION 11, TOWNSHIP 57 NORTH, RANGE 2 WEST, BOISE MERIDIAN, BONNER COUNTY, IDAHO



VICINITY MAP

NOT TO SCALE

GENERAL NOTES:

1. SITE SURVEY WORK COMPLETED BY JAS IN THE SUMMER OF 2023.
2. PROPERTY LINES BASED ON THE RECORDED PLAT.
3. INSTALL SILT FENCE AS SHOWN DOWNSLOPE OF ALL CONSTRUCTION ACTIVITIES. EXCESS MATERIAL SHALL BE REMOVED FROM THE SITE AT THE CONTRACTORS EXPENSE.
4. CONTRACTOR SHALL PROVIDE WATER FOR DUST CONTROL DURING CONSTRUCTION.
5. CONTRACTOR SHALL REMOVED ALL TRACKED SEDIMENT FROM PAVED AREAS ON A DAILY BASIS.
6. NO DUMPSTER WILL BE PROVIDED. EACH INDIVIDUAL UNIT SHALL BE RESPONSIBLE FOR GARBAGE AND REFUSE DISPOSAL AND EQUIPPED WITH AN INDIVIDUAL CONTAINER TO BE STORED WITHIN THE GARAGE.

SITE NOTES:

TOTAL SITE AREA:	42,460 SF
AREA OF DISTURBANCE:	42,000 SF
TOTAL IMPERVIOUS SURFACE:	0 SF (EXISTING)
	34,289 SF (PROPOSED)
LANDSCAPING AREA (INCLUDES GIAS):	7,200 SF (~17% OF AREA)
TOTAL EXCAVATION QUANTITY:	100 CY (APPROX.)
TOTAL FILL QUANTITY:	1,900 CY (APPROX.)

PARKING NOTES:

INDUSTRIAL ZONE - 1 PARKING SPACE PER 1,000 SF OF FLOOR AREA (16,000 SF TOTAL)  
OFFICE AREAS - 1 PARKING SPACE PER 200 SF OF FLOOR AREA (2,000 SF TOTAL)

26 SPACES REQUIRED (16,000 / 1,000 + 2,000 / 200 = 26)

36 SPACES PROVIDED (16 EXTERIOR, 20 INTERIOR TO THE BUILDINGS)

TWO (2) ADA SPOTS ARE PROVIDED BOTH OF WHICH ARE VAN ACCESSIBLE AND ACCOUNT FOR MORE THAN 10% OF THE PARKING AVAILABLE TO THE PUBLIC.



**CALL**  
2 WORKING  
DAYS  
**BEFORE**  
**YOU DIG!**

Bonner Boundary One Call

811

SHEET INDEX	
SHEET NO.	SHEET TITLE
C1	OVERALL SITE PLAN, VICINITY MAP, AND GENERAL NOTES
C2	DETAILED GRADING PLAN
C3	UTILITY SITE PLAN
C4	SCHEMATIC SITE SECTIONS
C5	DETAILS
C6	DETAILS AND SPECIFICATIONS
C7	LANDSCAPING, EXTERIOR LIGHTING AND SIGNAGE PLAN

4.1 OVERALL SITE PLAN

SCALE: AS SHOWN



REV.	DATE	REVISION
1	11-21-2023	REV. PER CITY COMMENTS (11-15-23), ADDED C7

**James A. Sewell and Associates, LLC**  
1319 NORTH DIVISION AVENUE  
SANDPOINT, IDAHO 83864  
(208) 263-4160



SHEET TITLE: OVERALL SITE PLAN, VICINITY MAP AND GENERAL NOTES  
PROJECT: SEARS LOTS 4 & 5, LEW'S INDUSTRIAL PARK, BONNER COUNTY, IDAHO  
DATE: 11-16-2023  
SCALE: AS SHOWN  
DESIGNED: JPU  
DRAWN: JPU  
CHECKED: PJG  
PROJECT NO: 19579-23-001  
CAD FILE: E-SEARS L4&5  
SHEET: C1



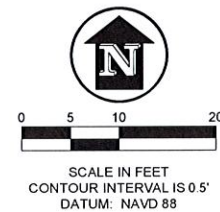
STEEPEN TO SIDE SLOPES  
OF GIA TO 2.5H:1V  
TO KEEP EXCAVATION ON  
PROPERTY

PROPOSED GRASSY INFILTRATION AREA #1  
(UNDERDRAINED WITH PERFORATED PIPE),  
BOTTOM AREA: 840 SF  
DEPTH: 8 INCHES  
VOLUME: 759 CF  
BOTTOM ELEVATION: 2,119.8

