

## ANIMAL ALLIANCE ADDITION

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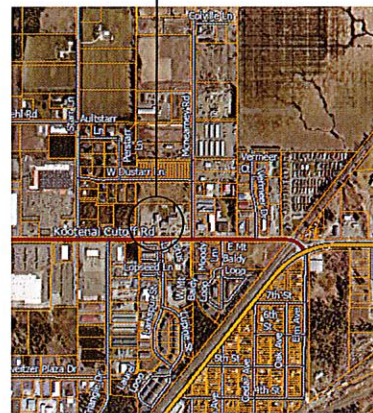
THESE PLANS SHALL COMPLY WITH THE FOLLOWING CODES

- 2018 INTERNATIONAL RESIDENTIAL CODE
- 2018 INTERNATIONAL BUILDING CODE
- 2018 INTERNATIONAL MECHANICAL CODE
- 2018 INTERNATIONAL FUEL GAS CODE
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE

ALL APPLICABLE STATE AND LOCAL CODES

1. THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT INFILTRATION AS PER (IECC 402.4.1)
2. LIGHTING - A MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HI-EFFICIENCY
3. FASTENERS TO BE USED IN PRESSURE TREATED WOOD SHALL BE MINIMUM HOT DIPPED GALVANIZED STEEL
4. DRYER DUCTING LENGTH - WHERE EXHAUST DUCTS ARE CONCEALED WITHIN BUILDING CONSTRUCTION, THE EQUIVALENT LENGTH SHALL BE IDENTIFIED ON A PERMANENT LABEL OR TAG LOCATED WITHIN 6 FEET OF THE EXHAUST DUCT CONNECTION
5. REFRIGERANT CIRCUIT ACCESS PORTS LOCATED OUTDOORS SHALL BE FITTED WITH LOCKING TYPE TAMPER RESISTANT CAPS AS PER (IRC-M1411.6)
6. FOR NEW CONSTRUCTION, AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AS PER (IRC-R315.1)
7. APPROVED CONSTRUCTION DOCUMENTS SHALL BE KEPT AT THE SITE OF WORK AND SHALL BE OPEN TO INSPECTION BY THE BUILDING OFFICIAL AS PER (IRC 106.3.1)
8. VALLEY LINING IS REQUIRED - MAY USE MINIMUM 36" WIDE SMOOTH ROLL ROOFING OR ICE AND WATER SHIELD AS PER (IRC 905.2.8.2)
9. AN ICE BARRIER SHALL BE USED IN LIEU OF NORMAL ROOFING UNDERLAYMENT AND EXTEND FROM THE LOWEST EDGES OF ALL ROOF SURFACES TO A POINT AT LEAST 24" INSIDE THE EXTERIOR WALL LINE OF THE BUILDING AS PER (IRC R905.2.7.1)
10. FLOOR INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF THE SUBFLOOR DECKING AS PER (IECC 402.2.6)
11. WATER RESISTIVE BARRIER SHALL BE APPLIED OVER STUDS OR SHEATHING OF ALL EXTERIOR WALLS AS PER (IRC R703.2)
12. ALL SHEAR WALLS TO BE MARKED WITH A PAINTED "S" PER THE PLANS
13. TYPE X GYP. BD. FOR GARAGE CEILINGS BENEATH HABITABLE ROOMS SHALL BE INSTALLED PERPENDICULAR TO THE CEILING FRAMING AND SHALL BE FASTENED AT MAXIMUM 6 INCHES O.C. BY MINIMUM 1-7/8" 6d COATED NAILS OR EQUIVALENT DRYWALL SCREWS AS PER (IRC R702.3.5 FOOTNOTE e)
14. SLAB ON GRADE REMOVE ALL VEGETATION, TOP SOIL AND FOREIGN MATERIAL IN AREA WITHIN FOUNDATION WALLS AS PER (IRC 506.2)
15. ALL JOINTS, SEAMS AND OTHER CONNECTIONS IN DUCTWORK SHALL BE SECURELY FASTENED AND SEALED.

### PROJECT LOCATION



### VICINITY MAP

## AREA SUMMARY

EXIST. BLDG. COVERAGE = 30,940 SQ. FT.  
ADD'L EXIST. COV. = 6,000 SQ. FT.  
PROPOSED FIN. BLDG. = 2,952 SQ. FT.  
PROPOSED COV. PORCH = 600 SQ. FT.  
PROPOSED UNCOV. PATH = 825 SQ. FT.  
TOTAL PROPOSED ADD'L COV. = 4,377  
LOT SIZE = 238,709  
EXIST. LOT COV. = ~15.7%  
PROPOSED TOTAL LOT COV. = ~16.95%

### NOTABLE SPECS:

#### PARKING SUMMARY:

SPACES REQ'D BY USE:  
(12,024 MERCANTILE USE/200)  
= 60.12, USE 61  
(18,916 INDUSTRIAL USE/1000)  
= 18.92, USE 19  
TOTAL SPACES REQ'D. = 80  
TOTAL SPACES PROVIDED = 85

