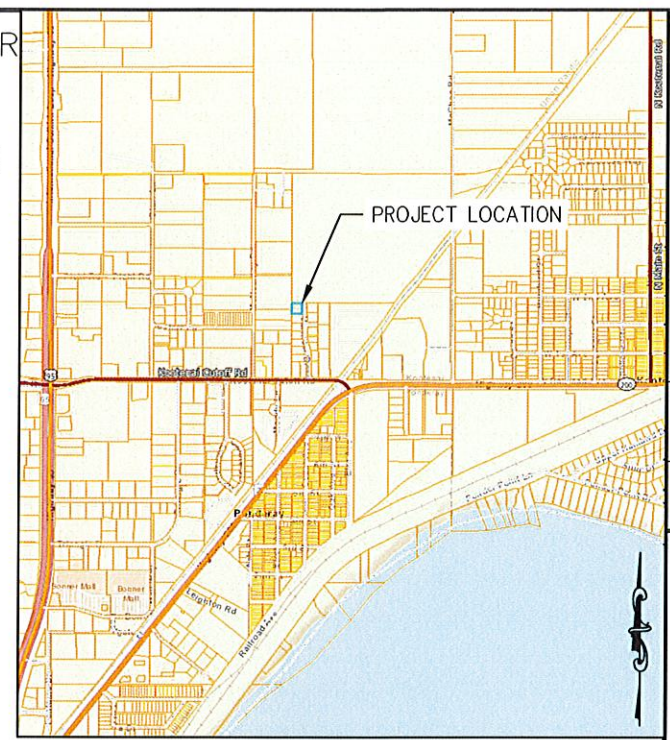


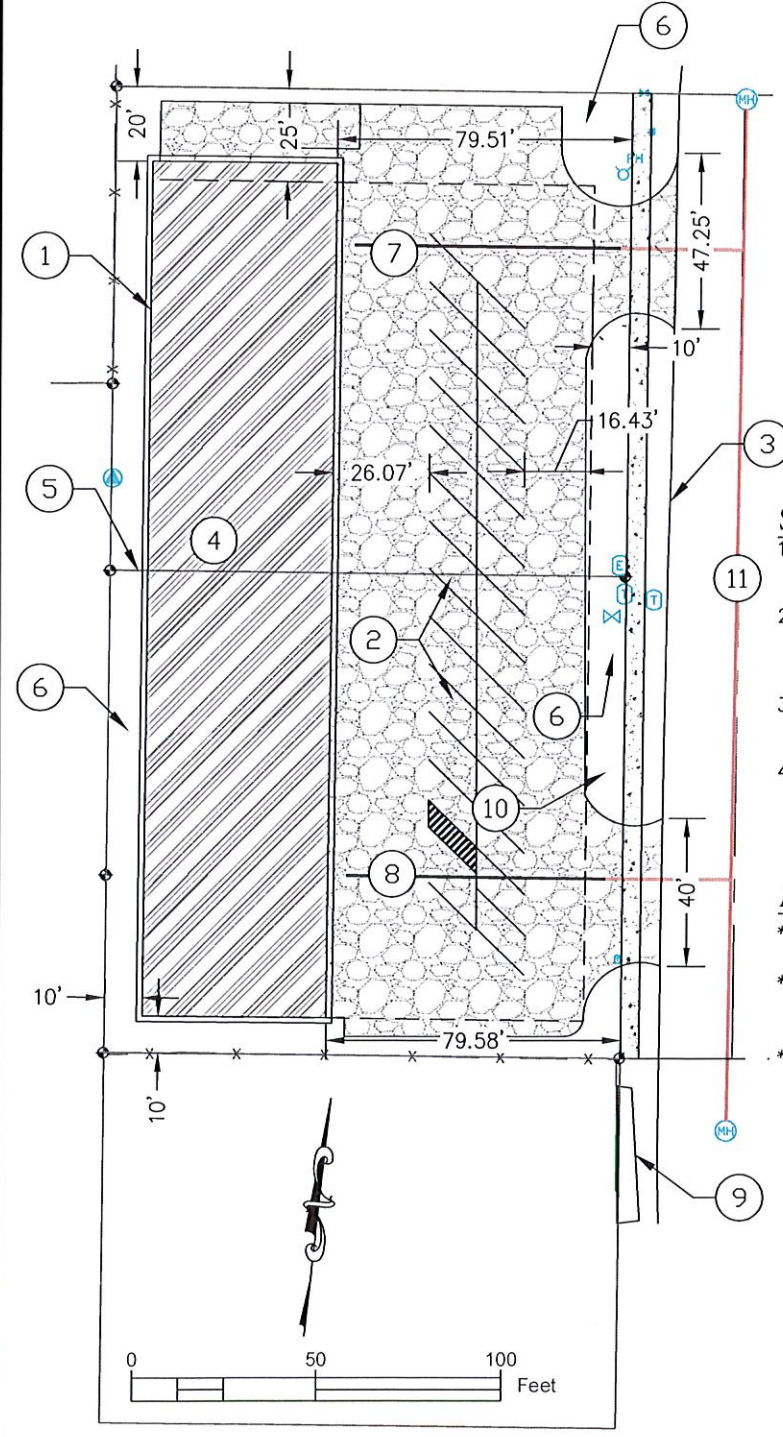
TOTAL INDUSTRIAL BUILDING SPACE: 10,276SF		<b>SITE PLANNING DATA</b>		TOTAL COMMERCIAL BUILDING SPACE: 1,224SF (6*204SF)	
BUILDING SPACE: BUILDING FLOOR SPACE UNIT 1 - 2,000 UNIT 2 - 2,000 UNIT 3 - 2,000 UNIT 4 - 1,833.35 UNIT 5 - 1,833.35 UNIT 6 - 1,833.35		TOTAL LOT AREA : 36,270SF - 0.83 ACRES		PARKING SPOTS REQUIRED COMMERCIAL = 1/200SF INDUSTRIAL = 1/1,000SF	
GREEN SPACE 17% BUILDING LANDSCAPE 6,155 SF STORMWATER FACILITIES 3,334 SF TOTAL LANDSCAPE AREA 6,148 SF		PARKING LOT 18,622 SF SIDEWALK AREA (IN R.O.W.) 1,300 SF		PARKING LOT 18,622 SF SIDEWALK AREA (IN R.O.W.) 1,300 SF	
SITE PARKING SPOTS PROPOSED 25 TYPICAL SPOTS 2 ADA ACCESSIBLE 1 VAN ACCESSIBLE 27 TOTAL		BUILDING COVERAGE 11,500 SF		LAND COVERAGE 31.71%	

**SITE, STORMWATER, GRADING AND EROSION CONTROL PLAN FOR  
JERROD AND KILEY FOURNIER**  
A DEVELOPMENT PERMIT FOR CONSTRUCTION FOR  
RPP36990010090A + RPP36990010080A ON VERMEER DRIVE  
PONDERAY, BONNER COUNTY, IDAHO 83852