CONCRETE  
VALLEY GUTTER

CONCRETE  
VALLEY GUTTER

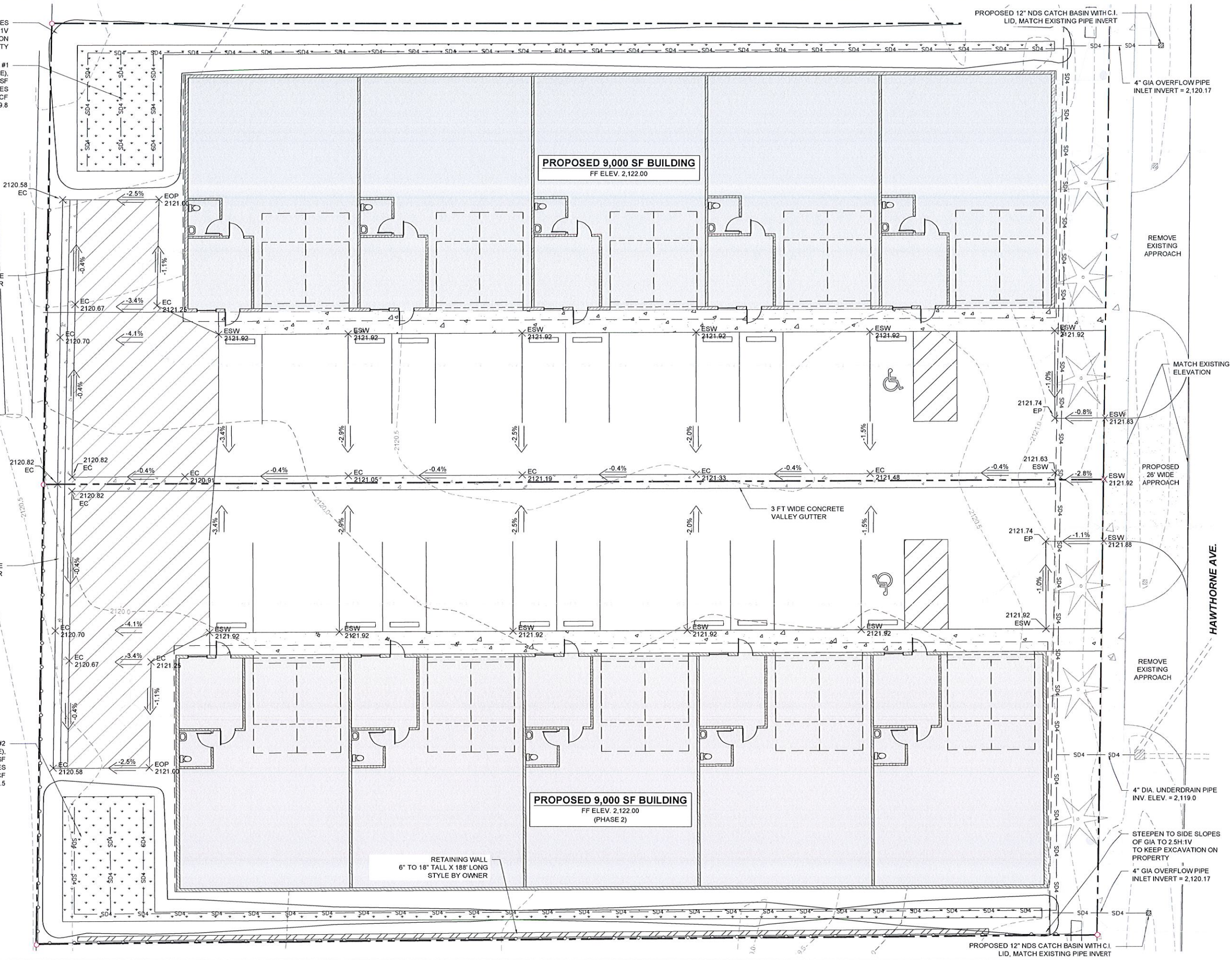
PROPOSED GRASSY INFILTRATION AREA #2  
(UNDERDRAINED WITH PERFORATED PIPE),  
BOTTOM AREA: 860 SF  
DEPTH: 8 INCHES  
VOLUME: 775 CF  
BOTTOM ELEVATION: 2,119.5