#### LOT SPACE SUMMARY:

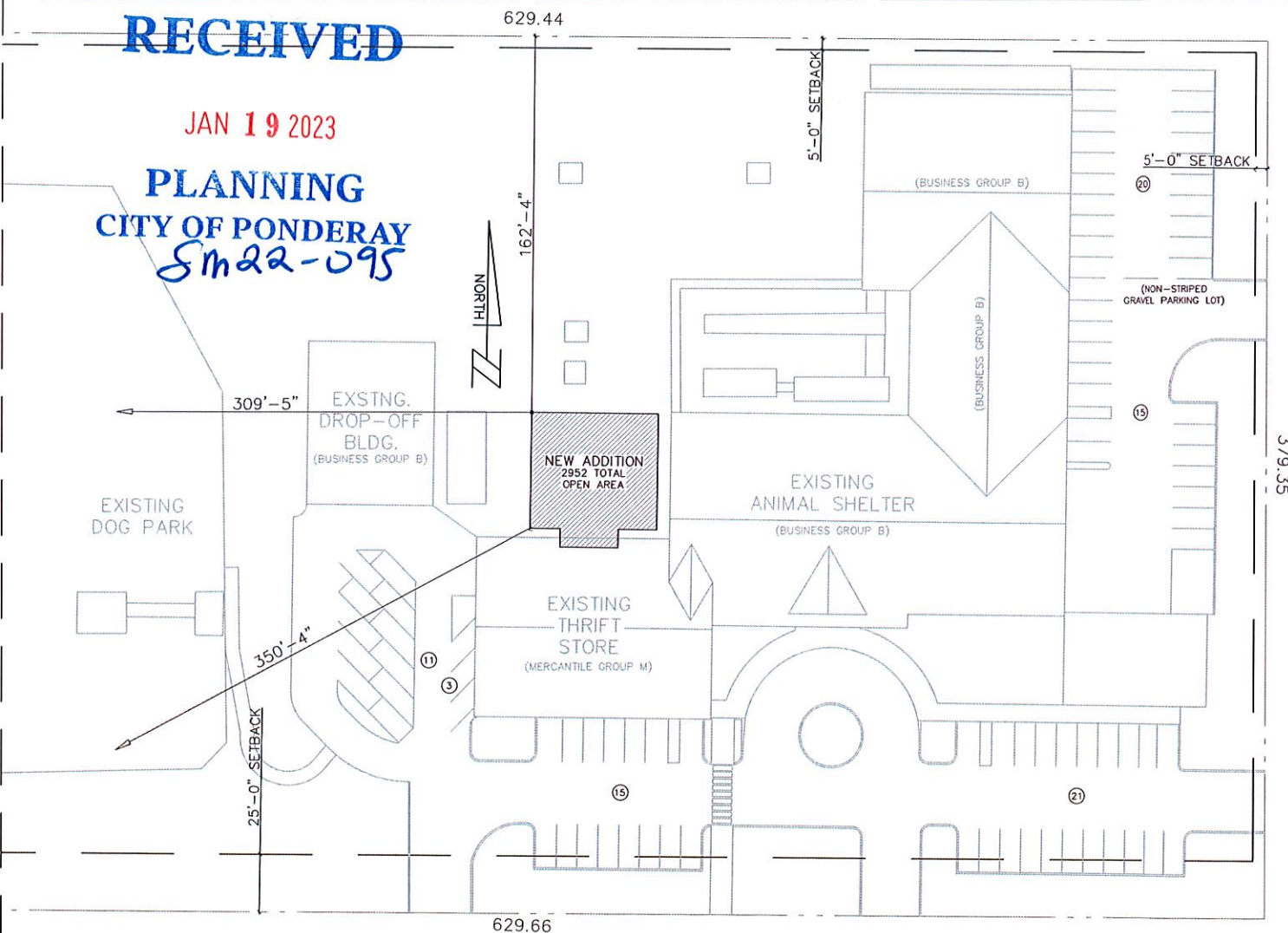
OPEN SPACE = ~192,349 SQ. FT.  
GREEN SPACE = ~132,908 SQ. FT.  
IMPERVIOUS SPACE = ~105,908 SQ. FT.

ALL EXISTING SITE INFORMATION IS PER AERIAL IMAGES AND UNVERIFIABLE PLAN SETS AND ARE PROVIDED FOR REFERENCE ONLY. SELKIRK DESIGN CO. CANNOT GUARANTEE THE ACCURACY OF SAID FEATURES- CONTRACTOR TO FIELD VERIFY.

ALL ADDITIONAL LIGHTING APPLICABLE TO NEW CONSTRUCTION TO BE DOWNLIGHTING IN ACCORDANCE W/ THE CITY OF PONDERAY

ALL DISTURBED AREAS TO BE REESTABLISHED TURF (TYP.)

NO ADDITIONAL SIGNAGE IS REQUIRED PER LOCAL ORDINANCE.



