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ABBREVIATIONS				SYMBOLS				GENERAL INFORMATION				SHEET INDEX			
A/C	AIR CONDITIONING	JAN	JANITOR	THE FOLLOWING SYMBOLS IDENTIFY TYPICAL CONDITIONS & ELEMENTS & ARE APPLICABLE ONLY IF UTILIZED IN THE DOCUMENTS.				A. PROJECT NAME: PONDERAY PLAZA APARTMENTS ADDRESS: TO BE DETERMINED PONDERAY, ID 83852 PARCELS: PARCEL B OF A PLAT OF SCHWEITZER PLAZA SITE AREA: PARCEL B = 6.07 ACRES (264,835 SF)				GENERAL G101 GENERAL INFORMATION ARCHITECTURAL SITE AC102 ARCHITECTURAL SITE PLAN - PARCEL B CIVIL C101 CIVIL GENERAL NOTES V01 TOPOGRAPHICAL SURVEY C201 SITE DEMOLITION & EROSION & SEDIMENT CONTROL PLAN C202 EROSION & SEDIMENT CONTROL DETAILS C301 PAVING PLAN C401 GRADING PLAN C402 DRAINAGE PLAN C500 OVERALL UTILITY PLAN C601 CIVIL DETAILS C701 EAST WEST ROAD PLANS C710 EAST WEST ROAD PLANS C711 BONNER MALL WAY PLANS LANDSCAPING L-101 CONCEPTUAL LANDSCAPE PLAN ARCHITECTURAL A101 BUILDING D & F FIRST FLOOR PLANS A102 BUILDING D & F SECOND FLOOR PLAN A103 BUILDING E FLOOR PLANS A104 BUILDINGS G, H & J FLOOR PLANS A105 COMMUNITY BUILDING FLOOR PLAN A201 BUILDINGS D & F EXTERIOR ELEVATIONS A202 BUILDINGS D & F EXTERIOR ELEVATIONS A203 BUILDINGS D & F EXTERIOR ELEVATIONS A204 BUILDING E EXTERIOR ELEVATIONS A205 BUILDING E EXTERIOR ELEVATIONS A206 BUILDINGS G, H & I EXTERIOR ELEVATION A207 COMMUNITY BUILDING EXTERIOR ELEVATIONS A208 COMMUNITY BUILDING EXTERIOR ELEVATIONS A401 ONE BEDROOM UNIT PLANS & INTERIOR ELEVATIONS A402 ONE BEDROOM UNIT PLANS & INTERIOR ELEVATIONS A403 TWO BEDROOM UNIT PLANS & INTERIOR ELEVATIONS A404 TWO BEDROOM UNIT PLANS & INTERIOR ELEVATIONS A405 TYPE 'B' PLANS & INTERIOR ELEVATIONS A406 TOWNHOUSE UNIT PLANS A901 SITE PERSPECTIVES A902 PARCEL B RENEDERING A903 1 BEDROOM FLOOR PLAN RENDERINGS A904 2 BEDROOM FLOOR PLAN RENDERINGS A905 TOWNHOUSE FLOOR PLAN RENDERINGS A906 BUILDINGS D & F PERSPECTIVES A907 BUILDINGS 3 PERSPECTIVES A908 BUILDINGS G, H & J PERSPECTIVES A909 COMMUNITY BUILDING PERSPECTIVES			
AB	ANCHOR BOLT	JT	JOINT												
ACC	ACCESSIBLE														
ACS PNL	ACCESS PANEL	KIT	KITCHEN												
ACT	ACOUSTICAL CEILING TILE														
AD	AREA DRAIN	L	LONG												
AFF	ABOVE FINISH FLOOR	LAM	LAMINATE(D)(ION)												
ALUM	ALUMINUM	LAV	LAVATORY												
APA	AMERICAN PLYWOOD	LF	LINEAR FEET												
ARCH	ARCHITECT (URAL)	LIN	LINEAR												
		LL	LIVE LOAD												
		LT	LIGHT												
BD	BOARD														
BLDG	BUILDING	MATL	MATERIAL												
BLKG	BLOCKING	MECH	MECHANICAL												
BM	BEAM	MEZZ	MEZZANINE												
BOT	BOTTOM	MFR	MANUFACTURER												
BR	BEDROOM	MH	MANHOLE												
BRS	BEARING	MIN	MINIMUM												
BTWN	BETWEEN	MO	MASONRY OPENING												
BUR	BUILT-UP ROOFING	MT	MOUNT(ED)												
		MTL	METAL												
CAB	CABINET														
CB	CATCH BASIN	N	NORTH												
CF/CI	CONTRACTOR FURNISHED/ CONTRACTOR INSTALLED	NIC	NOT IN CONTRACT												
CF/OI	CONTRACTOR FURNISHED/ OWNER INSTALLED	NOM	NOMINAL												
		NTS	NOT TO SCALE												
CJ	CONTROL JOINT	OC	ON CENTER												
CL	CENTER LINE	OD	OUTSIDE DIAMETER												
CLG	CEILING	OF/CI	OWNER FURNISHED/ CONTRACTOR INSTALLED												
CLO	CLOSET														
CLR	CLEAR	OF/OI	OWNER FURNISHED/ OWNER INSTALLED												
CNU	CONCRETE MASONRY UNIT	OPNG	OPENING												
COL	COLUMN	OPF	OPPOSITE												
CONC	CONCRETE	ORD	OVERFLOW ROOF DRAIN												
CONSTR	CONSTRUCTION														
CONTR	CONTRACT(OR)														
CPT	CARPET	PBD	PARTICLE BOARD												
CSK	COUNTERSUNK	PCC	PRECAST CONCRETE												
CT	CERAMIC TILE	PIV	POST INDICATOR VALVE												
CU FT	CUBIC FEET	PL	PROPERTY LINE												
CU YD	CUBIC YARD	PLAM	PLASTIC LAMINATE												
		PLAS	PLASTIC												
D	DEEP, CLOTHES DRYER	PLBG	PLUMBING												
DBL	DOUBLE	PLF	POUNDS PER LINEAL FOOT												
DET	DETAIL	PLYND	PLYWOOD												
DF	DRINKING FOUNTAIN	PNL	PANEL												
DIA	DIAMETER	PNT	PAINT												
DIAG	DIAGONAL	PSF	POUNDS PER SQUARE FOOT												
DIM	DIMENSION	PSI	POUNDS PER SQUARE INCH												
DIV	DIVISION	PT	PRESSURE TREATED												
DL	DEAD LOAD	PTD	PAPER TOWEL DISPENSER												
DR	DOOR	PTN	PARTITION												
DS	DOWNSPOUT														
DTL	DETAIL	QT	QUARRY TILE												
DN	DISHWASHER														
DNG	DRAWING														
		R	RISER, RADIUS												
E	EAST	RA	RETURN AIR												
EJ	EXPANSION JOINT	RB	RUBBER BASE												
EL	ELEVATION	RD	ROOF DRAIN												
ELEC	ELECTRIC(AL)	REF	REFRIGERATOR												
ELEV	ELEVATOR	REV	REVISION, REVISED												
EQ	EQUAL	RM	ROOM												
EQUIP	EQUIPMENT	RO	ROUGH OPENING												
EW	EACH WAY	ROW	RIGHT OF WAY												
EXH	EXHAUST	RWC	RAINWATER CONDUCTOR												
EXIST	EXISTING	RNL	RAINWATER LEADER												
EXP	EXPOSED, EXPANSION	S	SOUTH												
EXP BT	EXPANSION BOLT	SA	SUPPLY AIR												
EXT	EXTERIOR	SCND	SOLID CORE WOOD DOOR												
		SF	SQUARE FEET												
FA	FIRE ALARM	SHT	SHEET												
FD	FLOOR DRAIN	SHWR	SHOWER												
FDC	FIRE DEPARTMENT CONNECTION	SIM	SIMILAR												
FDTN	FOUNDATION	SPEC	SPECIFICATION												
FE	FIRE EXTINGUISHER	SQ	SQUARE												
FEC	FIRE EXTINGUISHER CABINET	SST	STAINLESS STEEL												
FF	FACTORY FINISH	SUSP	SUSPEND(ED)												
FH	FIRE HYDRANT	SV	SHEET VINYL												
FIN	FINISH														
FLR	FLOOR(ING)	T	TREAD												
FLUOR	FLUORESCENT	TB	TOWEL BAR												
FR	FRAME(ING)	THK	THICKNESS												
FRP	FIBERGLASS REINFORCED PLASTIC	TO	TOP OF												
FRTN	FIRE RETARDANT TREATED WOOD	TFD	TOILET PAPER DISPENSER												
		TR	TOWEL RING												
FT	FEET	TUB	BATHTUB												
FTG	FOOTING	TYP	TYPICAL												
GA	GAGE, GAUGE	UGND	UNDERGROUND												
GALV	GALVANIZED	UNO	UNLESS NOTED OTHERWISE												
GB	GRAB BAR	UR	URINAL												
GC	GENERAL CONTRACTOR														
GFCI	GROUND FAULT CIRCUIT INTERRUPT	VCT	VINYL COMPOSITION TILE												
		VERT	VERTICAL												
GL	GLASS, GLAZING	VG	VERTICAL GRAIN												
GLU LAM	GLUE LAMINATED WOOD														
GUT	GUTTER	W	WEST, WIDE												
GYP BD	GYPNUM BOARD	WC	WATER CLOSET												
		WD	WOOD												
H	HIGH	WDN	WINDOW												
HB	HOSE BIBB	WH	WATER HEATER												
HCND	HOLLOW CORE WOOD DOOR	WP	WATERPROOF												
HDN	HARDWARE	WP	WEATHERPROOF												
HM	HOLLOW METAL	WSCOT	WAINSCOT												
HORIZ	HORIZONTAL	WVFB	WELDED WIRE FABRIC												
HP	HEAT PUMP	WVM	WELDED WIRE MESH												
HT	HEIGHT														
HVAC	HEATING, VENTILATING, & AIR CONDITIONING	XFER	TRANSFER												
		XFMR	TRANSFORMER												
ID	INSIDE DIAMETER														
INCL	INCLUDE(D)(ING)														
INSUL	INSULATE(D)(ION)														
INT	INTERIOR														
INV	INVERT														

WORKING POINT OR REFERENCE ELEVATION	BREAK LINE
REVISION INDICATION	FIRE HYDRANT
TEST BORING	MANHOLE
SPOT ELEVATION	CATCH BASIN
EXISTING CONTOURS	POWER POLE
NEW CONTOURS	WATERLINE
PROPERTY CORNER	GAS LINE
PROPERTY LINE OR BOUNDARY LINE	SANITARY SEWER
CENTER OR GRID LINE	STORM DRAIN
HIDDEN FEATURE OR RELATIONSHIP	CLEAN OUT
DOOR TAG	KEYED NOTE NUMBER (GENERAL NOTE)
WINDOW TAG	FLOOR DRAIN
ROOM NAME	WINDOW
ROOM TAG	
ROOM NUMBER	
ROOM AREA	
LEVEL NAME	NEW DOOR & FRAME
LEVEL INDICATOR	
LEVEL HEIGHT	FOLDING PARTITION
DETAIL NUMBER	
DETAIL INDICATOR	
DRAWING NUMBER WHERE DETAIL IS DRAWN	
SECTION NUMBER	
BUILDING SECTION INDICATOR	
DRAWING NUMBER WHERE SECTION IS DRAWN	
WALL TYPE IDENTIFIER	

EARTH	WOOD BLOCKING
GRAVEL, CRUSHED ROCK, OR OTHER POROUS MATERIAL AS IDENTIFIED	CONTINUOUS WOOD FRAMING
ASPHALT PAVEMENT	FINISH LUMBER FOR ARCHITECTURAL WOODWORKS
CONCRETE	FIBROUS INSULATION
BRICK	RIGID BOARD INSULATION
CONCRETE MASONRY UNIT (CMU)	LOOSE FILL INSULATION
CERAMIC OR CLAY TILE AS INDICATED	EXTERIOR INSULATION & FINISH SYSTEM
STEEL	GLASS
ALUMINUM	GYPNUM BOARD
PLYWOOD	METAL STUD WALL
	ACOUSTICAL CEILING TILE

PREFIX	DISCIPLINE
G	GENERAL INFORMATION
C	CIVIL
L	LANDSCAPE
A	ARCHITECTURE
S	STRUCTURAL
E	ELECTRICAL
M	MECHANICAL

1. DEVELOPER	EASTMARK CAPITAL GROUP SEAN BARNES 206.956.2049
2. ARCHITECT	ZBA ARCHITECTURE PS MARK KING 509.456.2836
3. CIVIL	COFFMAN ENGINEERS CHAD HEIMBIGNER 509.320.2994
4. ELECTRICAL	L&S ENGINEERING JESSICA WAGONER 509.747.2179
5. MECHANICAL	L&S ENGINEERING BRAD BERGLER 509.747.2179
6. LANDSCAPE	AHBL CRAIG ANDERSEN 509.252.5019
7. STRUCTURAL	DCI ENGINEERS VINCENT VALENTI 509.456.4448

1. NEW(X)	REMODEL()	ADDITION()	ALTERATION()
2. EXISTING LOT/BUILDING USE:	VACANT		
3. PROPOSED USE:	APARTMENTS/ DWELLING UNITS 3 BLDGS - 96 UNITS TOWNHOUSES 3 BLDGS - 18 UNITS 114 UNITS		
4. ZONING:	COMMERCIAL (ALLOWED USE WITH SPECIAL USE PERMIT)		
MAXIMUM ALLOWABLE HEIGHT: 2-STORIES (3-STORIES ALLOWED WITH SPECIAL USE PERMIT)			
SETBACKS: FRONT YARD 20' SIDE YARD 20' REAR YARD 20' BONNER MALL WAY SETBACK 10' (REQUESTED WITH SPECIAL USE PERMIT)			
5. PARKING REQUIRED:	1 SPACE PER 600 SF		