- GENERAL NOTES**
1. THESE PLANS ARE FOR THE CONSTRUCTION OF A COMMERCIAL/INDUSTRIAL MIXED USE BUILDING IN THE COMMERCIAL ZONE OF PONDERAY.
  2. THE BUILDING OUTLINE AS SHOWN HEREON IS TO BE LOCATED IN THE FIELD BY A LICENSED PROFESSIONAL LAND SURVEYOR.
  3. THESE PLANS ARE FOR SITE UTILITY, GRADING, STORMWATER AND EROSION CONTROL AS SHOWN.
  4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF PONDERAY, AND ANY OTHER DEVELOPMENT STANDARDS.
  5. ALL WORK SHALL CONFORM TO THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION," 2020 OR MOST RECENT EDITION. IN CASE OF CONFLICT, CITY OF PONDERAY STANDARDS SHALL PREVAIL.
  6. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY COMPANIES PRIOR TO STARTING WORK NEAR ANY FACILITIES AND SHALL COORDINATE HIS WORK WITH COMPANY REPRESENTATIVES. ALL UTILITY SERVICES SHALL BE INSTALLED UNDERGROUND. FOR EXISTING UTILITY LOCATIONS, CONTACT "CALL BEFORE YOU DIG" AT 1-800-626-4950 AT LEAST 48 HOURS PRIOR TO STARTING ANY EXCAVATIONS.
  7. AN APPROVED PERMIT SHALL BE OBTAINED FROM THE CITY OF PONDERAY PLANNING DEPARTMENT AND WORK SHALL NOT BEGIN UNTIL A NOTICE TO PROCEED IS RECEIVED. THE CONTRACTOR SHALL NOTIFY THE PONDERAY CITY PLANNING DEPARTMENT 48 HOURS PRIOR TO STARTING WORK.
  8. THE CONTRACTOR SHALL HAVE AN APPROVED SET OF IMPROVEMENT PLANS AND APPROVAL LETTER ON THE JOB SITE AT ALL TIMES.
  9. WHERE TRENCHES ARE WITHIN PUBLIC EASEMENTS, COMPACTION TEST RESULTS SHALL BE SUBMITTED TO THE ENGINEER OF RECORD BY A QUALIFIED LABORATORY AND PROPERLY CERTIFIED TECHNICIAN WHO WILL CERTIFY THAT TRENCH BACKFILL WAS COMPACTED AS REQUIRED IN ACCORDANCE WITH THE ISPC OR PONDERAY REQUIREMENTS.
  10. ALL TESTING REQUIRED WILL BE AT THE EXPENSE OF THE CONTRACTOR.
  11. ALL EXISTING IMPROVEMENTS INCLUDING CURB AND GUTTERS, SIDEWALKS, ASPHALT, CONCRETE OR P.C.C. PAVING, WHICH ARE BEING JOINED OR MATCHED IN CONNECTION WITH THIS PROJECT, SHALL BE JOINED OR MATCHED IN A MANNER SATISFACTORY TO THE OWNER, INCLUDING NECESSARY SAWCUTTING, REMOVAL, REPLACEMENT AND CAPPING.
  12. EXISTING DRAINAGE FEATURES WILL BE PRESERVED OR RESTORED SUCH THAT NO BLOCKAGE OF EXISTING RUNOFF WATER WILL PERMANENTLY OCCUR.
  13. NO REVISIONS SHALL BE MADE TO THESE PLANS WITHOUT THE APPROVAL OF THE ENGINEER.



VICINITY MAP  
NTS



**SURVEY NOTES**

1. THIS PLAN WAS PREPARED BY FROM A BOUNDARY AND TOPOGRAPHIC SURVEY DONE BY GLAHE & ASSOCIATES AS WELL AS INFORMATION TAKEN FROM THE BONNER COUNTY GIS WEBSITE.
2. THIS MAP DOES NOT REPRESENT AN ACTUAL SURVEY BUT WAS ASSEMBLED FROM INFORMATION GATHERED AS NOTED. REFER TO THE RECORDS OF SURVEY BY GLAHE & ASSOCIATES FOR MORE DETAILED PROPERTY BOUNDARY, ELEVATION MONUMENTATION, AND ADDITIONAL INFORMATION.
3. ELEVATIONS SHOWN ARE BASED ON THE GLAHE SURVEY USING THE NAVD88 DATUM AS RECEIVED AND IS INTENDED TO SERVE AS A GRADING, STORMWATER, AND EROSION PLAN FOR A DEVELOPMENT PERMIT.
4. EXISTING PROPERTY CORNERS AND SURVEY MONUMENTS SHALL BE LOCATED, MARKED, AND PROTECTED DURING THE COURSE OF CONSTRUCTION. ANY DAMAGE OR OBLITERATED CORNERS OR MONUMENTS SHALL BE RE-ESTABLISHED AT THE CONTRACTORS EXPENSE BY A PROFESSIONAL LAND SURVEYOR, LICENSED IN THE STATE OF IDAHO, PRIOR TO FINAL ACCEPTANCE.