**SITE PLAN**  
870 KOOTENAI CUT OFF RD  
PONDERAY, ID 83864

SCALE: 1"=32'

### LEGEND

- SETBACK LINE - - - - -
- EASEMENT - - - - -
- PROPERTY LINE - - - - -
- BUILDING OUTLINE - - - - -
- STREET CENTERLINE - - - - -
- DRIVEWAY - - - - -



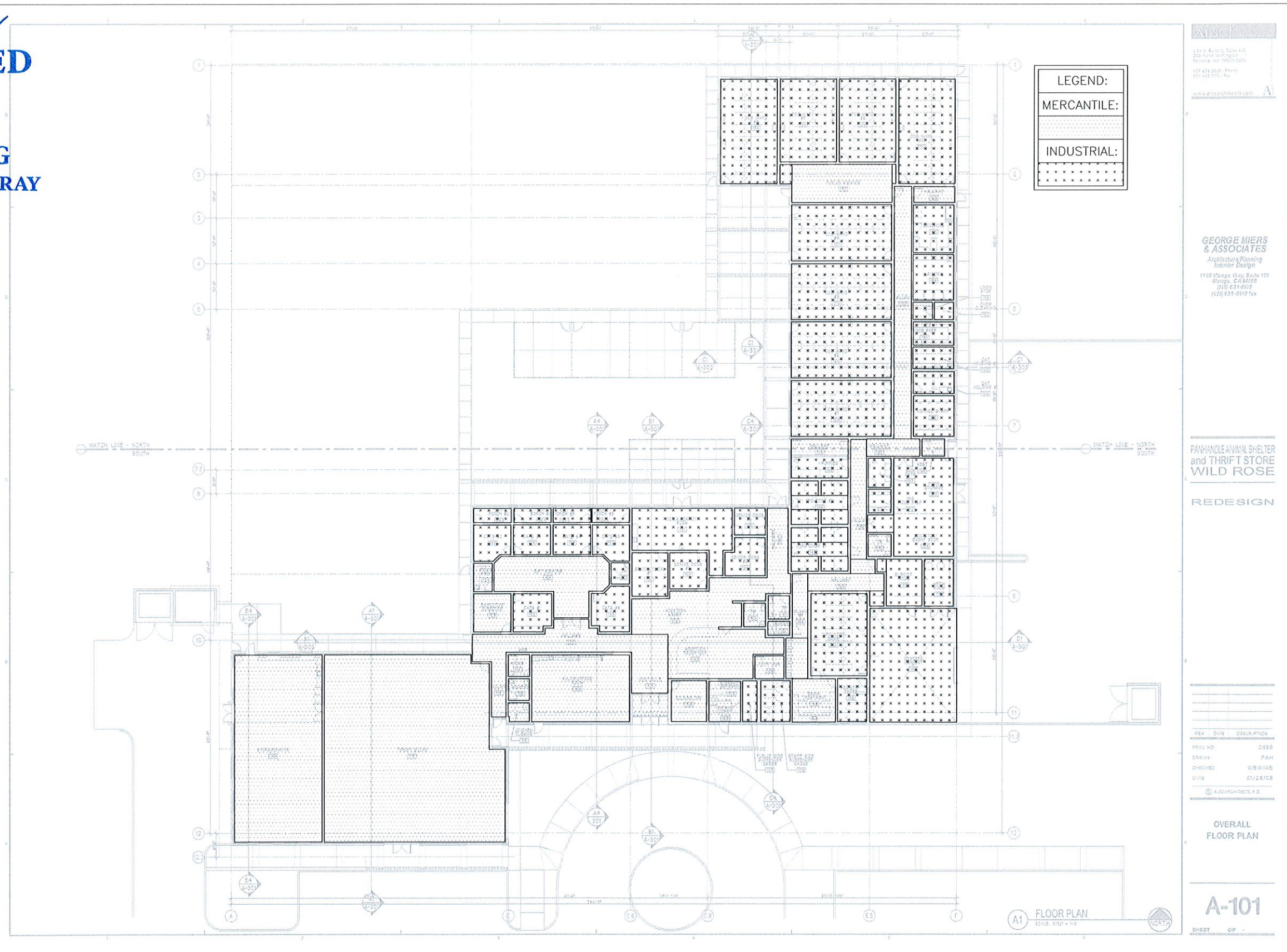
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PLANNING  
CITY OF PONDERAY



"ANIMAL  
ALLIANCE ADDITION"  
870 KOOTENAI CUTOFF RD  
PONDERAY, ID

EXIST. USE  
DESIGNATION MAP

SCALE: 1/4"=1'-0"  
SCALES SHOWN ARE FOR  
24" X 36" PRINTS ONLY  
DATE: 01-19-2022  
THE DIMENSIONS  
SHOWN ON THE  
PLANS SHALL BE  
ATTAINED WITHIN  
LIMITS OF  
PRECISION THAT  
GOOD CONSTRUCTION  
PRACTICES  
WILL PERMIT

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