VICINITY MAP



AC102

GENERAL NOTES

1. WORK AND MATERIALS SHALL COMPLY WITH THE REQUIREMENTS AND STANDARDS OF THE AUTHORITIES HAVING JURISDICTION. IF STANDARDS ARE NOT PROVIDED BY THE AUTHORITIES HAVING JURISDICTION, WORK AND MATERIALS SHALL COMPLY WITH THE MOST CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPMC) AND "IDAHO TRANSPORTATION DEPARTMENT" (ITD) STANDARD SPECIFICATIONS.
2. THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF CITY OF PONDERAY GENERAL CONSTRUCTION REQUIREMENTS.
3. THE CONTRACTOR SHALL CALL THE UNDERGROUND SERVICE ALERT ONE-CALL NUMBER 811 TWO BUSINESS DAYS PRIOR TO EXCAVATION.
4. INFORMATION ON EXISTING CONDITIONS SHOWN ON THESE PLANS WAS OBTAINED FROM A SURVEY PERFORMED BY COFFMAN ENGINEERS. NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND REQUIRED ELEVATIONS AT THE SUBJECT SITE. VERIFY THE LOCATION AND SIZE OF EXISTING UTILITIES BEFORE PROCEEDING WITH CONSTRUCTION ACTIVITIES, INCLUDING UNDERGROUND AND OVERHEAD UTILITIES, UTILITY STRUCTURES, POINTS OF CONNECTION, AND UTILITY CROSSINGS. NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR EXCEPTIONS ENCOUNTERED PRIOR TO PROCEEDING. ANY COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY EXISTING CONDITIONS PRIOR TO BEGINNING CONSTRUCTION SHALL BE BORNE BY THE CONTRACTOR.
5. THE CONTRACTOR SHALL HAVE A COMPLETE SET OF APPROVED PLANS ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
6. THE DRAWINGS INDICATE LOCATIONS, DIMENSIONS, REFERENCES, AND TYPICAL DETAILS OF CONSTRUCTION. THE DRAWINGS DO NOT INDICATE EVERY CONDITION. WORK NOT FULLY DETAILED SHALL BE OF CONSTRUCTION SIMILAR TO PARTS THAT ARE FULLY DETAILED.
7. THE CONTRACTOR SHALL OBTAIN THE APPROPRIATE APPROVALS AND PERMITS FROM THE AUTHORITIES HAVING JURISDICTION PRIOR TO PROCEEDING WITH CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL COORDINATE WITH THE AUTHORITIES HAVING JURISDICTION TO CONFIRM INSPECTION, TESTING, AND CERTIFICATION REQUIREMENTS.
8. CONSTRUCTION SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG).
9. EXISTING PROPERTY CORNERS AND SURVEY MONUMENTS SHALL BE PROTECTED DURING CONSTRUCTION. ANY DAMAGED OR OBLITERATED CORNERS OR MONUMENTS SHALL BE RE-ESTABLISHED BY A PROFESSIONAL SURVEYOR AT THE CONTRACTOR'S EXPENSE.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS. COORDINATE REQUIREMENTS WITH THE AUTHORITIES HAVING JURISDICTION.
11. SAFETY STANDARDS AND REQUIREMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND COMPLIED WITH AS SET FORTH BY THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA).
12. THE CONTRACTOR SHALL HAVE THE APPROPRIATE LICENSES TO PERFORM THE SPECIFIED WORK IN CONFORMANCE WITH THE AUTHORITIES HAVING JURISDICTION.
13. REFER TO ARCHITECTURAL AND STRUCTURAL DOCUMENTS FOR ADDITIONAL INFORMATION REGARDING CONSTRUCTION OF STRUCTURES, ENCLOSURES, STAIRS, SIDEWALKS/PATHS, LANDINGS/PATIOS, FENCING, RAILING, AND GATES.
14. RECORD DRAWINGS IDENTIFYING AND ACCURATELY LOCATING SUBSURFACE UTILITIES AND IMPROVEMENTS AND NOTING AS-CONSTRUCTED CONDITIONS SHALL BE PROVIDED BY THE CONTRACTOR AT THE END OF CONSTRUCTION.

EROSION & SEDIMENT CONTROL NOTES

1. THE FOLLOWING CONSTRUCTION SEQUENCE SHALL BE FOLLOWED IN ORDER TO BEST MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENTATION CONTROL (ESC) PROBLEMS:
 - a) CLEAR AND GRUB SUFFICIENTLY FOR INSTALLATION OF TEMPORARY EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICE MEASURES (BMPs);
 - b) INSTALL TEMPORARY ESC BMPs, CONSTRUCTING SEDIMENT TRAPPING BMPs AS ONE OF THE FIRST STEPS PRIOR TO GRADING;
 - c) CLEAR, GRUB AND ROUGH GRADE FOR ROADS, TEMPORARY ACCESS POINTS AND UTILITY LOCATIONS;
 - d) STABILIZE ROADWAY APPROACHES AND TEMPORARY ACCESS POINTS WITH THE APPROPRIATE CONSTRUCTION ENTRY BMP;
 - e) CLEAR, GRUB AND GRADE SUBJECT SITE;
 - f) TEMPORARILY STABILIZE, THROUGH RE-VEGETATION OR OTHER APPROPRIATE BMPs, SUBJECT SITE IN SITUATIONS WHERE SUBSTANTIAL CUT OR FILL SLOPES ARE A RESULT OF THE SITE GRADING;
 - g) CONSTRUCT ROADS, BUILDINGS, PERMANENT STORMWATER FACILITIES (SUCH AS INLETS, PONDS, UNDERGROUND INJECTION CONTROL (UIC) FACILITIES, ETC.);
 - h) PROTECT ALL PERMANENT STORMWATER FACILITIES UTILIZING THE APPROPRIATE BMPs;
 - i) INSTALL PERMANENT ESC CONTROLS, WHEN APPLICABLE; AND,
 - j) REMOVE TEMPORARY ESC CONTROLS WHEN:
 - i. PERMANENT ESC CONTROLS, WHEN APPLICABLE, HAVE BEEN COMPLETELY INSTALLED;
 - ii. ALL LAND-DISTURBING ACTIVITIES THAT HAVE THE POTENTIAL TO CAUSE EROSION OR SEDIMENTATION PROBLEMS HAVE CEASED; AND,
 - iii. VEGETATION HAS BEEN ESTABLISHED IN THE AREAS NOTED AS REQUIRING VEGETATION ON THE ACCEPTED ESC PLAN ON FILE WITH THE LOCAL JURISDICTION.
2. INSPECT ALL ROADWAYS, AT THE END OF EACH DAY, ADJACENT TO THE CONSTRUCTION ACCESS ROUTE. IF IT IS EVIDENT THAT SEDIMENT HAS BEEN TRACKED OFF SITE AND/OR BEYOND THE ROADWAY APPROACH, CLEANING IS REQUIRED.
3. IF SEDIMENT REMOVAL IS NECESSARY PRIOR TO STREET WASHING, IT SHALL BE REMOVED BY SHOVELING OR PICKUP SWEEPING AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA.
4. IF STREET WASHING IS REQUIRED TO CLEAN SEDIMENT TRACKED OFF SITE, ONCE SEDIMENT HAS BEEN REMOVED, STREET WASH WASTEWATER SHALL BE CONTROLLED BY PUMPING BACK ON-SITE OR OTHERWISE PREVENTED FROM DISCHARGING INTO SYSTEMS TRIBUTARY TO WATERS OF THE STATE.
5. RESTORE CONSTRUCTION ACCESS ROUTE EQUAL TO OR BETTER THAN THE PRE-CONSTRUCTION CONDITION.
6. RETAIN THE DUFF LAYER, NATIVE TOPSOIL, AND NATURAL VEGETATION IN AN UNDISTURBED STATE TO THE MAXIMUM EXTENT PRACTICAL.
7. INSPECT SEDIMENT CONTROL BMPs WEEKLY AT A MINIMUM, DAILY DURING A STORM EVENT, AND AFTER ANY DISCHARGE FROM THE SITE (STORMWATER OR NON-STORMWATER). THE INSPECTION FREQUENCY MAY BE REDUCED TO ONCE A MONTH IF THE SITE IS STABILIZED AND INACTIVE.
8. CONTROL FUGITIVE DUST FROM CONSTRUCTION ACTIVITY IN ACCORDANCE WITH THE STATE AND/OR LOCAL AIR QUALITY CONTROL AUTHORITIES WITH JURISDICTION OVER THE PROJECT AREA. DO NOT USE WATER WHEN IT MAY DAMAGE ADJACENT CONSTRUCTION OR CREATE HAZARDOUS OR OBJECTIONABLE CONDITIONS, SUCH AS ICE, FLOODING, AND POLLUTION.
9. STABILIZE EXPOSED UNWORKED SOILS (INCLUDING STOCKPILES), WHETHER AT FINAL GRADE OR NOT, WITHIN 10 DAYS DURING THE REGIONAL DRY SEASON (JULY 1 THROUGH SEPTEMBER 30) AND WITHIN 5 DAYS DURING THE REGIONAL WET SEASON (OCTOBER 1 THROUGH JUNE 30). SOILS MUST BE STABILIZED AT THE END OF A SHIFT BEFORE A HOLIDAY WEEKEND IF NEEDED BASED ON THE WEATHER FORECAST. THIS TIME LIMIT MAY ONLY BE ADJUSTED BY A LOCAL JURISDICTION WITH A "QUALIFIED LOCAL PROGRAM" IF IT CAN BE DEMONSTRATED THAT THE RECENT PRECIPITATION JUSTIFIES A DIFFERENT STANDARD AND MEETS THE REQUIREMENTS SET FORTH IN THE CONSTRUCTION STORMWATER GENERAL PERMIT.

10. PROTECT INLETS, DRYWELLS, CATCH BASINS AND OTHER STORMWATER MANAGEMENT FACILITIES FROM SEDIMENT, WHETHER OR NOT FACILITIES ARE OPERABLE.
11. KEEP ROADS ADJACENT TO INLETS CLEAN.
12. INSPECT INLETS WEEKLY AT A MINIMUM AND DAILY DURING STORM EVENTS.
13. CONSTRUCT STORMWATER CONTROL FACILITIES (DETENTION/RETENTION STORAGE POND OR SWALES) BEFORE GRADING BEGINS. THESE FACILITIES SHALL BE OPERATIONAL BEFORE THE CONSTRUCTION OF IMPERVIOUS SITE IMPROVEMENTS.
14. STOCKPILE MATERIALS (SUCH AS TOPSOIL) ON SITE, KEEPING OFF OF ROADWAY AND SIDEWALKS.
15. COVER, CONTAIN AND PROTECT ALL CHEMICALS, LIQUID PRODUCTS, PETROLEUM PRODUCT, AND NONINERT WASTES PRESENT ON SITE FROM VANDALISM. USE SECONDARY CONTAINMENT FOR ON-SITE FUELING TANKS.
16. CONDUCT MAINTENANCE AND REPAIR OF HEAVY EQUIPMENT AND VEHICLES INVOLVING OIL CHANGES, HYDRAULIC SYSTEM REPAIRS, SOLVENT AND DE-GREASING OPERATIONS, FUEL TANK DRAIN DOWN AND REMOVAL, AND OTHER ACTIVITIES THAT MAY RESULT IN DISCHARGE OR SPILLAGE OF POLLUTANTS TO THE GROUND OR INTO STORMWATER RUNOFF USING SPILL PREVENTION MEASURES, SUCH AS DRIP PANS, CLEAN ALL CONTAMINATED SURFACES IMMEDIATELY FOLLOWING ANY DISCHARGE OR SPILL INCIDENT. IF RAINING OVER EQUIPMENT OR VEHICLE, PERFORM EMERGENCY REPAIRS ON SITE USING TEMPORARY PLASTIC BENEATH THE VEHICLE.
17. CONDUCT APPLICATION OF AGRICULTURAL CHEMICALS, INCLUDING FERTILIZERS AND PESTICIDES, IN SUCH A MANNER, AND AT APPLICATION RATES, THAT INHIBITS THE LOSS OF CHEMICALS INTO STORMWATER RUNOFF FACILITIES. AMEND MANUFACTURER'S RECOMMENDED APPLICATION RATES AND PROCEDURES TO MEET THIS REQUIREMENT, IF NECESSARY.
18. INSPECT ON A REGULAR BASIS (AT A MINIMUM WEEKLY, AND DAILY DURING/AFTER A RUNOFF PRODUCING STORM EVENT) AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMPs TO ENSURE SUCCESSFUL PERFORMANCE OF THE BMPs. NOTE THAT INLET PROTECTION DEVICES SHALL BE CLEANED OR REMOVED AND REPLACED BEFORE SIX INCHES OF SEDIMENT CAN ACCUMULATE.
19. REMOVE TEMPORARY ESC BMPs WITHIN 30 DAYS AFTER THE TEMPORARY BMPs ARE NO LONGER NEEDED. PERMANENTLY STABILIZE AREAS THAT ARE DISTURBED DURING THE REMOVAL PROCESS.
20. PROVIDE TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES TO PREVENT SOIL EROSION AND DISCHARGE OF SOIL-BEARING WATER RUNOFF OR AIRBORNE DUST TO ADJACENT PROPERTIES, ACCORDING TO REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITY, INCLUDING OBTAINING THE APPROPRIATE PERMITS AND APPROVALS.
21. EROSION CONTROL MEASURES IN ADDITION TO THOSE INDICATED AS PART OF THIS PLAN MAY BE REQUIRED DUE TO UNFORESEEN CONDITIONS, IF THE MEASURES DO NOT FUNCTION AS INTENDED, OR IF THE AUTHORITIES HAVING JURISDICTION DETERMINE INDICATED MEASURES ARE INADEQUATE.
22. FILTER FENCE SHALL BE USED TO AID IN CONTAINING ANY SEDIMENT ON THE SITE DURING CONSTRUCTION. STABILIZED CONSTRUCTION ENTRANCES SHALL BE USED AT POINTS OF INGRESS AND EGRESS FOR CONSTRUCTION VEHICLES. STORM DRAIN INLET PROTECTION SHALL BE USED ON ALL STORM DRAIN STRUCTURES, INCLUDING CATCH BASINS AND DRYWELLS. THE CONTRACTOR SHALL KEEP THE AREAS ADJACENT TO THE SITE INCLUDING ROADWAYS AND PARKING LOTS FREE FROM DEBRIS. REFER TO THE EROSION AND SEDIMENT CONTROL MEASURE DETAILS FOR ADDITIONAL INFORMATION.
23. PROVIDE A DESIGNATED, POSTED CONCRETE WASHOUT AREA. THE CONCRETE WASHOUT SHALL NOT BE ALLOWED TO DRAIN OFF THE SITE OR INTO ANY EXISTING OR FUTURE STORM DRAINAGE FACILITIES. HARDENED CONCRETE WASHOUT SHALL BE BROKEN UP AND REMOVED FROM THE SITE.
24. LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORMWATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORMWATER DISCHARGES.