# DETAILED GRADING PLAN

4.1

SCALE: AS SHOWN



NO.	DATE	REVISION	BY	CHK
1	11-21-2023	REV. PER CITY COMMENTS (11-15-23), ADDED C7	JPJ	JPG

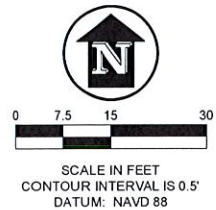
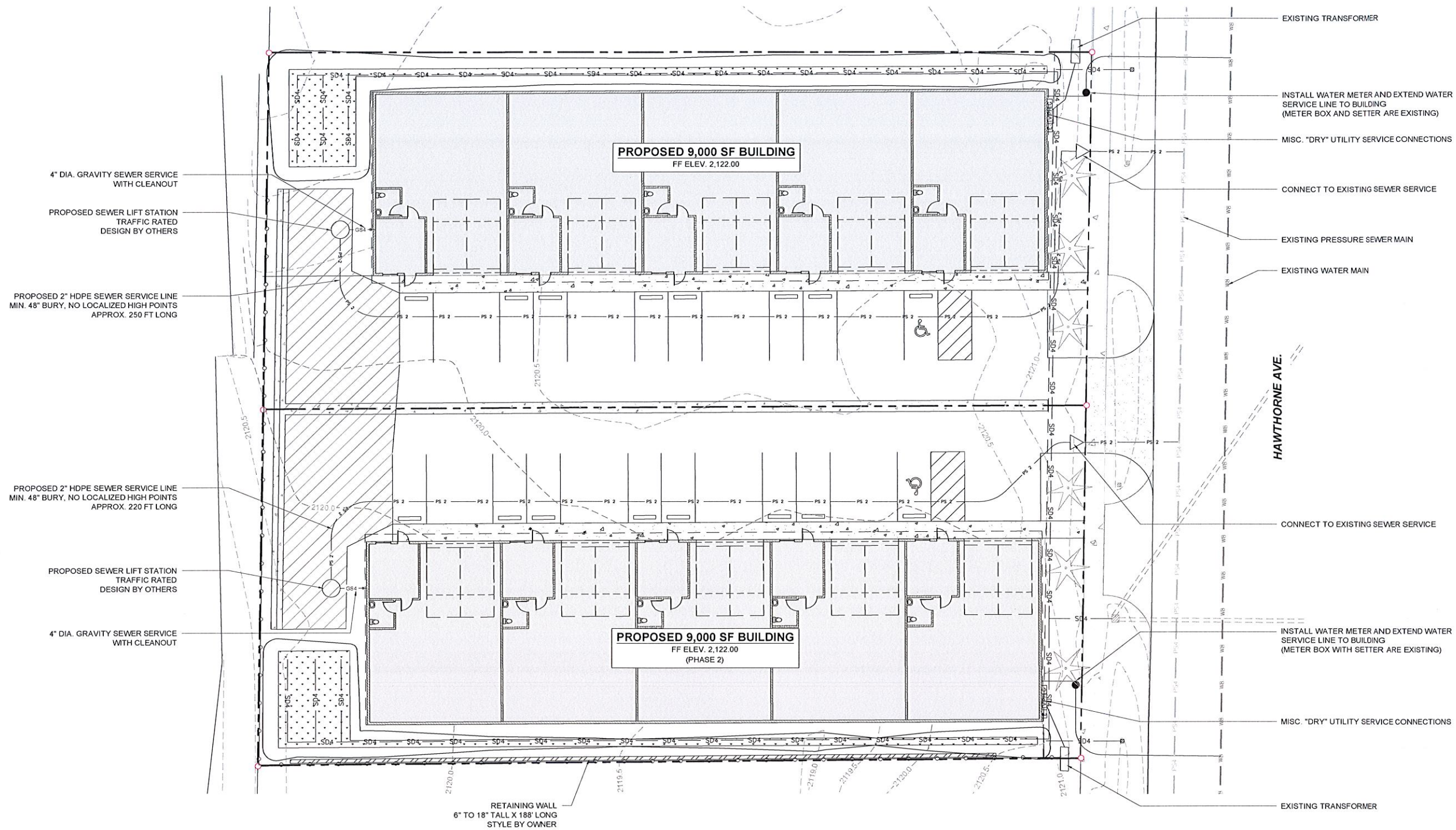
**James A. Sewell and Associates, LLC**  
1319 NORTH DIVISION AVENUE  
SANDPOINT, IDAHO 83864  
(208) 263-4160



SHEET TITLE:	DETAILED GRADING PLAN
PROJECT:	SEARS LOTS 4 & 5 LEW'S INDUSTRIAL PARK BONNER COUNTY, IDAHO
DATE:	11-16-2023
SCALE:	AS SHOWN
DESIGNED:	JPJ
DRAWN:	JPJ
CHECKED:	PJG
PROJ. NO.:	19579-23-001
CAD FILE:	E-SEARS L4&L5
SHEET	C2



4.1 UTILITY SITE PLAN  
SCALE: AS SHOWN



SHEET TITLE:  
UTILITY SITE PLAN

PROJECT:  
SEARS LOTS 4 & 5  
LEW'S INDUSTRIAL PARK  
BONNER COUNTY, IDAHO

DATE: 11-16-2023  
SCALE: AS SHOWN  
DESIGNED: JPJ  
DRAWN: JPJ  
CHECKED: PJG  
PROJ NO: 19579-23-001  
CAD FILE: E-SEARS L4&L5  
SHEET: C3

