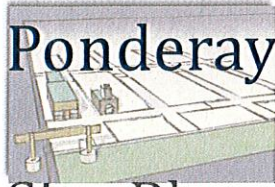


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FEB 10 2023



Ponderay - City Planning

PLANNING OFFICE
CITY OF PONDERAY

Site Plan Modification Application

Cover Sheet

Site/Project Information

Brief Project Description: Please see attached Project Description.

Project Representative: Lars Andersen & Associates C/O Cassie Permenter

E-mail: CPermenter@larsandersen.com

Phone #'s: 623-296-5829

Location: 500 Kootenai Cutoff Rd Ponderay, ID 83852

Legal Description: Please see attached legal description from Title Report.

Applicant/Owner Information

Name: Suzanne Russo

Legal Owner: HD Development of
Marvland Inc.

Signature: *Suzanne Russo*

Mailing Address: 2455 Paces Ferry Rd SE
Atlanta, GA 30339

E-Mail: suzanne_russo@homedepot.com

Phone #'s: 770-547-7284

Ponderay Planning Department

File Number:

SM23-097

Fees:

\$300 -pd # 3625

Zoning:

COMMERCIAL

Received By:

JRA

Date:

2/10/23

Comments:

RP04410030570A

Home Depot Tool Rental Center (TRC) & HD Rental Equipment Project Description

Home Depot is proposing to convert a portion of the existing store to a Tool Rental Center (TRC). The general operations for the Tool Rental Center (TRC) are the rental of tools associated with general construction, which could range from a drill to a larger power equipment. This operation is utilized by both our general customers and contractors.

Equipment Rental

In conjunction with the TRC, Home Depot is requesting to utilize approximately ten (10) parking stalls shown on the proposed Site Plan to display of HD Rental Equipment that can be rented through the Tool Rental Center (TRC). It should be noted that this operation is owned and operated by Home Depot and Home Depot Associates are the designated staff for transactions. The HD Rental Equipment is stored in the designated stalls 24-hours and are placed on trailers, ready for customers to easily tow away. The trailer hitch is locked and chained to where the trailer cannot be hooked up to a vehicle without a Home Depot Associate unlocking it. There are no third-party vendors for this operation. Home Depot does not maintain or repair this equipment on-site, as they are sent to a designated repair location off-site. It should be noted that the off-site repair centers are also owned and operated by Home Depot. See the attached file for a list of example HD Rental Equipment, see attached sample rental equipment document. Development of this area would involve re-striping of stalls to angled parking. The angled parking provides easier access for customer to hook up and tow away the rental equipment, and for easier back up to return the items. These stalls will be marked as "Reserved" and have designated signage marking that the stalls are only mean for HD Rental Equipment.

Truck Rental

The proposed Site Plan includes eight (8) parking stalls to be designated for Rental Truck parking only. The benefit that the Rental Truck Program provides to the community is the ability to easily obtain a moving vehicle at an accessible store location. This program is based on customer orders through the Internet or made in person at the Home Depot store. The Rental Trucks will be delivered to the designated parking area for pick up by the customer – there is typically three to six trucks parked on-site at a time. The paperwork and key pick up and drop off are handled inside the existing TRC. No semi-trucks or tractor trailer type vehicles are included in this program. The trucks being rented have box enclosures varying in size from twelve (12') feet to twenty-six (26') feet and are the type of vehicles that can be driven with a normal driver's license. No fueling, servicing or maintenance of the trucks will take place onsite.



LARS ANDERSEN & ASSOCIATES, INC.

CIVIL ENGINEERS • LAND SURVEYORS • PLANNERS
ADA COMPLIANCE • LEED ACCREDITED • STORM WATER QUALITY
4694 W JACQUELYN AVENUE
FRESNO, CA 93722
PH (559) 276-2790 FX (559) 276-0850

SCOTT A. MOMMER, PE, QSD
PRESIDENT

DANIEL J. ZOLDAK, PE, CASp, LEED AP,
QSD, QSP
VICE PRESIDENT

TRANSMITTAL

TO: CITY OF PONDERAY PLANNING DEPT

FROM: CASSIE PERMENTER

COMPANY:
City of Ponderay – Planning Dept
Attn: Kayleigh Miller
288 Fourth Street
Ponderay, ID 83852

DATE: 2/9/2023

RE: Home Depot Site Plan Modification Application

THE ITEM OR ITEMS AS LISTED BELOW FOR YOUR	<input type="checkbox"/>	AS REQUESTED	VIA	<input checked="" type="checkbox"/>	U.S. MAIL
	<input type="checkbox"/>	ENCLOSED		<input type="checkbox"/>	PICK UP
	<input checked="" type="checkbox"/>	APPROVAL		<input type="checkbox"/>	HAND DELIVERY
	<input type="checkbox"/>	REVIEW & COMMENTS		<input type="checkbox"/>	FEDERAL EXPRESS
	<input type="checkbox"/>	SIGNATURE		<input type="checkbox"/>	UPS