DEMOLITION NOTES

1. MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING DEMOLITION OPERATIONS. DO NOT INTERRUPT EXISTING UTILITIES SERVING ADJACENT OCCUPIED OR OPERATING FACILITIES UNLESS AUTHORIZED IN WRITING BY OWNER AND AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS ACCEPTABLE TO OWNER AND AUTHORITIES HAVING JURISDICTION.
2. COORDINATE DEMOLITION OPERATIONS AND ANY REQUIRED UTILITY RELOCATIONS WITH THE OWNER AND APPROPRIATE UTILITY PURVEYOR, INCLUDING REQUIREMENTS AND SCHEDULING.
3. COORDINATE EXTENT OF DEMOLITION WITH PROPOSED IMPROVEMENTS. CONTRACTOR SHALL REVIEW THE PROJECT LIMITS TO DETERMINE THE QUANTITY AND TYPE OF DEMOLITION WASTE MATERIAL AND DEBRIS TO BE INCLUDED IN THEIR BID. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING, AND RELOCATING IF NECESSARY, ANY ITEMS NOT OTHERWISE NOTED THAT CONFLICT WITH THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CONFLICTING ITEMS NOT SHOWN ON THE PLANS THAT MUST BE REMOVED OR RELOCATED. FAILURE TO NOTIFY THE ENGINEER DOES NOT RELIEVE THE CONTRACTOR OF COST RESPONSIBILITY FOR REMOVING REQUIRED ITEMS.
4. COMPLY WITH GOVERNING EPA NOTIFICATION REGULATIONS BEFORE BEGINNING DEMOLITION. COMPLY WITH HAULING AND DISPOSAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION.
5. IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB; IMMEDIATELY NOTIFY THE ARCHITECT/ENGINEER AND OWNER.
6. CONDUCT DEMOLITION ACTIVITIES AND DEBRIS REMOVAL OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, WALKWAYS, AND OTHER ADJACENT FACILITIES.
7. REMOVE OBSTRUCTIONS, TREES, SHRUBS, GRASS, AND OTHER VEGETATION TO PERMIT INSTALLATION OF NEW CONSTRUCTION. REMOVAL OF TREES AND SHRUBS WITHIN AREA OF NEW CONSTRUCTION SHALL INCLUDE DIGGING OUT STUMPS AND OBSTRUCTIONS AND GRUBBING ROOTS. REFER TO LANDSCAPE PLANS FOR TREE PROTECTION. TREE REMOVAL PROCEDURES SHALL PRESERVE HEALTH OF ADJACENT TREES.
8. AREAS DISTURBED OR DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE CONSTRUCTED OR RESTORED TO ORIGINAL CONDITIONS OR BETTER, TO THE SATISFACTION OF THE OWNER, AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR IS RESPONSIBLE FOR DOCUMENTING CONDITIONS PRIOR TO CONSTRUCTION ACTIVITIES AND ANY DAMAGE THAT MAY OCCUR.
9. REMOVE DEMOLITION WASTE MATERIALS AND DEBRIS FROM PROJECT SITE AND LEGALLY DISPOSE OF THEM IN AN EPA-APPROVED LANDFILL ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.

EARTHWORK & GRADING NOTES

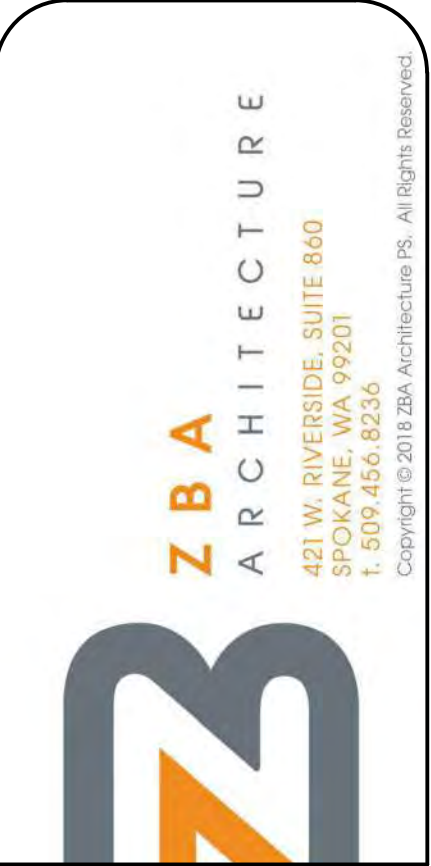
1. SITE PREPARATION, GRADING, EXCAVATION AND FILL REQUIREMENTS BELOW THE PROPOSED IMPROVEMENTS, EMBANKMENTS, AND UTILITY TRENCHING SHALL BE COMPLETED IN CONFORMANCE WITH ISPMC STANDARD SPECIFICATIONS AND THE GEOTECHNICAL ENGINEERING EVALUATION FOR THE SUBJECT SITE.
2. EXAMINE EXPOSED SUBGRADES AND BASE SURFACES FOR COMPLIANCE WITH REQUIREMENTS FOR DIMENSIONAL, GRADING, AND ELEVATION TOLERANCES. PREVENT SURFACE WATER AND GROUNDWATER FROM ENTERING EXCAVATIONS, FROM PONDING ON PREPARED SUBGRADES AND BASE SURFACES, AND FROM FLOODING PROJECT SITE AND SURROUNDING AREA. PROTECT SUBGRADES AND BASE SURFACES FROM SOFTENING, UNDERMINING, WASHOUT, DAMAGE BY RAIN OR WATER ACCUMULATION, AND AGAINST FREEZING TEMPERATURES AND FROST.
3. REFER TO ARCHITECTURAL DOCUMENTS FOR ADDITIONAL INFORMATION REGARDING ANY STEPS IN FINISH FLOOR ELEVATION AND EXTERIOR DOOR LOCATIONS. COORDINATE ARCHITECTURAL ELEVATIONS WITH SITE GRADING.
4. REFER TO LANDSCAPE DOCUMENTS FOR ADDITIONAL INFORMATION REGARDING BERM ELEVATIONS, LANDSCAPE GRADING, LANDSCAPE DRAINS, PLACEMENT OF TOPSOIL, AND COORDINATION BETWEEN LANDSCAPING AND STORMWATER MANAGEMENT IMPROVEMENTS.
5. SPOT ELEVATIONS ARE FOR FINISH GRADE UNLESS OTHERWISE NOTED.
6. UNLESS ELEVATIONS AND/OR CONTOURS ARE OTHERWISE SHOWN, NEW FINISH GRADE SURFACES SHALL BE PLACED TO ALLOW FOR POSITIVE DRAINAGE TO RUNOFF COLLECTION DEVICES OR FACILITIES. MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDINGS. IF FIELD GRADE ADJUSTMENTS ARE REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
7. GROUNDWATER OR UNANTICIPATED SUBSURFACE CONDITIONS SHALL BE REPORTED TO THE GEOTECHNICAL ENGINEER FOR ASSESSMENT AND RECOMMENDATIONS.
8. COMPACTION EFFORTS AND MASS GRADING SHALL BE MONITORED AND TESTED BY AN EXPERIENCED SOILS TECHNICIAN, UNDER THE SUPERVISION OF A LICENSED GEOTECHNICAL ENGINEER REPRESENTING THE OWNER.

PAVING NOTES

1. DO NOT APPLY PAVEMENT MATERIALS IF SUBGRADE IS WET OR EXCESSIVELY DAMP, OR IF RAIN IS IMMINENT OR EXPECTED BEFORE TIME REQUIRED FOR ADEQUATE CURE. SURFACE AND AIR TEMPERATURES SHALL CONFORM TO REQUIREMENTS OF ITD STANDARD SPECIFICATIONS.
2. COMPLY WITH ITD STANDARD SPECIFICATIONS FOR HOT MIX ASPHALT PAVEMENT.
3. WHERE NEW ASPHALT PAVEMENT JOINS EXISTING ASPHALT, THE EXISTING ASPHALT SHALL BE SAWCUT TO A NEAT, VERTICAL EDGE AND TACKED WITH ASPHALT EMULSION IN ACCORDANCE WITH ISPMC SPECIFICATIONS.
4. COMPLY WITH ITD STANDARD SPECIFICATIONS AND THE AMERICAN CONCRETE INSTITUTE (ACI) 301 REQUIREMENTS FOR MEASURING, MIXING, TRANSPORTING, AND PLACING CEMENT CONCRETE PAVEMENT.
5. APPLY PAVEMENT MARKING MATERIALS TO CLEAN, DRY PAVEMENT SURFACES ACCORDING TO ISPMC STANDARD SPECIFICATIONS. PAVEMENT MARKINGS SHALL COMPLY WITH THE MUTCD AND REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION.
6. CONSTRUCTION STAKING FOR CURB AND GUTTER, PAVEMENT GRADES, SIDEWALK GRADES, AND ANY OTHER VERTICAL AND/OR HORIZONTAL ALIGNMENT SHALL BE PROVIDED BY A SURVEYING OR ENGINEERING FIRM CAPABLE OF PERFORMING SUCH WORK.

UTILITY & DRAINAGE NOTES

1. DRAWING PLANS AND DETAILS INDICATE GENERAL LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITY AND STORM DRAIN PIPING. LOCATION AND ARRANGEMENT OF PIPING LAYOUT TAKE DESIGN CONSIDERATIONS INTO ACCOUNT. INSTALL PIPING AS INDICATED, TO EXTENT PRACTICAL. WHERE SPECIFIC INSTALLATION IS NOT INDICATED, FOLLOW PIPING MANUFACTURER'S WRITTEN INSTRUCTIONS AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
2. UTILITIES SHALL BE STUBBED FIVE (5) FEET OUTSIDE OF THE BUILDING. THE SITE CONTRACTOR SHALL COORDINATE CONTINUATION OF UTILITY SERVICES AND UTILITY CONNECTIONS TO THE BUILDING WITH THE BUILDING CONTRACTOR AND BUILDING PLANS. A PLUG SHALL BE INSTALLED AT THE END OF SERVICE LINES UNTIL SUCH TIME THAT SERVICE IS EXTENDED TO THE BUILDING FOR CONNECTION.
3. REFER TO ARCHITECTURAL DOCUMENTS FOR ADDITIONAL INFORMATION REGARDING ROOF DRAINS AND CANOPY DRAINS.
4. REFER TO ELECTRICAL PLANS FOR INFORMATION REGARDING SITE LIGHTING, POWER, AND COMMUNICATIONS. COORDINATE REQUIREMENTS AND SCHEDULING FOR POWER AND UTILITY INSTALLATIONS WITH UTILITY PURVEYOR, INCLUDING TRENCH EXCAVATION, BEDDING, AND BACKFILL REQUIREMENTS.
5. FOR EACH TYPE OF PIPE, USE JOINING MATERIALS RECOMMENDED BY PIPING SYSTEM MANUFACTURER, UNLESS OTHERWISE INDICATED.
6. CONNECT UTILITY PIPING TO EXISTING SYSTEM ACCORDING TO REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION. ARRANGE WITH THE GOVERNING REGULATORY AGENCY OR UTILITY COMPANY FOR TAP OF SIZE AND IN LOCATION INDICATED. COORDINATE REQUIREMENTS AND SCHEDULING WITH AUTHORITIES HAVING JURISDICTION.
7. COMPLY WITH THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 24 REQUIREMENTS FOR EXTERIOR FIRE SUPPRESSION SYSTEM PIPING MATERIALS AND INSTALLATION.
8. BURY PIPING WITH DEPTH OF COVER IN COMPLIANCE WITH REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION AND MANUFACTURER'S REQUIREMENTS. THE CONTRACTOR SHALL COORDINATE WITH THE AUTHORITIES HAVING JURISDICTION FOR ALL REQUIREMENTS AND TO CONFIRM THAT AN ADEQUATE DEPTH OF COVER IS MAINTAINED OVER THE UTILITIES, INCLUDING CLEARANCES BETWEEN THE VARIOUS UTILITIES.
9. INSTALL UNDERGROUND PIPING WITH RESTRAINED JOINTS AT HORIZONTAL AND VERTICAL CHANGES IN DIRECTION. RESTRAINTMENT SHALL COMPLY WITH THE REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION.
10. CONTRACTOR SHALL MAINTAIN A MINIMUM TEN (10) FEET OF HORIZONTAL SEPARATION BETWEEN WATER PIPE AND PIPE CARRYING NON-POTABLE WATER. AT CROSSINGS, PROVIDE A MINIMUM VERTICAL CLEARANCE OF 24 INCHES BETWEEN WATER PIPE (ABOVE) AND PIPE CARRYING NON-POTABLE WATER (BELOW). INSTALLATIONS FOR PIPE CARRYING NON-POTABLE WATER MAY BE INSTALLED AT A CLEARANCE LESS THAN THOSE STATED ABOVE IF THE NON-POTABLE LINE IS SLEEVED. THE SLEEVE PIPE SHALL BE ONE (1) SIZE LARGER THAN THE CONSTRUCTION PIPE. THE SLEEVE SHALL BE AT LEAST TWENTY (20) FEET IN LENGTH AND CENTERED ON THE CROSSING TO PROVIDE FOR A MINIMUM HORIZONTAL SEPARATION OF TEN (10) FEET EACH SIDE OF THE CROSSING, MEASURED PERPENDICULAR TO THE CROSSED LINE. EACH END OF THE SLEEVE SHALL BE SEALED WITH A FERNCO RUBBER COUPLER.
11. UTILITY PIPE AND CONDUITS SHALL BE INSTALLED WITH CONTINUOUS WARNING TAPE DIRECTLY OVER PIPING AT DEPTHS IN COMPLIANCE WITH THE REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION AND AT OUTSIDE EDGE OF UNDERGROUND STRUCTURES. USE DETECTABLE WARNING TAPE OVER NONFERROUS PIPING.
12. FIELD QUALITY CONTROL SHALL COMPLY WITH THE AUTHORITIES HAVING JURISDICTION. INSPECT, TEST, DISINFECT, AND CLEAN UTILITY LINES IN ACCORDANCE WITH REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION.