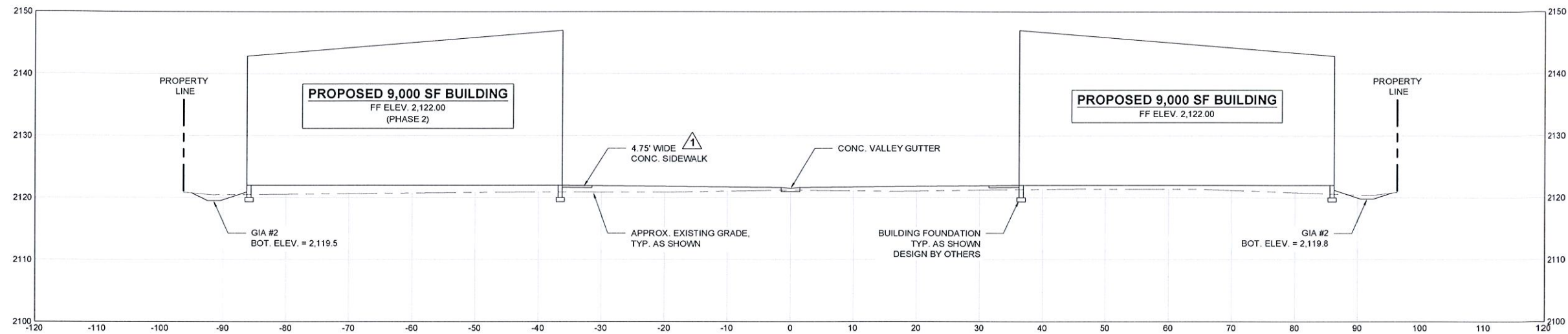


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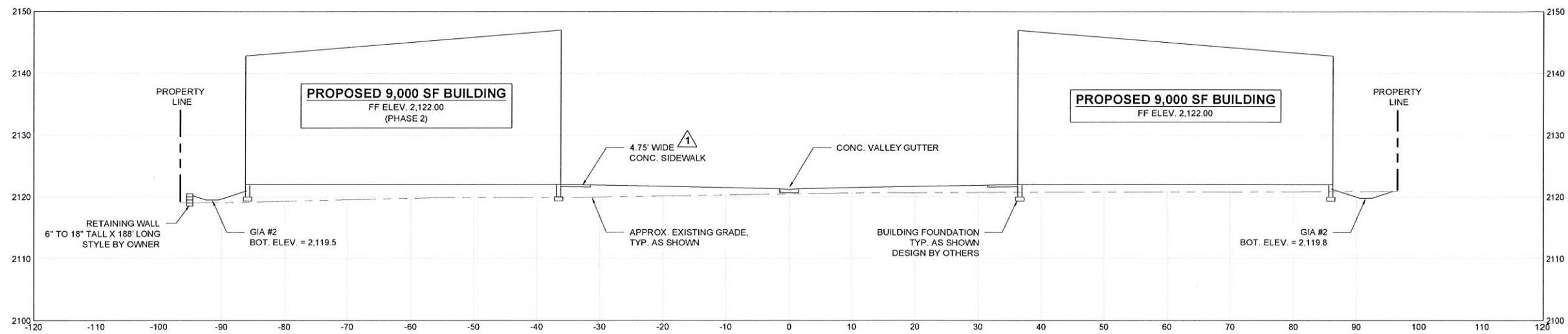
NO.	DATE	REVISION	BY	CHK
1	11-21-2023	REV. PER CITY COMMENTS (11-15-23), ADDED C7	JPJ/PJG	DRNCHK



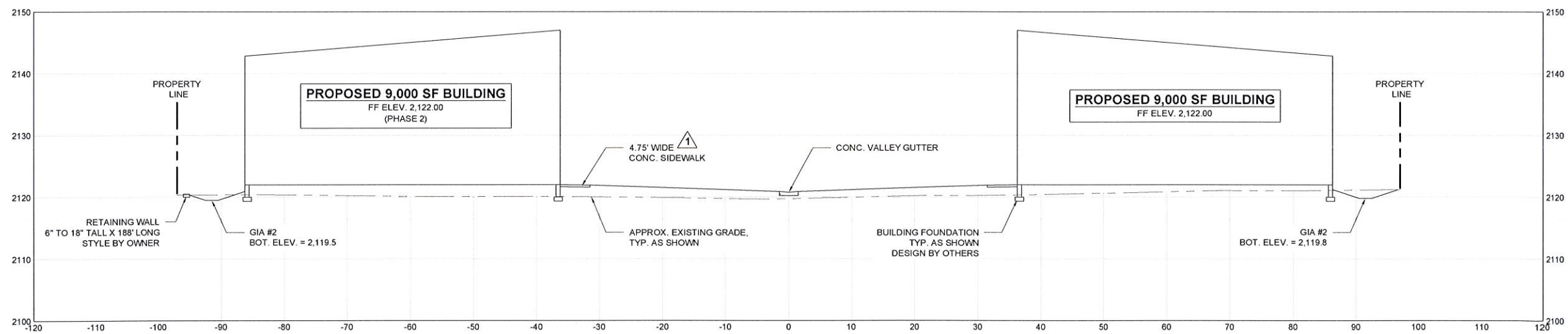




SECTION A-A



SECTION B-B



SECTION C-C



11-21-2023

REV.	PER CITY COMMENTS (11-15-23)	ADDED C7	JPJ/JG	DRNCHK
1	11-21-2023	DATE	No.	