COPIES	DATE	DESCRIPTION
10	2.9.2023	SITE PLAN [11X17]
1	2.9.2023	TAX MAP
1	2.9.2023	OWNERSHIP DISCLOSURE
1	2.9.2023	LETTER OF AUTHORIZATION
1	2.9.2023	LEGAL DESCRIPTION
1	2.9.2023	SITE PLAN MODIFICATION APPLICATION
1	2.9.2023	PROJECT DESCRIPTION

NOTES/COMMENTS:

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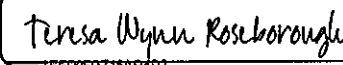
FEB 10 2023

**PLANNING OFFICE
CITY OF PONDERAY**

DELEGATION OF AUTHORITY

I, Teresa Wynn Roseborough, Executive Vice President, General Counsel and Corporate Secretary of The Home Depot, Inc. (the "Company") and its wholly owned subsidiary, Home Depot U.S.A., Inc., do hereby designate each Vice President and Deputy General Counsel and each of Suzanne Russo, John Chescavage and Michael A. Dalton as my designees and authorize each of them acting either alone or together to execute and deliver, or cause to be executed and delivered, any and all contracts, assignments, easements, conveyances, deeds, leases, subleases, agreements, certificates, instruments, or any other documents on behalf of the Company and each of its direct and indirect subsidiaries related to real property owned or leased or to be acquired or leased by the Company or its direct and indirect subsidiaries (the "Documents") and to take, or cause to be taken, any and all actions in connection therewith as such individual or individuals may consider necessary or desirable, with such necessity or desirability being conclusively evidenced by the actions so taken. Further, I hereby ratify and approve all previous actions taken with respect to the execution and delivery of such Documents in the name of and on behalf of the Company and its direct and indirect subsidiaries.

IN WITNESS WHEREOF, I have hereunto set my hand this 15th day of January 2021.

DocuSigned by:

Teresa Wynn Roseborough
Executive Vice President, General
Counsel and Corporate Secretary



LARS ANDERSEN & ASSOCIATES, INC.

CIVIL ENGINEERS • LAND SURVEYORS • PLANNERS
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TEXAS REGISTERED ENGINEERING FIRM F-18450

SCOTT A. MOMMER, PE, QSD
PRESIDENT

DANIEL J. ZOLDAK, PE, PLS
CASp, LEED AP, QSD/P
VICE PRESIDENT

February 8, 2023

City of Ponderay
Planning Department

RE: Site Plan Modification – 500 Kootenai Cutoff Rd Ponderay, ID 83852

Planning Department,

This is to certify that I, Suzanne Russo (Assistant General Counsel), am an authorized signature for the property located at 500 Kootenai Cutoff Road Ponderay, ID 83852 APN: RPP044100305T0A. See attached Delegation of Authority.

I hereby provide authorization for Lars Andersen & Associates, Inc. to file and process all documents required for the proposed Home Depot Project.

Sincerely,

SUZANNE RUSSO



Commitment No. NCS-1E5KID01-ATL

EXHIBIT A

The Land referred to herein below is situated in the County of Bonner, State of Idaho, and is described as follows:

THAT PORTION OF BLOCKS 3 AND 6 AND VACATED STREET LYING BETWEEN SAID BLOCKS OF STARR'S ACREAGE, ACCORDING TO THE PLAT THEREOF, RECORDED IN [BOOK 1 OF PLATS, PAGE 88](#), RECORDS OF BONNER COUNTY, IDAHO, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID BLOCK 3; THENCE NORTH 89°37'22" EAST, ALONG THE SOUTH LINE OF SAID BLOCK 3, 217.00 FEET, TO THE TRUE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE CONTINUE NORTH 89°37'22" EAST, ALONG SAID SOUTH LINE, 252.53 FEET, THENCE NORTH 00°38'35" WEST, 194.00 FEET; THENCE NORTH 89°37'22" EAST, 160.00 FEET; TO THE WEST LINE OF THE EAST 10.00 FEET OF SAID BLOCKS AND VACATED STREET, THENCE NORTH 00°38'35" EAST, ALONG SAID WEST LINE, 696.62 FEET; THENCE SOUTH 89°23'22" WEST, 309.50 FEET; THENCE NORTH 00°37'36" WEST, 80.46 FEET; THENCE SOUTH 89°34'36" WEST, 319.49 FEET, TO THE WEST LINE OF SAID BLOCKS; THENCE SOUTH 00°36'37" EAST ALONG SAID WEST LINE, 797.57 FEET; THENCE NORTH 89°37'22" EAST, 217.00 FEET; THENCE SOUTH 00°36'37" EAST, 172.00 FEET, TO THE TRUE POINT OF BEGINNING.