NO.	DATE	BY
REVISIONS		

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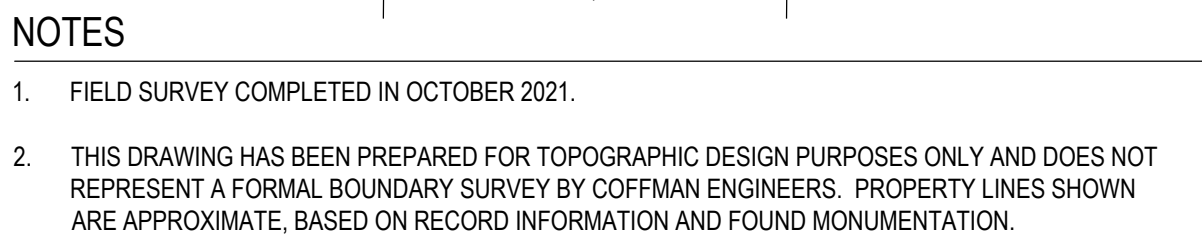
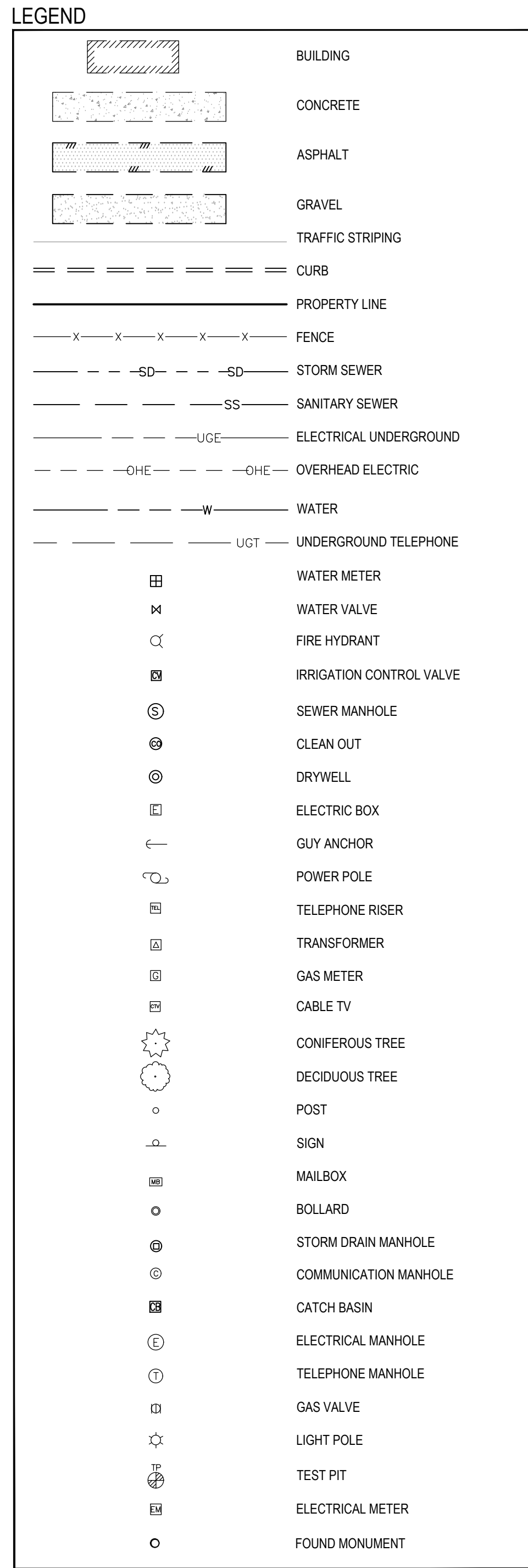
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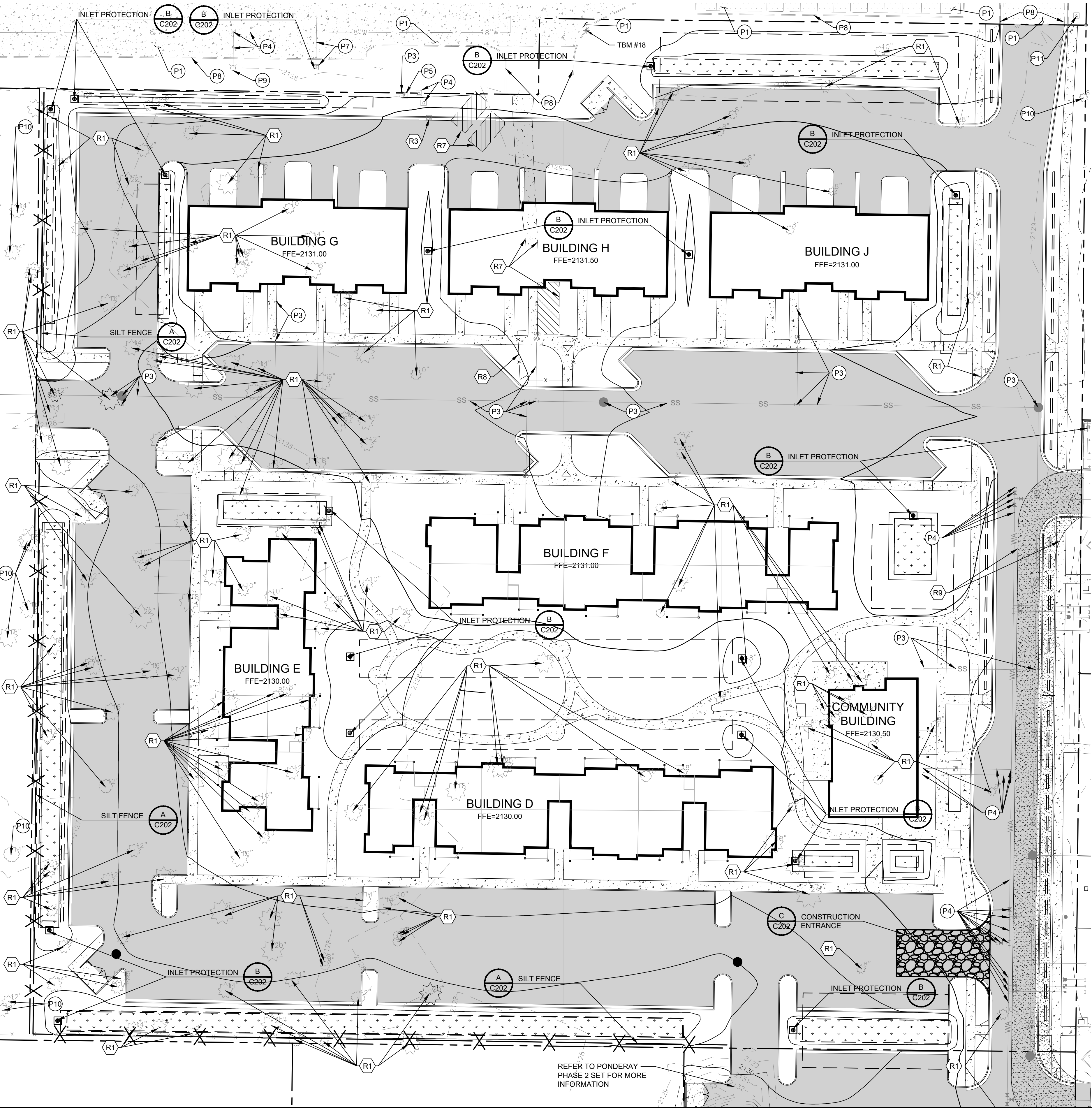
CIVIL GENERAL NOTES

PROJECT TITLE
**PONDERAY PLAZA APARTMENTS -
PHASE TWO**
PONDERAY, IDAHO
EASTMARK CAPITAL GROUP

SHEET TITLE	SEAL
PROJECT NO.	2134
DRAWN:	DLB
CHECKED:	CJH
DATE:	05/27/2022
DRAWING NO.	

C101





LEGEND

- 2129 ——— EXISTING CONTOUR
- 2129 ——— PROPOSED CONTOUR
- PROPERTY LINE
- X SILT FENCE
- [Symbol] STABILIZED CONSTRUCTION ENTRANCE
- [Symbol] CATCH BASIN
- [Symbol] BIO-INFILTRATION SWALE BOTTOM
- [Symbol] INFILTRATION GALLERY

TBM INFORMATION

POINT #	NORTHING	EASTING	GRID NORTHING	GRID EASTING	ELEVATION	DESCRIPTION
1	2421170.75	2432073.86	2421170.75	2432073.92	2128.60	SET X
2	2421207.88	2432552.58	2421207.88	2432552.58	2128.56	SET MAG
3	2421618.20	2432598.39	2421618.15	2432598.38	2128.90	SET MAG
*17	2421982.52	2431563.56	2421982.42	2431563.69	2129.64	SET X
*18	2421986.61	2431969.12	2421986.52	2431969.19	2130.11	SET X

*NOT SHOWN ON PLANS

BENCH MARK NOTE

CONTRACTOR SHALL PROTECT ALL EXISTING PROPERTY CORNERS AND BENCH MARKS. ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES SHALL BE REMEDIATED AT THE CONTRACTOR'S EXPENSE.

- NOTES**
- REFER TO SHEET C101 FOR CIVIL GENERAL NOTES.
 - REFER TO SHEET C202 FOR EROSION AND SEDIMENT CONTROL DETAILS.
 - DO NOT OVER COMPACT SOILS IN PROPOSED INFILTRATION AREAS. DO NOT STOCKPILE SOILS OR MATERIALS OR PARK EQUIPMENT IN THESE AREAS. DO NOT PROVIDE CONCRETE WASHOUT PITS IN THESE AREAS. AVOID DRIVING OR PARKING IN THESE AREAS DURING CONSTRUCTION.

- DEMOLITION NOTES**
- (R1) EXISTING TREE TO BE REMOVED.
 - (R2) EXISTING SIDEWALK TO BE REMOVED.
 - (R3) EXISTING UNDERGROUND COMMUNICATION MANHOLE AND ASSOCIATED TUBING TO BE REMOVED.
 - (R4) EXISTING TRANSFORMER TO BE REMOVED.
 - (R5) EXISTING TELEPHONE RISER TO BE REMOVED.
 - (R6) EXISTING CATCH BASIN TO BE REMOVED.
 - (R7) EXISTING RADIO TOWER, ASSOCIATED BUILDINGS, AND ASSOCIATED ACCESS ROAD TO BE REMOVED.
 - (R8) EXISTING FENCE TO BE REMOVED.
 - (R9) EXISTING GRAVEL ACCESS ROAD TO BE REMOVED.

- (P1) EXISTING ASPHALT AND/OR CONCRETE PAVEMENT TO REMAIN AND BE PROTECTED.
- (P2) EXISTING CONCRETE SIDEWALK TO REMAIN AND BE PROTECTED.
- (P3) EXISTING SEWER PIPE, BENDS, AND APPURTENANCES TO REMAIN AND BE PROTECTED.
- (P4) EXISTING WATER PIPE, BENDS, AND APPURTENANCES TO REMAIN AND BE PROTECTED.
- (P5) EXISTING OVERHEAD UTILITY LINE(S), POLE, AND GUY-LINES TO REMAIN AND BE PROTECTED.
- (P6) EXISTING LIGHT POLE TO REMAIN AND BE PROTECTED.
- (P7) EXISTING STORM DRAIN PIPE AND STRUCTURES TO REMAIN AND BE PROTECTED.
- (P8) EXISTING CONCRETE CURB AND/OR GUTTER TO REMAIN AND BE PROTECTED.
- (P9) EXISTING CONCRETE FIRE HYDRANT TO REMAIN AND BE PROTECTED.
- (P10) EXISTING TREE TO REMAIN AND BE PROTECTED.
- (P11) EXISTING ELECTRICAL TRANSFORMER TO REMAIN AND BE PROTECTED.

UTILITY STATEMENT

LOCATION OF EXISTING UNDERGROUND UTILITIES HAVE BEEN TAKEN FROM DRAWINGS AND FIELD LOCATES SUPPLIED BY THE APPROPRIATE UTILITY COMPANIES. UTILITY LOCATIONS SHOWN ON THIS DRAWING ARE APPROXIMATE ONLY. PRIOR TO BEGINNING ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EACH UTILITY.