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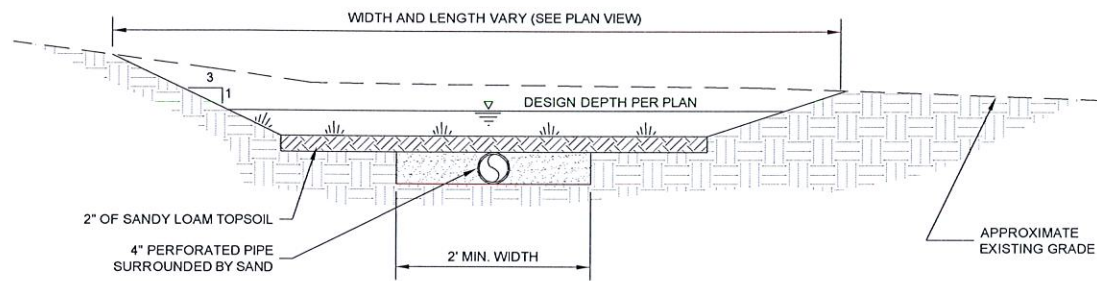


**SHEET TITLE:**  
SCHEMATIC SITE SECTIONS  
**PROJECT:**  
SEARS LOTS 4 & 5  
LEW'S INDUSTRIAL PARK  
BONNER COUNTY, IDAHO

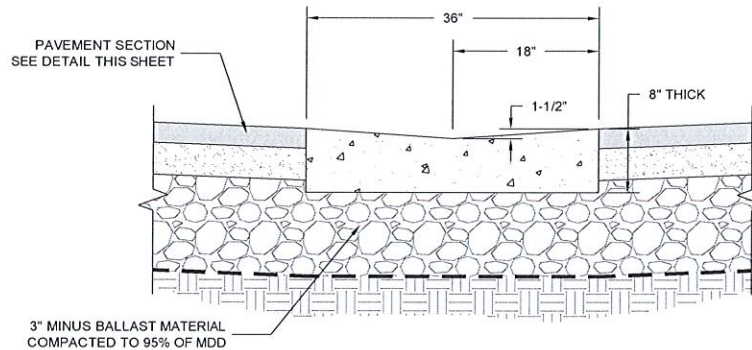
**DATE:** 11-16-2023  
**SCALE:** AS SHOWN  
**DESIGNED:** JPJ  
**DRAWN:** JPJ  
**CHECKED:** PJG  
**PROJ. NO.:** 19579-23-001  
**CAD FILE:** E-SEARS L4&L5