This page is only a part of a 2021 ALTA Commitment for Title Insurance issued by First American Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I—Requirements; and Schedule B, Part II—Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

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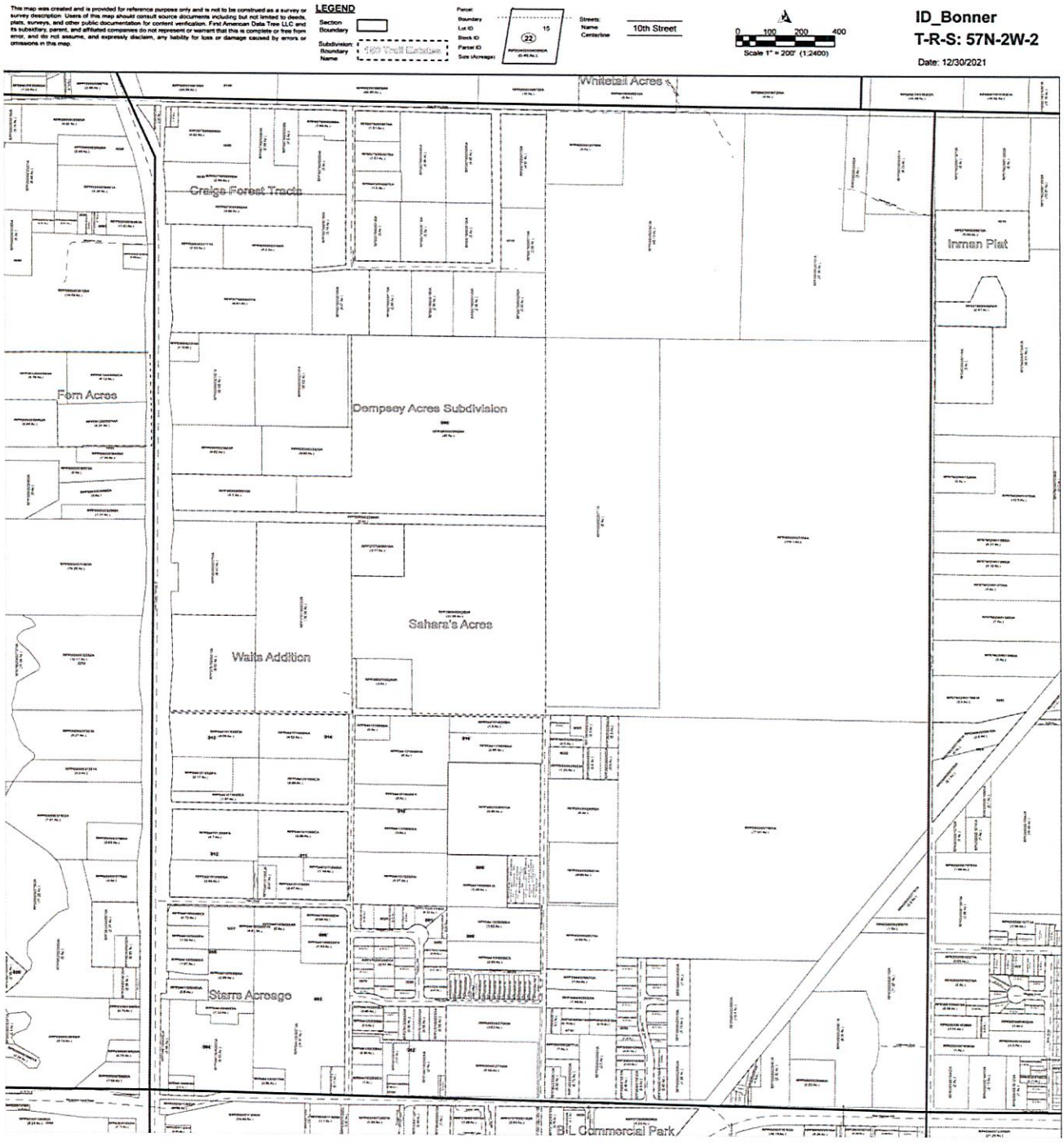
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First American

clarityfirst® Tax Map

500 KOOTENAI CUTOFF RD, PONDERAY, ID 83852



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