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SHEET TITLE
SITE DEMOLITION AND EROSION & SEDIMENT CONTROL PLAN

PROJECT TITLE
PONDERAY PLAZA APARTMENTS - PHASE TWO
PONDERAY, IDAHO
EASTMARK CAPITAL GROUP

PROJECT NO. 2134

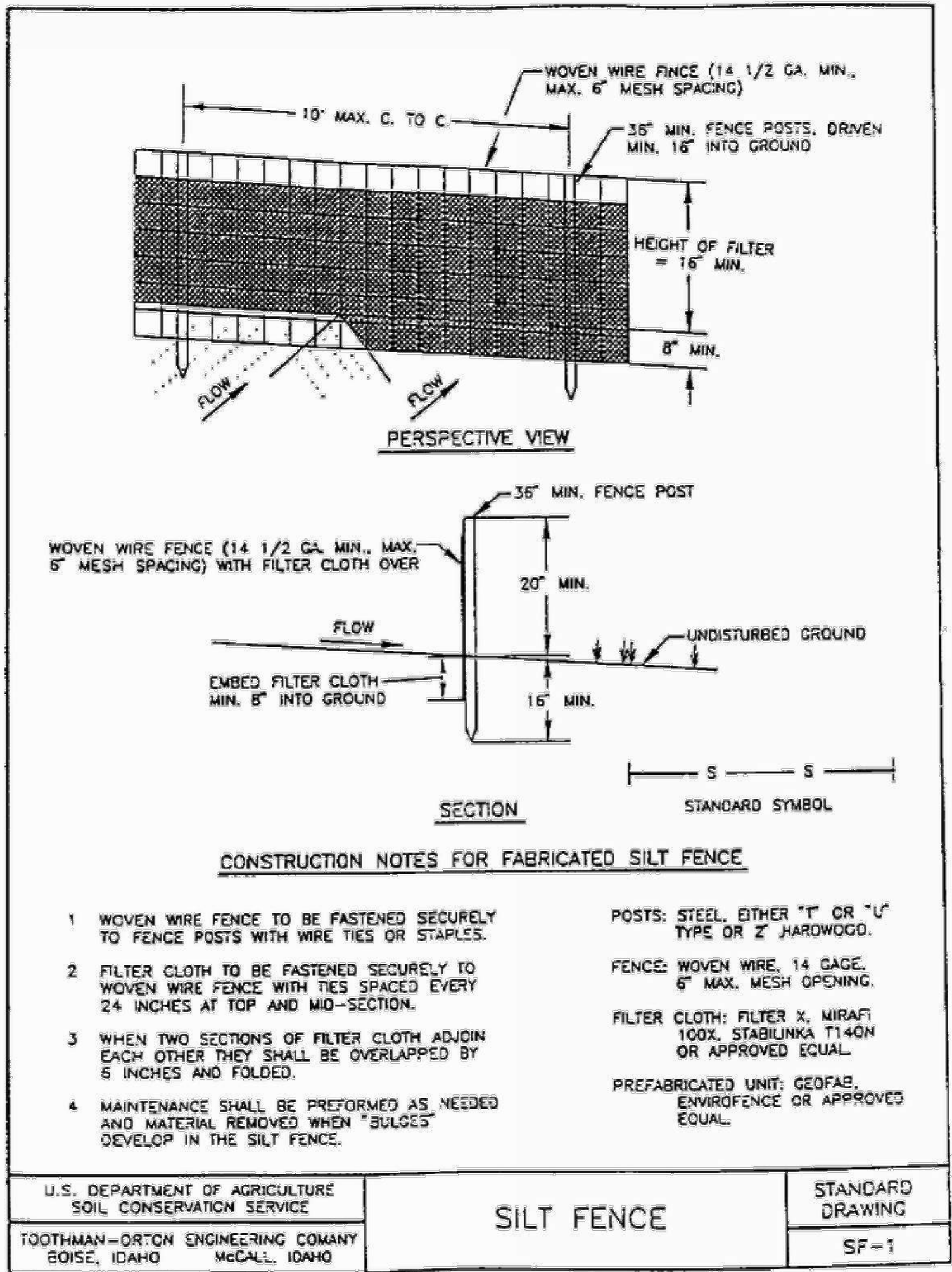
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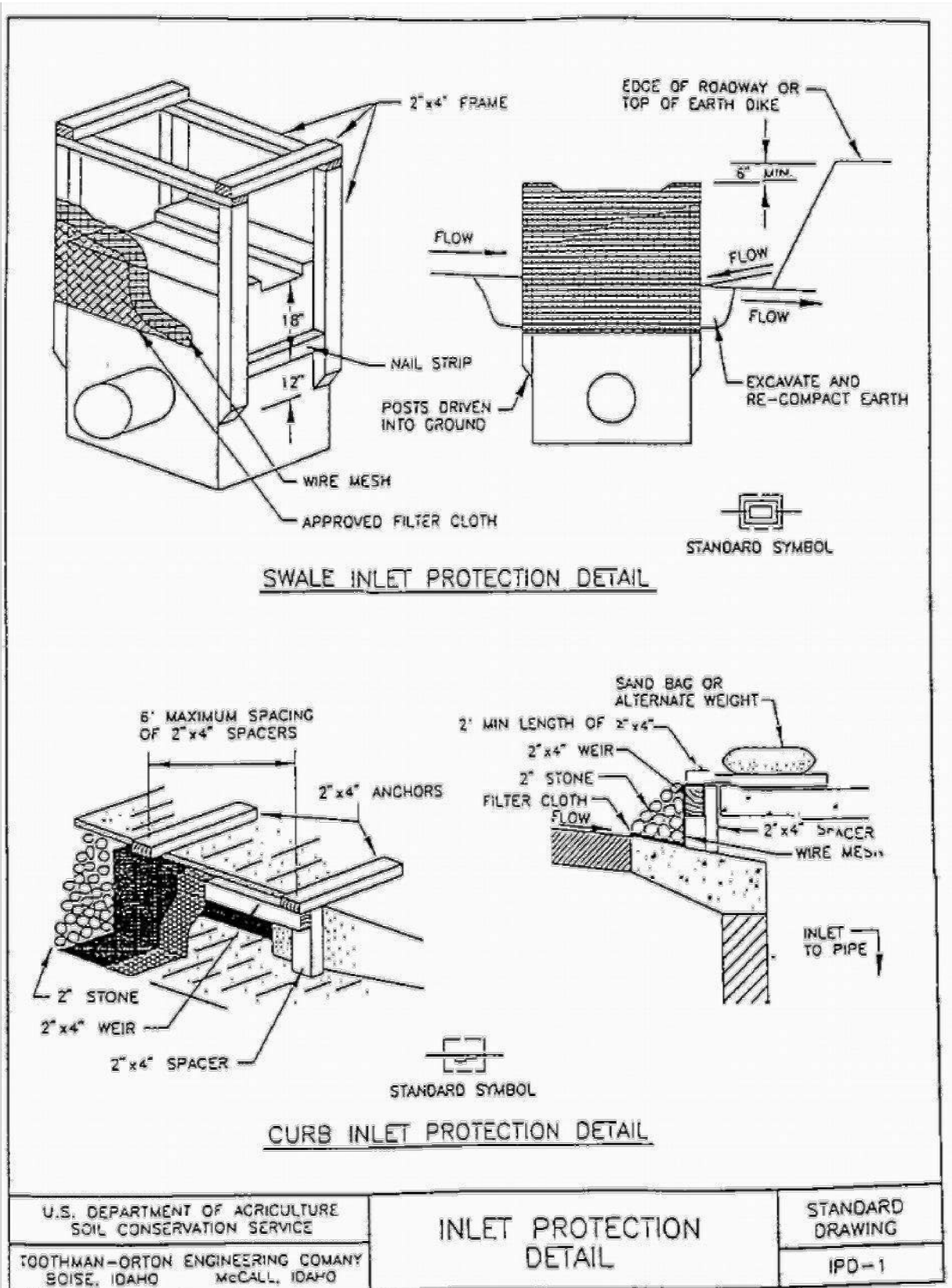
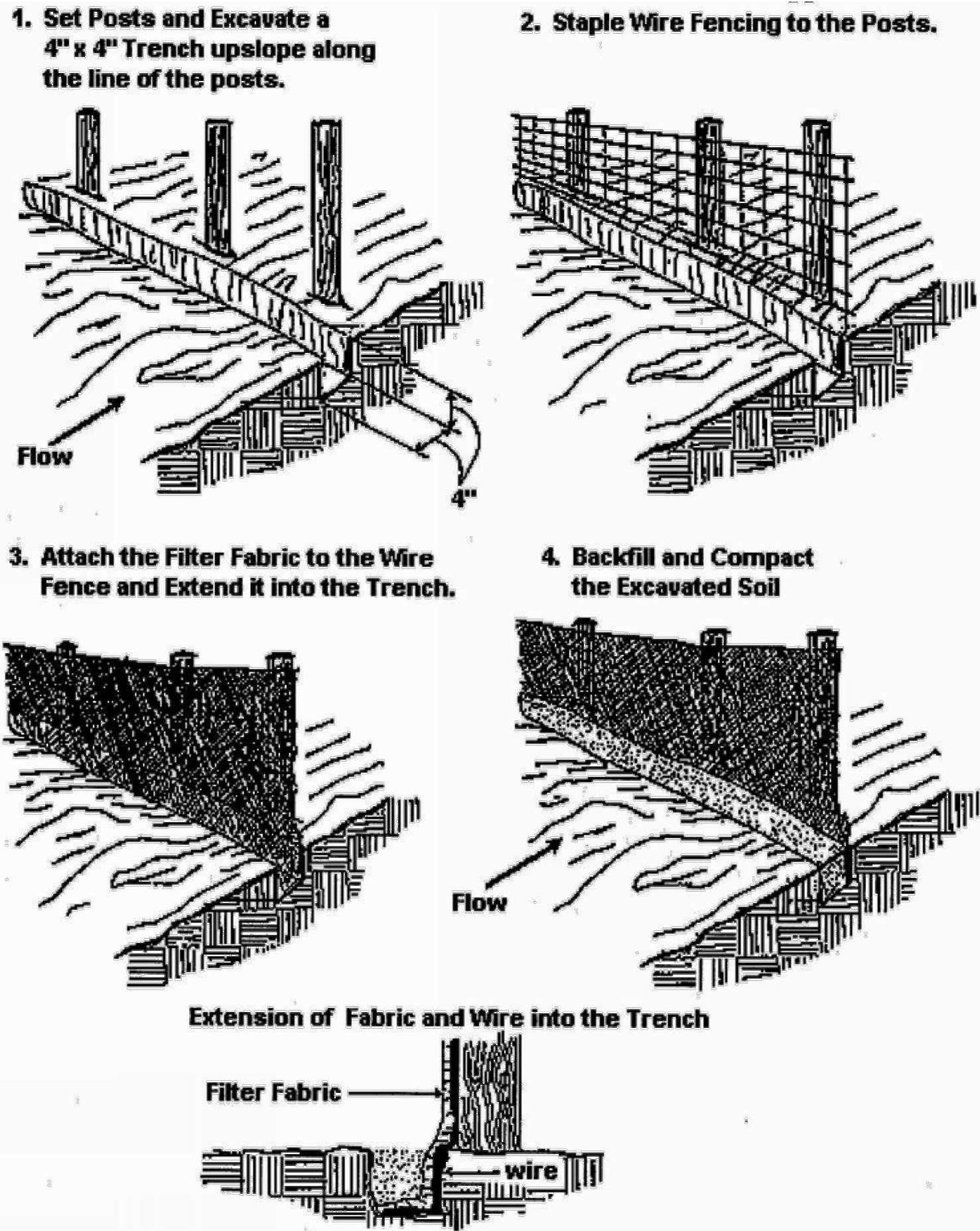
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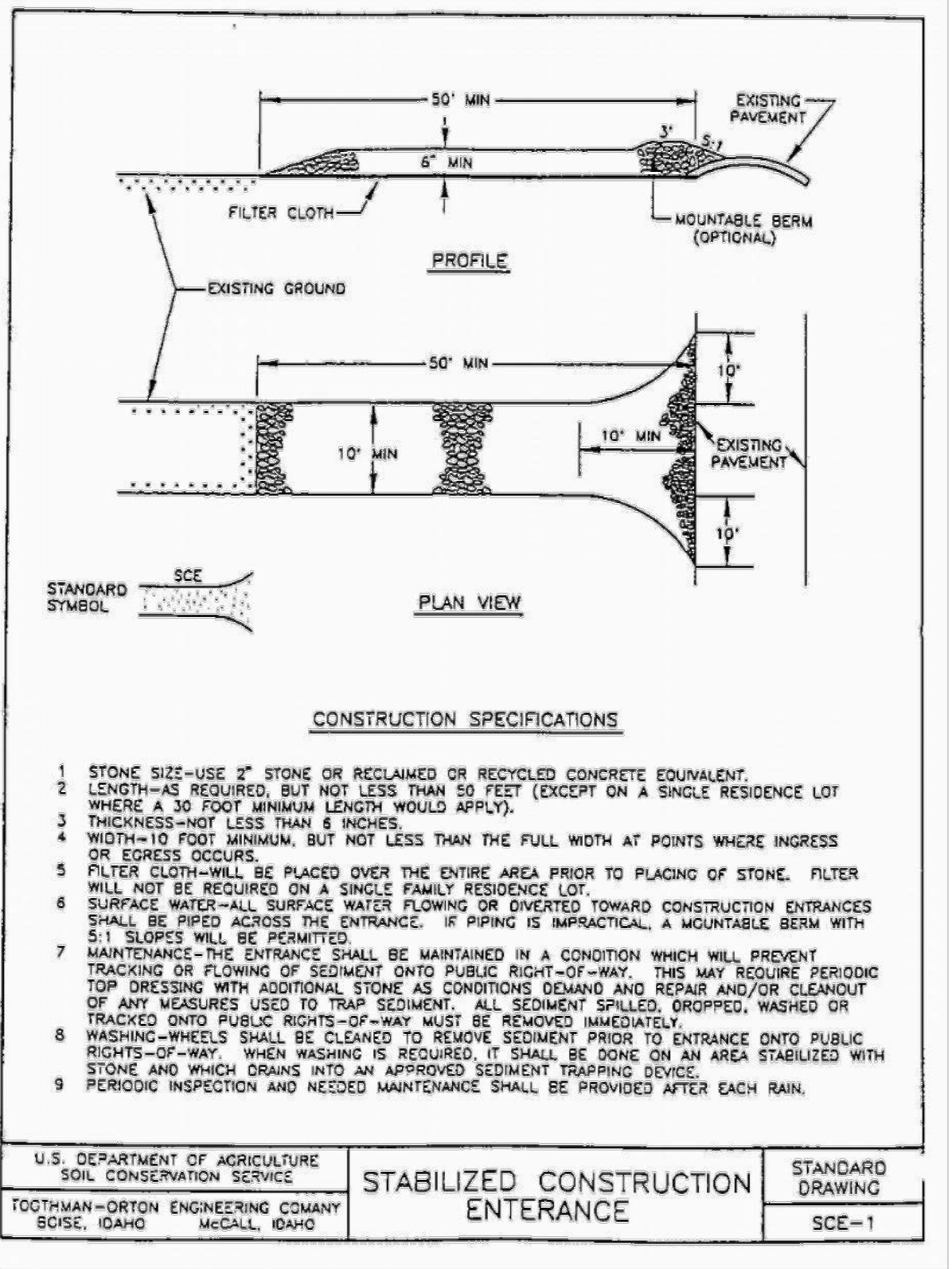
C201