**SHEET** C4

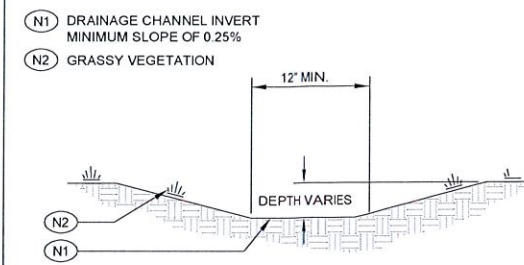




**1.1 GRASSED INFILTRATION AREA**  
SCALE: NOT TO SCALE

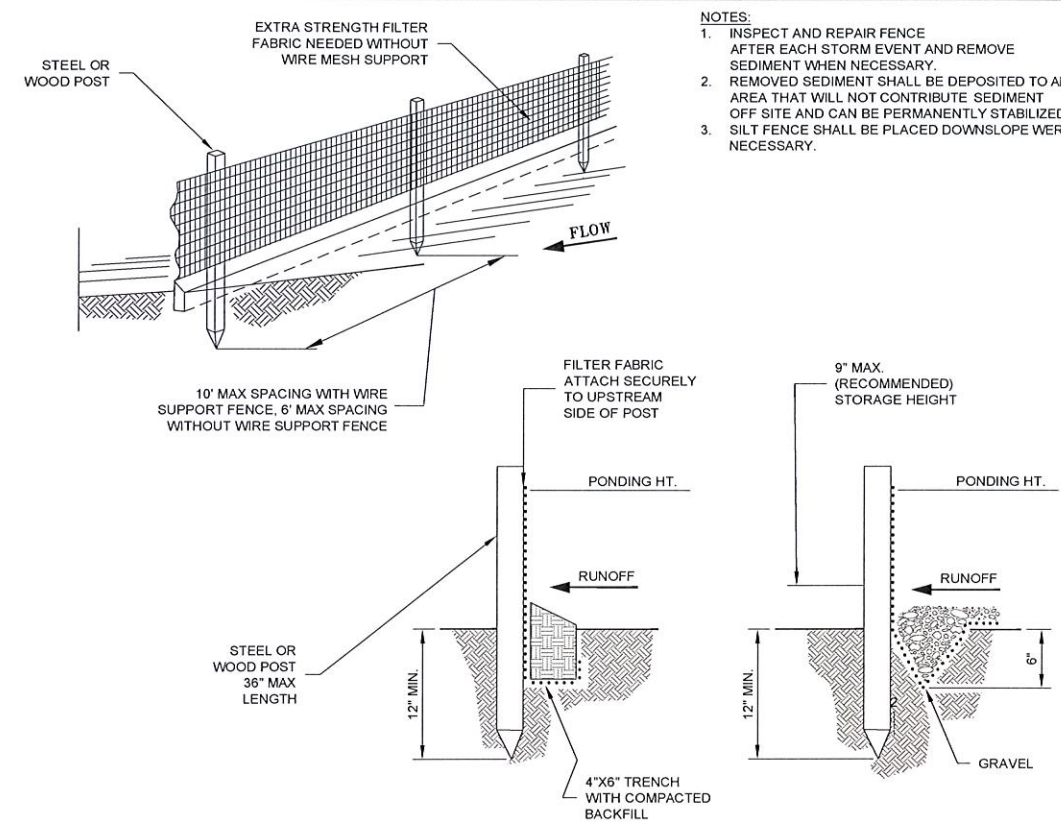


**1.3 VALLEY GUTTER SECTION**  
SCALE: NOT TO SCALE



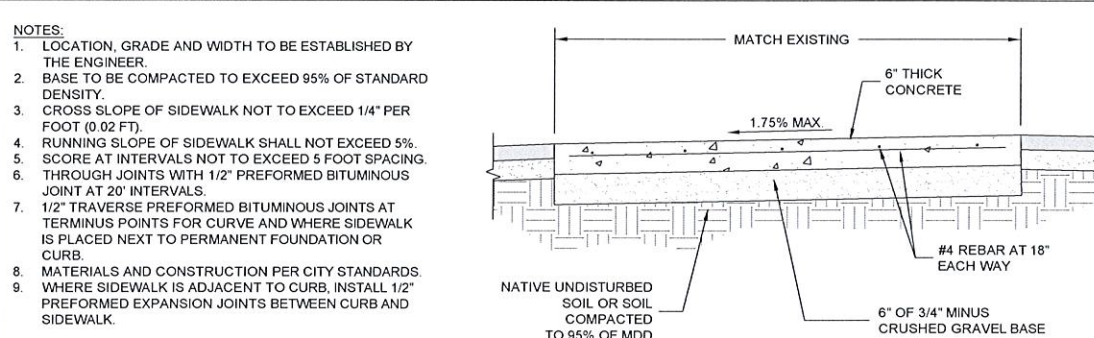
NOTE: INSTALL GRASSY DRAINAGE CHANNELS AS NECESSARY TO DIRECT WATER TOWARDS SWALES.

**1.5 GRASSY DRAINAGE CHANNEL**  
SCALE: NOT TO SCALE

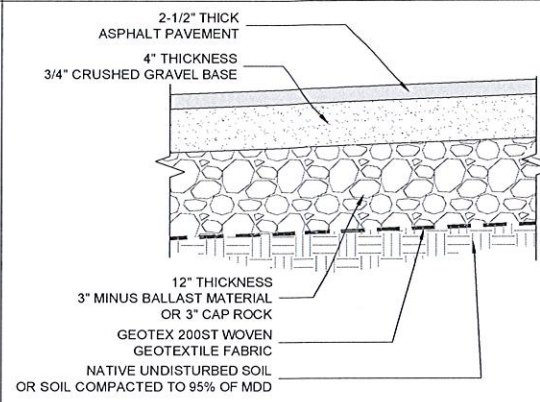


NOTES:  
1. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.  
2. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF SITE AND CAN BE PERMANENTLY STABILIZED.  
3. SILT FENCE SHALL BE PLACED DOWNSLOPE WHERE NECESSARY.

**3.1 SILT FENCE**  
SCALE: NOT TO SCALE



**2.3 PROPOSED SIDEWALK SECTION AT APPROACH**  
SCALE: NOT TO SCALE

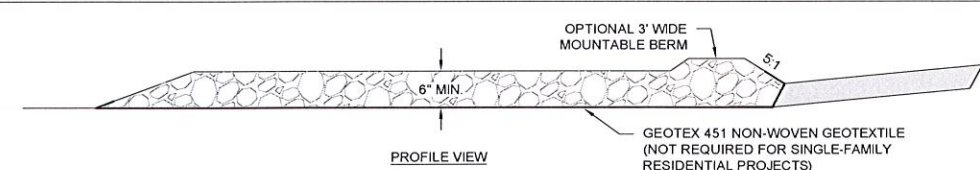
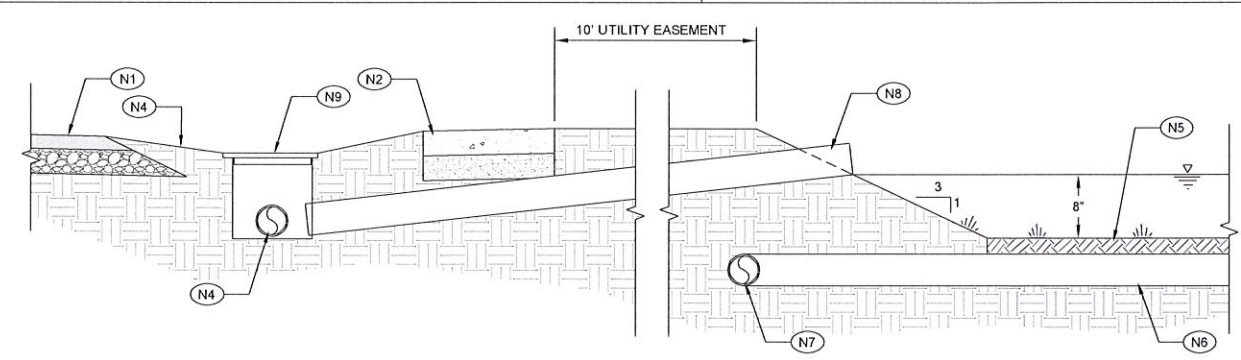