**ADDITIONAL NOTES**

- \* ALL GREENSPACE AND LANDSCAPED AREAS TO BE COVERED BY GRASS, BUSHES, TREES, ETC.
- \* CONTRACTOR SHALL PROVIDE DUST CONTROL OR ABATEMENT MEASURES SUCH AS WATER SUPPRESSION, SCREENING, ENCLOSURE AND GENERAL SITE HOUSE KEEPING DURING CONSTRUCTION OF PROJECT.
- \* EXISTING UTILITIES SHALL BE LOCATED, MARKED, AND PROTECTED DURING THE COURSE OF CONSTRUCTION. IF ANY DAMAGE TAKES PLACE, THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY COMPANY AND TAKE ACTION TO REPAIR.

**TABLE OF CONTENTS**

1. SITE PLAN
2. STORMWATER MANAGEMENT / SNOW STORAGE PLAN
3. STORMWATER MANAGEMENT NOTES/CALCS
4. STORMWATER NOTES - R.O.W. IMPROVEMENTS
5. GRADING AND EROSION CONTROL PLAN
6. PARKING, LIGHTING, AND LANDSCAPE PLAN
7. MISCELLANEOUS DETAILS

**RECEIVED**

FEB 02 2023

PLANNING OFFICE  
CITY OF PONDERAY

**KEYNOTES:**

- 1 PROPOSED BUILDING
- 2 PROPOSED PARKING SPOT
- 3 EDGE OF ROAD
- 4 INDIVIDUAL UNIT - SEE TOP LEFT TABLE IN FOR INDIVIDUAL SQUARE FOOTAGE
- 5 LOT LINE
- 6 PROPOSED STORMWATER AREA
- 7 PROPOSED SEWER SERVICE CONNECTION  
APPROX 71.5 LF  
S = 1%  
START IE: 2127.34  
END IE: 2128.05
- 8 PROPOSED SEWER SERVICE CONNECTION  
APPROX 69.7 LF  
S = 1%  
START IE: 2126.39  
END IE: 2127.09
- 9 NEIGHBORING LOT DRIVEWAY
- 10 PROPOSED SNOW STORAGE AREA
- 11 EXISTING SEWER GRAVITY MAIN

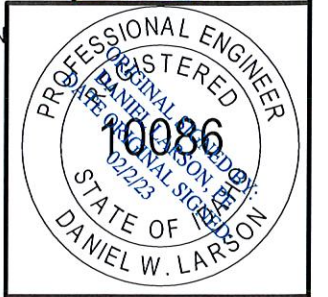
**LEGEND**

- R/W RIGHT OF WAY
- PROPOSED BUILDING
- PROPERTY PARCEL
- SETBACK LINE
- X X FENCE
- STORM PIPE/ CULVERT
- FINISHED GRADE 5' CONTOUR
- FINISHED GRADE 1' CONTOUR
- EXISTING GRADE 5' CONTOUR
- EXISTING GRADE 1' CONTOUR
- EXISTING WATER MAIN
- FIBER ROLLS
- PROPOSED STORMWATER FACILITY
- PROPOSED PARKING LOT
- CONSTRUCTION ENTRANCE
- PROPOSED SNOW STORAGE
- SHEET-FLOW DIRECTION
- MH - MANHOLE
- PC - PROPERTY CORNER
- T - COMMUNICATION BOX
- E - ELECTRICAL BOX
- FH - FIRE HYDRANT
- FOUND 5/8" REBAR AND CAP BY PLS 5713
- FOUND 2" IRON PIPE

REVISION #	DATE	DESCRIPTION

SHEET TITLE  
FURNIER  
VERMEER COMMERCIAL  
PONDERAY, IDAHO

ENGINEERING  
414 CHURCH STREET, SUITE 203  
SANDPOINT, IDAHO 83864  
(208) 263-0623  
info@7BEngineering.com



PROJECT NO: 22047  
DRAWN BY: JMW  
CHECKED BY: DWL  
SCALE: 1"=50' (11"x17" ONLY)