A SILT FENCE
SCALE: NTS

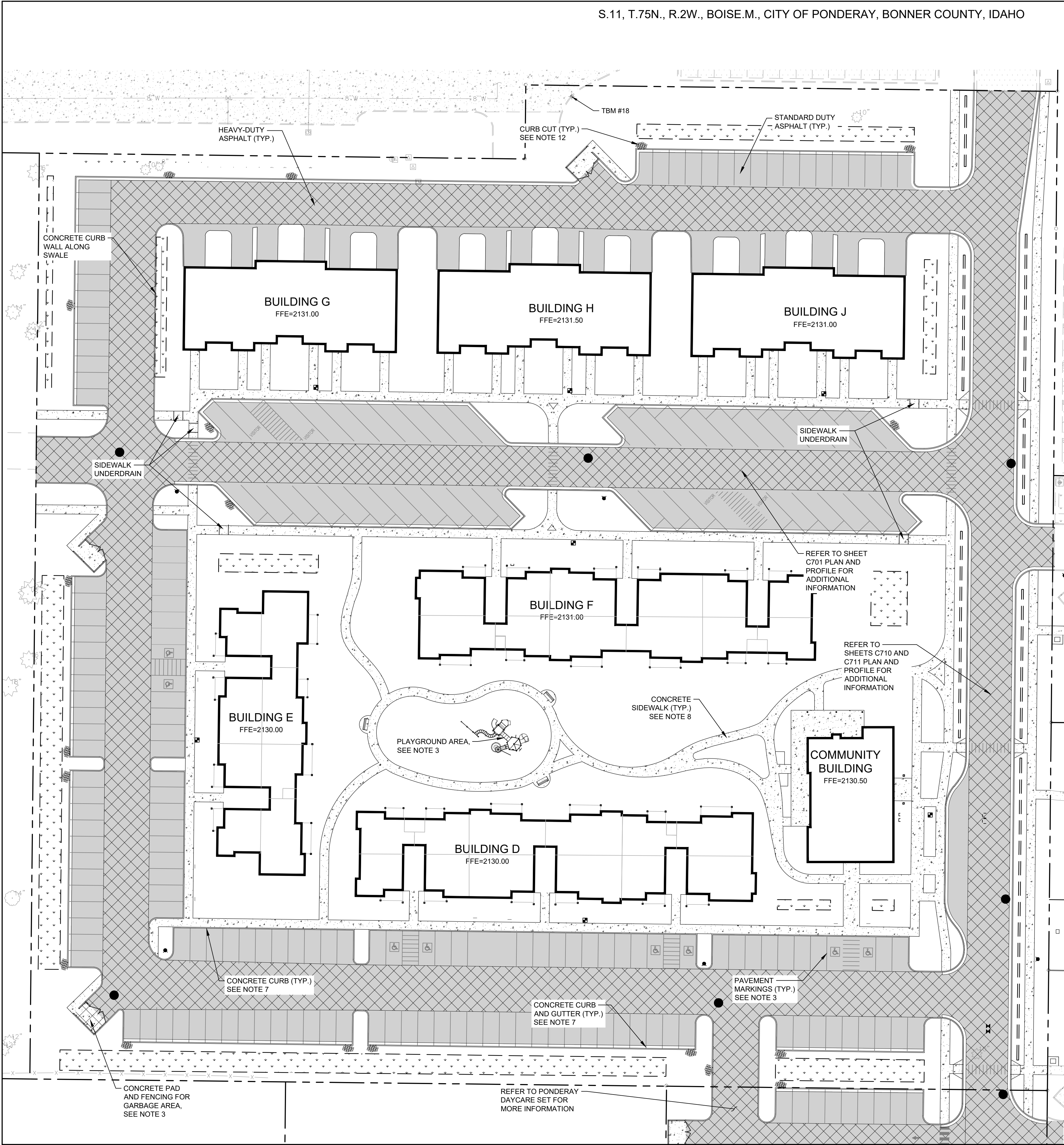


B INLET PROTECTION DETAIL
SCALE: NTS



C STABILIZED CONSTRUCTION ENTRANCE
SCALE: NTS

NO.	DATE	REVISIONS	BY
1	04/13/22	KPSD COMMENTS	CLJ



LEGEND

[Pattern]	HEAVY-DUTY ASPHALT PAVEMENT
[Pattern]	STANDARD-DUTY ASPHALT PAVEMENT
[Pattern]	SIDEWALK CONCRETE PAVEMENT
[Line]	PROPERTY LINE
[Line]	CURB
[Line]	BUILDING OUTLINE

TBM INFORMATION

POINT #	NORTHING	EASTING	GRID NORTHING	GRID EASTING	ELEVATION	DESCRIPTION
1	2421170.75	2432073.86	2421170.75	2432073.92	2128.60	SET X
2	2421207.88	2432552.58	2421207.88	2432552.58	2128.56	SET MAG
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*NOT SHOWN ON PLANS

BENCH MARK NOTE

CONTRACTOR SHALL PROTECT ALL EXISTING PROPERTY CORNERS AND BENCH MARKS. ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES SHALL BE REMEDIED AT THE CONTRACTOR'S EXPENSE.

- NOTES**
- REFER TO SHEET C101 FOR GENERAL NOTES.
 - REFER TO GRADING PLAN SHEET C400 FOR ADDITIONAL INFORMATION REGARDING GRADE INFORMATION.
 - REFER TO ARCHITECTURAL DOCUMENTS FOR ADDITIONAL INFORMATION REGARDING CONSTRUCTION OF STRUCTURES, ENCLOSURES, LANDING/PATIOS, PLAY AREA, FENCING, RAILINGS, GATES, PAVEMENT MARKINGS, WHEEL STOPS, CURB RAMPS, ADA AREAS, AND SIGNAGE.
 - REFER TO DRAINAGE PLAN SHEET C410 FOR STORM WATER MANAGEMENT IMPROVEMENTS.
 - SEE DETAIL 1, SHEET C801 FOR HEAVY-DUTY ASPHALT PAVEMENT SECTION.
 - SEE DETAIL 2, SHEET C801 FOR STANDARD-DUTY ASPHALT PAVEMENT SECTION.
 - CEMENT CONCRETE CURB AND GUTTER SHALL COMPLY WITH ISPMC STANDARD DRAWING NO. SD-704, TYPE II.
 - CONCRETE SIDEWALK SHALL COMPLY WITH ISPMC STANDARD DRAWING NO. SD-709.
 - NEW PAVED SURFACE SHALL MATCH ELEVATION OF EXISTING PAVED SURFACE AT SAWCUT LINE.
 - REFER TO GEOTECHNICAL INVESTIGATION ASSOCIATED WITH THE SUBJECT SITE FOR ADDITIONAL INFORMATION REGARDING SUBSURFACE CONDITIONS, SITE STRIPPING, EXCAVATION, GRADING, AND SUBGRADE PREPARATION (GEOTECHNICAL EVALUATION, PREPARED BY ALLWEST DATED FEBRUARY 2022).
 - CONCRETE DRIVEWAY WITH DETACHED SIDEWALK SHALL COMPLY WITH ISPMC STANDARD DRAWING NO. SD-710C.
 - PROVIDE 2-FOOT WIDE OPENING IN CURB WITH RIP RAP PAD AT THE BASE OF THE OPENING. RIP RAP PAD SHALL BE 2 FOOT X 2 FOOT X 12 INCHES THICK AND CONSIST OF FRACTURED BASALT ROCK, 4" - 6" DIAMETER.

UTILITY STATEMENT

LOCATION OF EXISTING UNDERGROUND UTILITIES HAVE BEEN TAKEN FROM DRAWINGS AND FIELD LOCATES SUPPLIED BY THE APPROPRIATE UTILITY COMPANIES. UTILITY LOCATIONS SHOWN ON THIS DRAWING ARE APPROXIMATE ONLY. PRIOR TO BEGINNING ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EACH UTILITY.

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OVERALL PAVING PLAN

PROJECT TITLE
PONDERAY PLAZA APARTMENTS - PHASE TWO
PONDERAY, IDAHO
EASTMARK CAPITAL GROUP

PROJECT NO. 2134

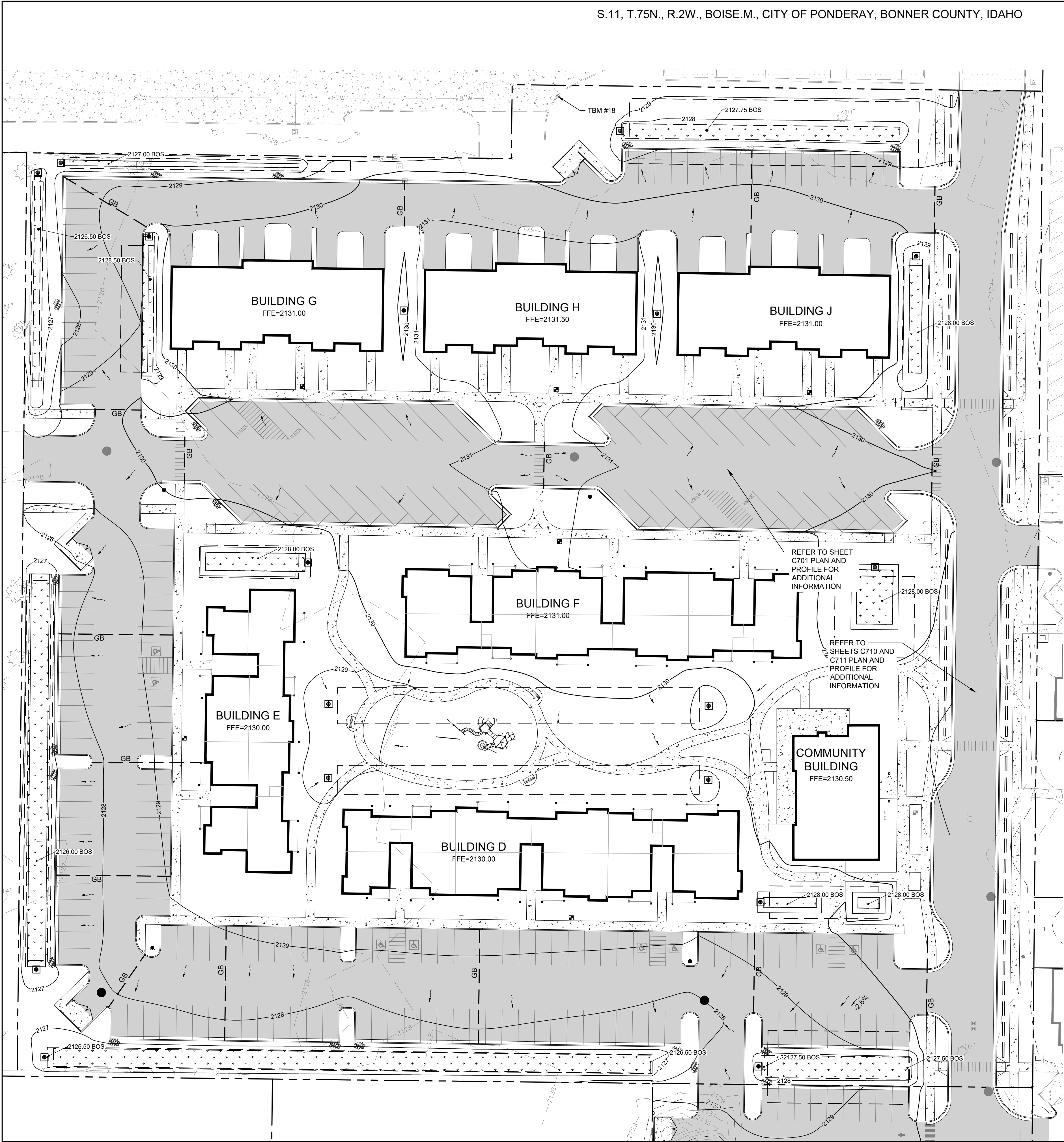
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DATE: 05/27/2022

DRAWING NO.

C300



LEGEND

[Symbol]	ASPHALT PAVEMENT
[Symbol]	CONCRETE PAVEMENT
[Symbol]	BIO-INFILTRATION SWALE BOTTOM
[Symbol]	INFILTRATION GALLERY
[Symbol]	EXISTING CONTOUR
[Symbol]	PROPOSED CONTOUR
[Symbol]	PROPERTY LINE
[Symbol]	CURB
[Symbol]	CATCH BASIN
[Symbol]	CLEANOUT
[Symbol]	SPOT ELEVATION
[Symbol]	GRADE BREAK
[Symbol]	FLOW ARROW

TBM INFORMATION

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BENCH MARK NOTE

CONTRACTOR SHALL PROTECT ALL EXISTING PROPERTY CORNERS AND BENCH MARKS. ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES SHALL BE REMEDIED AT THE CONTRACTOR'S EXPENSE.

- NOTES**
- REFER TO SHEET C101 FOR GENERAL NOTES.
 - REFER TO ARCHITECTURAL DOCUMENTS FOR ADDITIONAL INFORMATION REGARDING SITE FEATURES AND EXTERIOR DOOR LOCATIONS. COORDINATE ARCHITECTURAL ELEVATIONS WITH SITE GRADING.
 - REFER TO PAVING PLAN C300 FOR ADDITIONAL INFORMATION REGARDING PAVING AND DRIVEWAY APPROACHES.
 - REFER TO DRAINAGE PLAN SHEET C410 FOR STORM WATER MANAGEMENT IMPROVEMENTS.
 - TRANSITION FROM VERTICAL CURB TO FLUSH CURB CONDITION. CURB TERMINUS SHALL COMPLY WITH ISWPC STANDARD DRAWING NO. SD-707.
 - NEW PAVED SURFACE SHALL MATCH ELEVATION OF EXISTING PAVED SURFACE AT SAWCUT LINE. LOCATION OF SAWCUT LINE IS APPROXIMATE.
 - CONTOURS SHOWN ARE 1-FOOT CONTOURS UNLESS OTHERWISE NOTED.
 - REFER TO THE GEOTECHNICAL INVESTIGATION ASSOCIATED WITH THE SUBJECT SITE FOR ADDITIONAL INFORMATION REGARDING SUBSURFACE CONDITIONS, SITE STRIPPING, EXCAVATION, GRADING, AND SUBGRADE PREPARATION (GEOTECHNICAL EVALUATION, PREPARED BY ALLWEST, DATED FEBRUARY 2022), INCLUDING ALL SUPPLEMENTAL REPORTS AND ADDENDA.
 - EXISTING VEGETATION, LARGE ROOTS, CONSTRUCTION DEBRIS, TRASH, ABANDONED UNDERGROUND UTILITIES AND TOPSOIL SHALL BE EXCAVATED FROM BELOW THE BUILDING, STRUCTURAL FILL AREAS, AND PAVED AREAS.
 - AFTER SITE CLEARING AND STRIPPING IS COMPLETE, NATIVE SOILS A MINIMUM OF 24 INCHES BELOW BOTTOM OF FOOTING GRADE SHALL BE OVER-EXCAVATED TO OUTSIDE THE BUILDING FOOTPRINT AS SHOWN IN THE GEOTECH REPORT. THE NATIVE SOIL EXPOSED AT WORKING SUBGRADE SHALL BE COMPACTED TO A NON-YIELDING CONDITION AND SHALL BE MOISTURE CONDITIONED TO WITHIN TWO PERCENTAGE POINTS OF THE OPTIMUM MOISTURE CONTENT FOR COMPACTION.
 - FILL SHOULD BE PLACED IN LIFT THICKNESSES APPROPRIATE FOR THE COMPACTION EQUIPMENT USED. TYPICALLY, EIGHT-INCH LOOSE LIFTS ARE APPROPRIATE OF TYPICAL RUBBER TIRE AND STEEL DRUM COMPACTION EQUIPMENT. LIFT THICKNESSES SHOULD BE REDUCED TO FOUR INCHES FOR HAND OPERATED COMPACTION EQUIPMENT. FILL SHOULD BE MOISTURE CONDITIONED TO WITHIN TWO PERCENTAGE POINTS OF THE OPTIMUM MOISTURE CONTENT PRIOR TO PLACEMENT TO FACILITATE COMPACTION.
 - THE ON-SITE SOILS ARE UNSUITABLE FOR RE-USE AS STRUCTURAL FILL.
 - THE CONTRACTOR SHALL PROVIDE SPECIAL ATTENTION TO COMPACTION EFFORTS AROUND UTILITY STRUCTURES (MANHOLES, VAULTS, CATCH BASINS, ETC.). BACKFILL SHALL BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 1557 (MODIFIED PROCTOR).