**2.5 TYP. PAVEMENT SECTION**  
SCALE: NOT TO SCALE

NOTES FOR THIS DETAIL

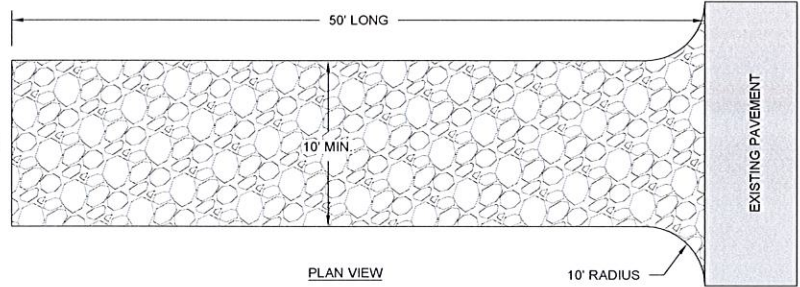
- N1 EXISTING ROADWAY
- N2 EXISTING SIDEWALK
- N3 EXISTING DRAINAGE SWALE BETWEEN ROAD AND SIDEWALK
- N4 EXISTING PERFORATED DRAIN PIPE IN ROADWAY SWALE
- N5 PROPOSED GIA, SEE DETAIL 1.1, THIS SHEET
- N6 4" PERFORATED UNDERDRAIN PIPE SURROUNDED WITH SAND
- N7 EXTEND PERFORATED PIPE TO CONCRETE CATCH BASIN, SEE PLAN VIEW
- N8 PROPOSED 4" OVERFLOW PIPE (ASTM3034 PVC) SEE PLAN VIEW FOR INVERT ELEV. AT GIA
- N9 PROPOSED 12" NDS CATCH BASIN WITH CAST IRON LID MATCH EXISTING PIPE INVERT

**2.3 GIA SECTION AT OUTLET**  
SCALE: NOT TO SCALE



- USE 2" STONE OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT
- ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES IS ALLOWED.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY OR ADJACENT STREET. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY OR ADJACENT STREET MUST BE REMOVED IMMEDIATELY.
- WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY OR ADJACENT STREET. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND ASSOCIATED MAINTENANCE SHALL BE PROVIDED AFTER EACH RUNOFF-PRODUCING RAINFALL EVENT.

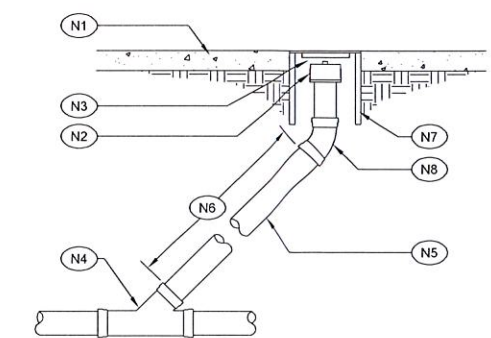
**4.1 STABILIZED CONSTRUCTION ENTRANCE**  
SCALE: NOT TO SCALE



NOTES FOR THIS DETAIL

- N1 FINISHED GRADE
- N2 PVC GLUE ON THREADED CAP (\*)
- N3 2" CLEARANCE FOR SETTLEMENT
- N4 PVC WYE (\*)
- N5 PVC PIPE (\*)
- N6 DISTANCE AS REQUIRED
- N7 BROOKS TRAFFIC VALVE BOX, MODEL 1-RT WITH LID MARKED "C/O" SET TO GRADE (WHEN IN TRAFFIC AREAS)
- N8 45° PVC ELBOW (\*)
- (\*) LINE SIZED

**4.4 PIPE CLEANOUT**  
SCALE: NOT TO SCALE



REV.	PER CITY COMMENTS (11-15-23)	ADDED BY	DATE
1		JP/JG	11-21-2023

**James A. Sewell and Associates, LLC**  
1319 NORTH DIVISION AVENUE  
SANDPOINT, IDAHO 83864  
(208) 263-4160

**PROJECT:** SEARS LOTS 4 & 5  
LEW'S INDUSTRIAL PARK  
BONNER COUNTY, IDAHO

**SHEET TITLE:** DETAILS

**DATE:** 11-16-2023

**SCALE:** AS SHOWN

**DESIGNED:** JP/J

**DRAWN:** JP/J

**CHECKED:** PJG

**PROJ. NO.:** 19579-23-001

**CAD FILE:** E-SEARS L4&L5

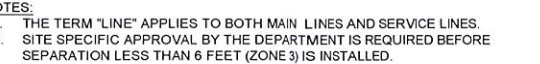
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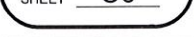
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**4.3** SCALE: NO SCALE

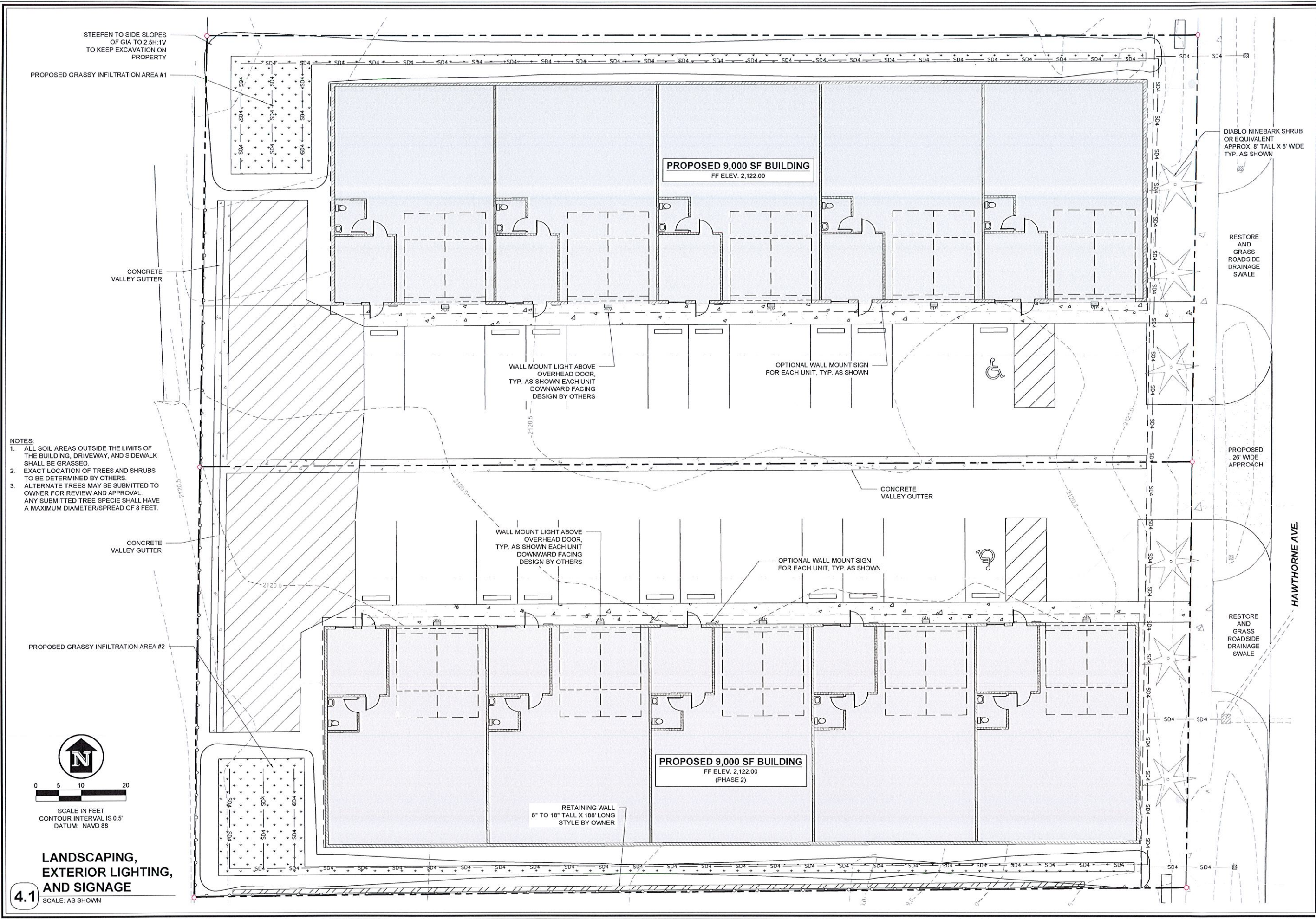
**4.4** SCALE: NO SCALE



**4.5** SCALE: NO SCALE







PROFESSIONAL ENGINEER  
14034  
STATE OF IDAHO  
JEFF JENSEN  
11-21-2023

NO.	DATE	REV. PER CITY COMMENTS (11-15-23)	ADDED C7	REVISION	JP/JAG	DRNCHK
1	11-21-2023					

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1319 NORTH DIVISION AVENUE  
SANDPOINT, IDAHO 83864  
(208) 263-4160

JAS  
JAMES A. SEWELL  
JAMES A. SEWELL & ASSOCIATES, LLC  
A PROFESSIONAL SERVICE CORPORATION

SHEET TITLE:  
LANDSCAPING, EXTERIOR LIGHTING  
AND SIGNAGE PLAN

PROJECT:  
SEARS LOTS 4 & 5  
LEW'S INDUSTRIAL PARK  
BONNER COUNTY, IDAHO

DATE: 11-16-2023

SCALE: AS SHOWN

DESIGNED: JPJ

DRAWN: JPJ

CHECKED: PJG

PROJ NO: 19579-23-001

CAD FILE: E-SEARS L4&5

SHEET C7