UTILITY STATEMENT

LOCATION OF EXISTING UNDERGROUND UTILITIES HAVE BEEN TAKEN FROM DRAWINGS AND FIELD LOCATES SUPPLIED BY THE APPROPRIATE UTILITY COMPANIES. UTILITY LOCATIONS SHOWN ON THIS DRAWING ARE APPROXIMATE ONLY. PRIOR TO BEGINNING ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EACH UTILITY.

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OVERALL GRADING PLAN

PROJECT TITLE
PONDERAY PLAZA APARTMENTS -
PHASE TWO
PONDERAY, IDAHO
EASTMARK CAPITAL GROUP

PROJECT NO. 2134

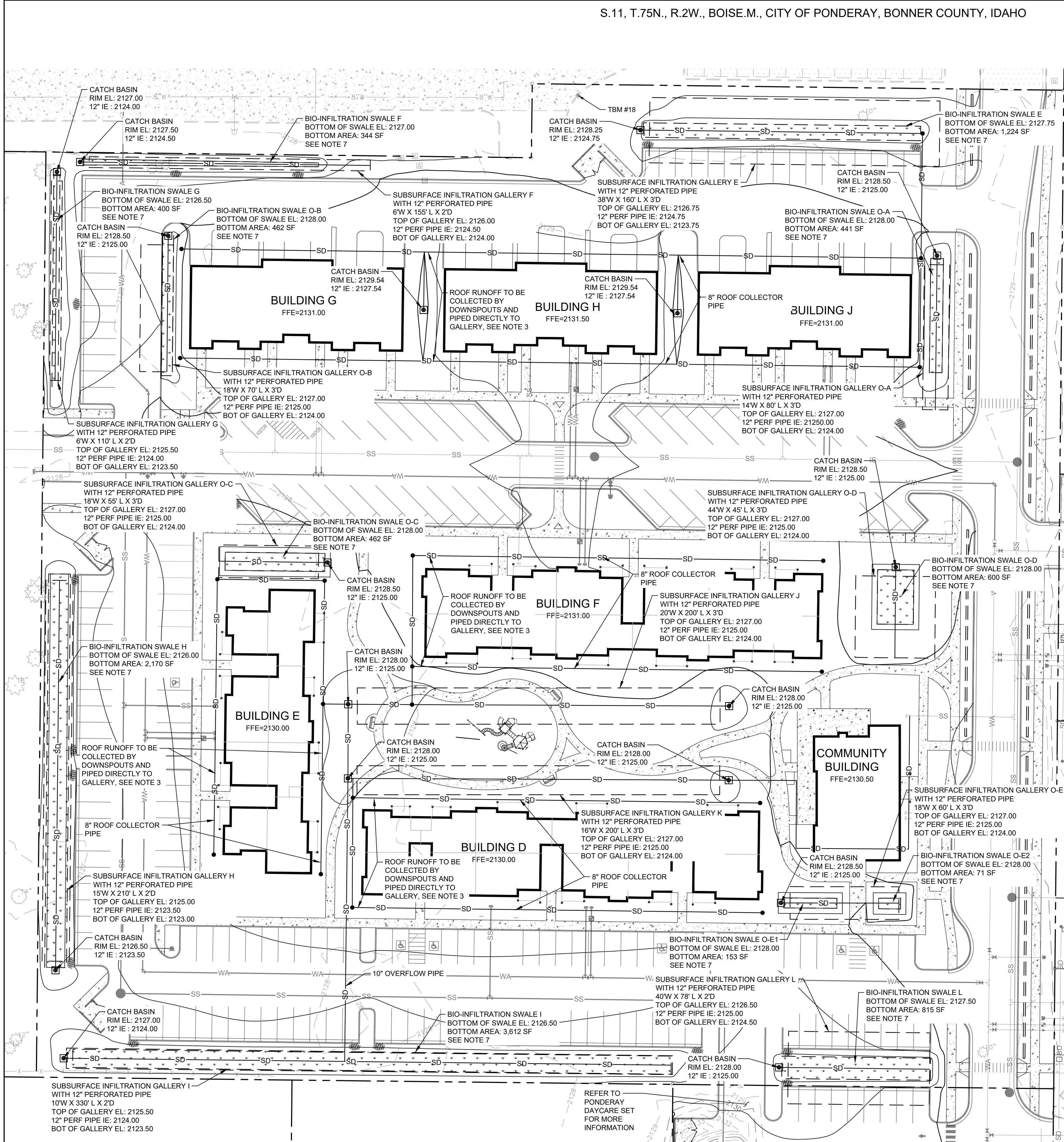
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DATE: 05/27/2022

DRAWING NO.

C400



LEGEND

[Symbol]	ASPHALT PAVEMENT
[Symbol]	CONCRETE PAVEMENT
[Symbol]	BIO-INFILTRATION SWALE BOTTOM
[Symbol]	INFILTRATION GALLERY
[Symbol]	EXISTING CONTOUR
[Symbol]	PROPOSED CONTOUR
[Symbol]	PROPERTY LINE
[Symbol]	CURB
[Symbol]	STORM PIPE
[Symbol]	CATCH BASIN
[Symbol]	CLEANOUT

TBM INFORMATION

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*17	2421982.52	2431563.56	2421982.42	2431563.69	2129.64	SET X
*18	2421986.61	2431969.12	2421986.52	2431969.19	2130.11	SET X

*NOT SHOWN ON PLANS

BENCH MARK NOTE

CONTRACTOR SHALL PROTECT ALL EXISTING PROPERTY CORNERS AND BENCH MARKS. ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES SHALL BE REMEDIATED AT THE CONTRACTOR'S EXPENSE.

- NOTES**
- REFER TO SHEET C101 FOR GENERAL NOTES.
 - REFER TO GRADING PLAN C401 FOR ADDITIONAL INFORMATION REGARDING SITE GRADING.
 - REFER TO ARCHITECTURAL DOCUMENTS FOR ADDITIONAL INFORMATION REGARDING ROOF DRAIN AND DOWNSPOUT LOCATIONS. ROOF DRAIN DOWNSPOUTS SHALL BE CONNECTED TO ROOF LATERAL AT A MINIMUM 1% PIPE SLOPE. DOWNSPOUT CONNECTION SHALL COMPLY WITH DETAIL 3, SHEET C601.
 - STORM DRAIN PIPE SHALL BE HIGH DENSITY POLYETHYLENE (HDPE), TYPE S, WITH SMOOTH WATERWAY FOR COUPLING JOINTS. AASHTO M 252M FOR PIPES WITH DIAMETERS OF 10 INCHES AND SMALLER AND AASHTO M 294M FOR PIPES WITH DIAMETERS BETWEEN 12 INCHES TO 48 INCHES.
 - STORM DRAIN PIPE TRENCHING, BEDDING, AND BACKFILL SHALL COMPLY WITH ISPPWC, SECTION 306, AND STANDARD DRAWINGS SD-301 AND SD-302.
 - STORM CLEANOUT SHALL COMPLY WITH ISPPWC STANDARD DRAWING NO. SD-506, SIMILAR.
 - BIOINFILTRATION SWALE SHALL COMPLY WITH BMP 10, PER 2020 IDAHO CATALOG OF STORM WATER BEST MANAGEMENT PRACTICES. SEE DETAIL 4, SHEET C601 FOR ADDITIONAL INFORMATION.
 - TYPE 1 CATCH BASIN AND GRATE SHALL COMPLY WITH ISPPWC STANDARD DRAWING NO. SD-601.
 - SUBSURFACE INFILTRATION GALLERY SHALL COMPLY WITH DETAIL 5, SHEET C601.
 - PROVIDE 2-FOOT WIDE OPENING IN CURB/RETAINING WALL WITH RIP RAP PAD AT THE BASE OF THE WALL. RIP RAP PAD SHALL BE 2 FOOT X 2 FOOT X 12 INCHES THICK AND CONSIST OF FRACTURED BASALT ROCK, 4" - 6" DIAMETER.
 - CONNECT EXISTING STORM PIPE TO CATCH BASIN. MAINTAIN EXISTING ELEVATIONS AND GRADES OF EXISTING PIPE. CONFIRM ELEVATION OF CATCH BASIN WITH EXISTING DITCH. MAINTAIN EXISTING DRAINAGE PATTERNS.

UTILITY STATEMENT

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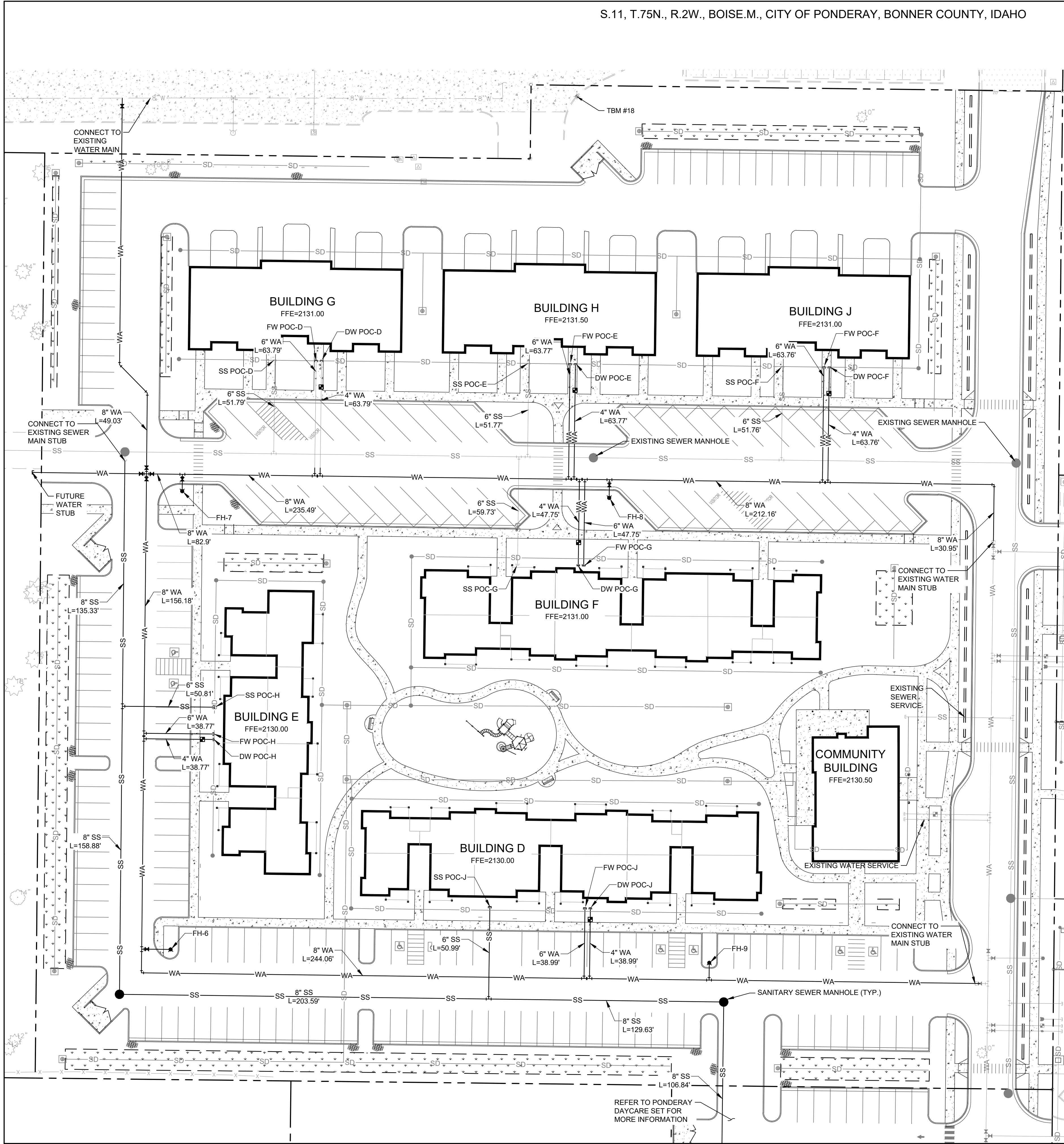
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OVERALL DRAINAGE PLAN

PROJECT TITLE
PONDERAY PLAZA APARTMENTS - PHASE TWO
PONDERAY, IDAHO
EASTMARK CAPITAL GROUP

PROJECT NO. 2134
DRAWN: DLS
CHECKED: CJH
DATE: 05/21/2022
DRAWING NO.

C410



LEGEND

---	PROPERTY LINE
---	CURB
SS	SANITARY SEWER PIPE
WA	WATER PIPE
●	SANITARY SEWER MANHOLE
⊕	WATER VALVE
⊗	POST INDICATOR VALVE
⊕	FIRE HYDRANT
⊕	FIRE DEPARTMENT CONNECTION
⊕	WATER METER

TBM INFORMATION

POINT #	NORTHING	EASTING	GRID NORTHING	GRID EASTING	ELEVATION	DESCRIPTION
1	2421170.75	2432073.86	2421170.75	2432073.92	2128.60	SET X
2	2421207.88	2432552.58	2421207.88	2432552.58	2128.56	SET MAG
3	2421618.20	2432598.39	2421618.15	2432598.38	2128.90	SET MAG
*17	2421982.52	2431563.56	2421982.42	2431563.69	2129.64	SET X
*18	2421986.61	2431969.12	2421986.52	2431969.19	2130.11	SET X

*NOT SHOWN ON PLANS

BENCH MARK NOTE

CONTRACTOR SHALL PROTECT ALL EXISTING PROPERTY CORNERS AND BENCH MARKS. ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES SHALL BE REMEDIATED AT THE CONTRACTOR'S EXPENSE.

NOTES

- REFER TO SHEET C101 FOR GENERAL NOTES.
- REFER TO BUILDING PLANS FOR CONTINUATION OF WATER AND SANITARY SEWER SERVICES. THE BUILDING PLUMBING AND FIRE SPRINKLER SERVICES WILL BE DESIGNED BY A DESIGN-BUILD CONTRACTOR. THE CONTRACTOR SHALL VERIFY AND DETERMINE IF THERE IS ENOUGH WATER PRESSURE FOR THE BUILDING DOMESTIC WATER SERVICE AND FIRE SPRINKLER SYSTEM OR IF A BOOSTER PUMP IS NEEDED. THE PLUMBING CONTRACTOR SHALL CONFIRM THE SEWER SERVICE INVERT ELEVATIONS WILL WORK FOR THEIR BUILDING PLUMBING PLAN.
- SANITARY SEWER SERVICE CONNECTIONS SHALL COMPLY WITH KOOTENAI-PONDERAY SEWER DISTRICT STANDARDS AND SPECIFICATIONS. ALL SEWER CONSTRUCTION SHALL COMPLY WITH IDAHO STANDARD FOR PUBLIC WORKS CONSTRUCTION, "ISPPW" DIVISION 500, 10-STATE STANDARDS, AND KOOTENAI-PONDERAY SEWER DISTRICT STANDARDS.
- CONNECT NEW SANITARY SEWER SERVICE MAIN TO EXISTING SEWER MANHOLE. CONTRACTOR SHALL COORDINATE SCHEDULING AND INSPECTION REQUIREMENTS WITH THE KOOTENAI-PONDERAY SEWER DISTRICT. CALLS FOR INSPECTION SHALL BE MADE AT LEAST 24 HOURS IN ADVANCE.
- SANITARY SIDE SEWER SERVICES SHALL BE SCHEDULE 40 ABS. GREEN COLORED 12 GAUGE SOLID CORE COPPER WIRE IS TO BE INSTALLED ON THE LATERAL. MAINTAIN AT LEAST 2 FEET OF COVER IN ALL PUBLIC WAYS OR PAVED SURFACE AREAS AND NOT LESS THAN 1.5 FEET OF COVER IN ALL OTHER AREAS OVER SANITARY SEWER LINES.
- SANITARY SEWER CLEANOUT SHALL COMPLY WITH KOOTENAI-PONDERAY SEWER DISTRICT REQUIREMENTS. ALL CLEAN OUT MATERIAL SHALL BE SCHEDULE 40 ABS AND PROTECTED WITH A BROOKS TRAFFIC RATED PROTECTIVE BOX.
- PIPE BEDDING FOR SEWER SERVICES SHALL COMPLY WITH KOOTENAI-PONDERAY SEWER DISTRICT STANDARDS. NATIVE SOIL AND SAND ARE NOT ACCEPTABLE. PIPE BEDDING SHALL BE CRUSHED AGGREGATE WITH MINIMAL FINES.
- SEWER MANHOLES SHALL COMPLY WITH KOOTENAI-PONDERAY SEWER DISTRICT STANDARDS. MANHOLES SHALL HAVE JOINT AND RISER RINGS SEALED WITH ACCEPTABLE SEALING METHOD; SUCH AS EXTERNAL JOINT WRAP M-860 SUPPLIED BY J-K POLYSOURCE OR EQUIVALENT. HYDRAULIC CEMENT MUST BE TYPE SPECIFICALLY INTENDED FOR MANHOLE JOINT SEALING. MAXIMUM 12 INCHES OF RISER RINGS ALLOWED IN MANHOLES.
- COMPLY WITH NFPA 24 FOR FIRE SUPPRESSION SYSTEM PIPING MATERIALS AND INSTALLATION.
- REFER TO LANDSCAPE AND IRRIGATION PLANS FOR CONTINUATION OF IRRIGATION SERVICE.
- COORDINATE CONNECTION TO EXISTING WATER MAIN WITH CITY OF SANDPOINT WATER DEPARTMENT. LIVE MAIN TAPS SHALL BE BY THE CITY OF SANDPOINT WATER DEPARTMENT AT DEVELOPER'S EXPENSE. THE WATER DEPARTMENT SHALL BE NOTIFIED 72 HOURS IN ADVANCE OF TAP.
- FIRE HYDRANT SHALL BE WATEROUS OR MUELLER MANUFACTURER AND COMPLY WITH CITY OF SANDPOINT WATER DEPARTMENT. HYDRANT SHALL BE YELLOW PAINTED AND INSTALLED WITH SNOW SPRING STEEL MARKER FLAG.
- WATER MAIN, MINIMUM 8 INCHES IN DIAMETER SHALL BE PVC C-900 OR DUCTILE IRON CLASS 150. WATER MAIN 12 INCHES AND OVER IN DIAMETER SHALL BE APPROVED THROUGH THE CITY OF SANDPOINT PUBLIC WORKS DIRECTOR PRIOR TO INSTALLATION. ALL WATER MAINS SHALL BE CONSTRUCTED WITH THE TOP OF PIPE 4.5 FEET BELOW FINISH GRADE.
- CONTRACTOR IS RESPONSIBLE FOR ALL TESTING PRIOR TO ACCEPTANCE OF WATER MAINS BY THE CITY. TESTING INCLUDES CHLORINATION, BACTERIA, AND PRESSURE TESTING. ALL TEST RESULTS SHALL BE SUBMITTED TO AND APPROVED BY THE CITY PRIOR TO ACCEPTANCE BY THE CITY. PRESSURE TESTING SHALL COMPLY WITH SECTION 401 (3.6) OF ISPPW CURRENT EDITION
- TRACING WIRE 12 GAUGE SHALL BE INSTALLED ATOP ALL WATER MAINS AND SERVICE LINES AND SHALL BE BROUGHT TO THE SURFACE AT EACH MAINLINE, FIRE HYDRANT, WATER SERVICE CURB BOX, AND INSIDE EACH VALVE BOX.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS (2 SETS OF PLANS) IN PAPER AND ELECTRONIC FORMAT (MEETING REQUIREMENTS OF GIS COORDINATOR - 255-1877) PRIOR TO WATER SYSTEM ACCEPTANCE BY THE CITY.
- CONCRETE CAST IN PLACE THRUST BLOCKING SHALL BE INSTALLED AT ALL CHANGES OF DIRECTION OF ALL WATER MAINS AND SERVICES LARGER THAN 2" IN DIAMETER.
- BRICKS SHALL BE PLACED BENEATH CORPORATION AND CURB STOP. CURB BOX SHALL BE BROOKS 250 SERIES - FULL LENGTH, WITH CAST IRON FLIP-TOP LID CUT OFF ASS DIRECTED BY THE PUBLIC WORKS INSPECTOR. CURB STOP DIRECTION SHALL BE DETERMINED BY THE PUBLIC WORKS INSPECTOR.
- WATER METER SHALL BE BADGER, PROVIDED AND INSTALLED BY THE CITY OF SANDPOINT WATER DEPARTMENT. DUAL CHECK VALVE ASSEMBLY REQUIRED. COORDINATE DIRECTLY WITH THE CITY OF SANDPOINT WATER DEPARTMENT FOR PLACEMENT AND INSTALLATION SCHEDULE AND REQUIREMENTS
- WATER SERVICE PIPING SHALL BE IRON PIPE SIZE (IPS) POLY PIPE 200 PSI; MEETING AWWA C901 AND BEARING NSF STAMP FOR POTABLE WATER PIPE. SOLVENT WELDS ARE NOT ACCEPTABLE PER CITY OF SANDPOINT WATER DEPARTMENT REQUIREMENTS.
- FIRE DEPARTMENT CONNECTION SHALL COMPLY WITH DETAIL 10, SHEET C802.
- POST INDICATOR VALVE SHALL COMPLY WITH CITY OF PONDERAY AND FIRE DEPARTMENT REQUIREMENTS.
- EXISTING SEWER MAIN SHOWN IS BASED ON AS-BUILT INFORMATION. CONTRACTOR SHALL FIELD VERIFY LOCATION AND ELEVATION PRIOR TO CONSTRUCTION. NOTIFY THE ENGINEER IMMEDIATELY IF EXISTING SEWER MAIN VARIES FROM DESIGN SHOWN.

UTILITY STATEMENT
LOCATION OF EXISTING UNDERGROUND UTILITIES HAVE BEEN TAKEN FROM DRAWINGS AND FIELD LOCATES SUPPLIED BY THE APPROPRIATE UTILITY COMPANIES. UTILITY LOCATIONS SHOWN ON THIS DRAWING ARE APPROXIMATE ONLY. PRIOR TO BEGINNING ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EACH UTILITY.



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OVERALL UTILITY PLAN

PROJECT TITLE
Ponderay Plaza Apartments -
Phase Two

SHEET TITLE
SEAL

PROJECT NO. 2134

DRAWN: DLS

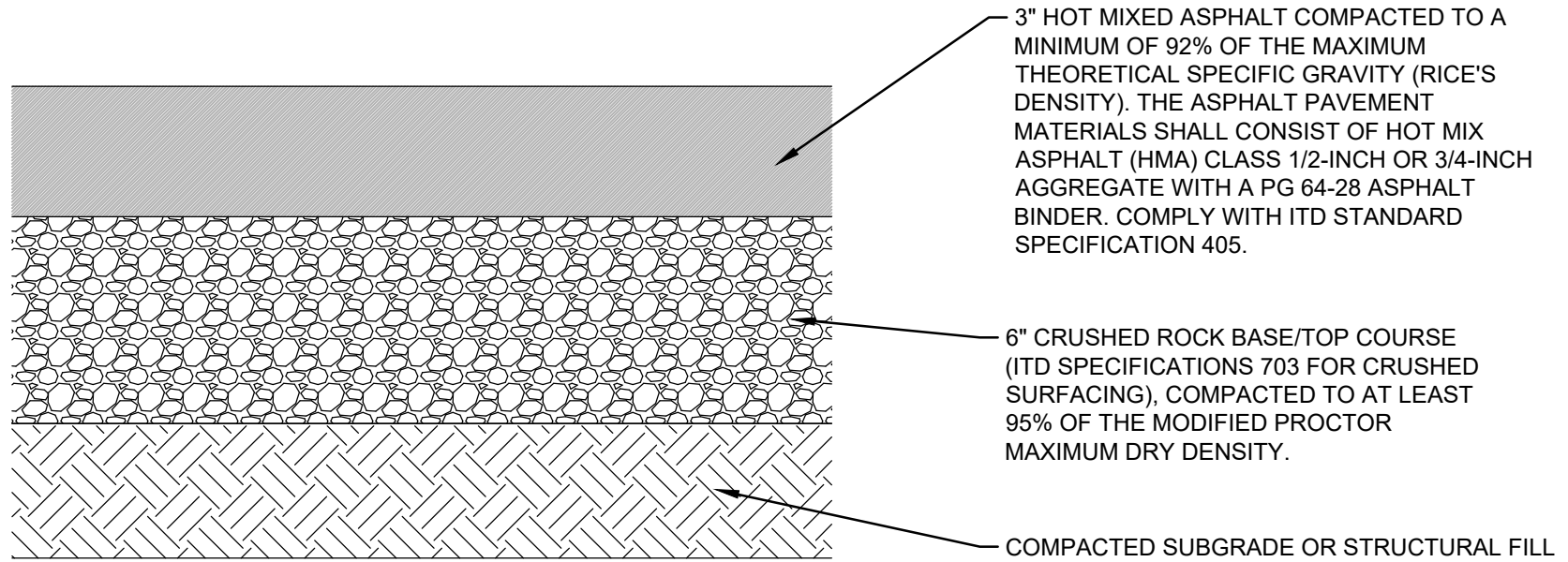
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DRAWING NO.

C500

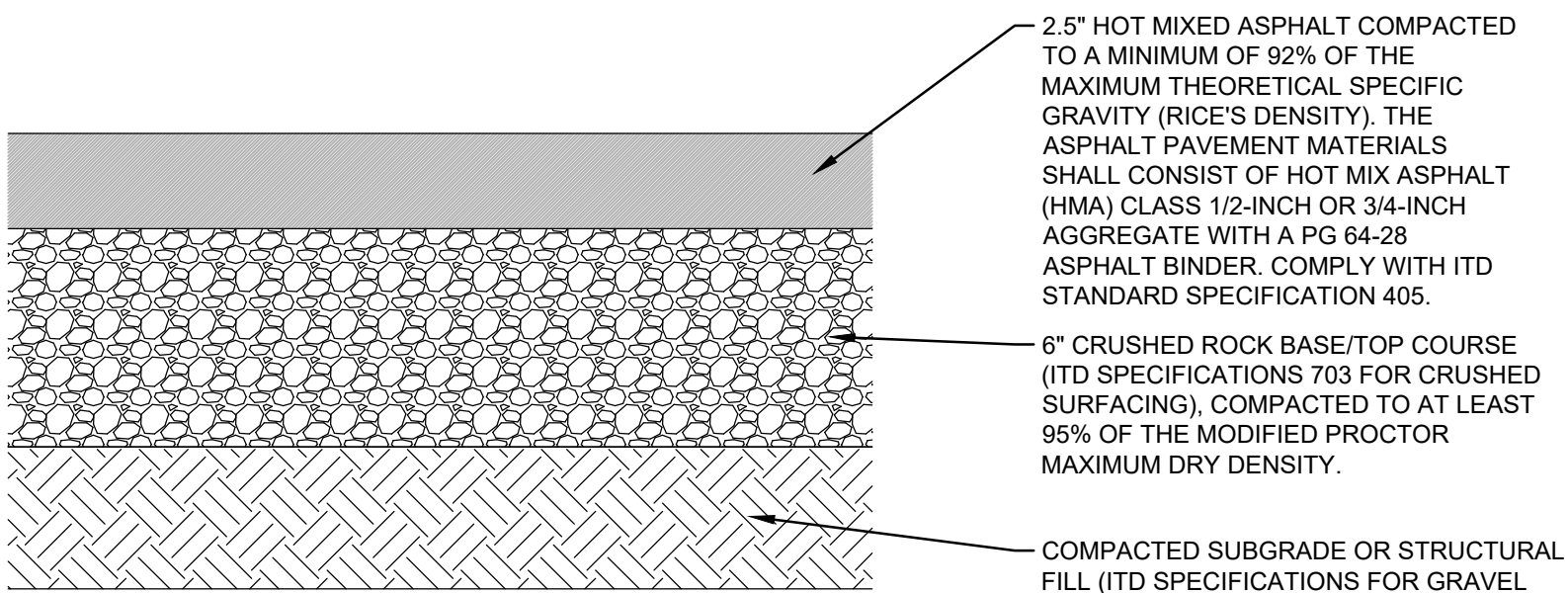
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NOTES:

1. PLACE ACCEPTABLE SOIL MATERIAL IN LAYERS TO REQUIRED SUBGRADE ELEVATIONS.
2. MATERIAL AND COMPACTION REQUIREMENTS SHALL CONFORM WITH ITD STANDARDS AND GEOTECHNICAL ENGINEERING RECOMMENDATIONS ASSOCIATED WITH THE SUBJECT SITE.
3. IF EXISTING SUBGRADE SOIL CONDITIONS INHIBIT PROPER COMPACTION, OVER EXCAVATE AND REPLACE SOIL WITH APPROVED ONSITE MATERIAL OR IMPORTED MATERIAL.

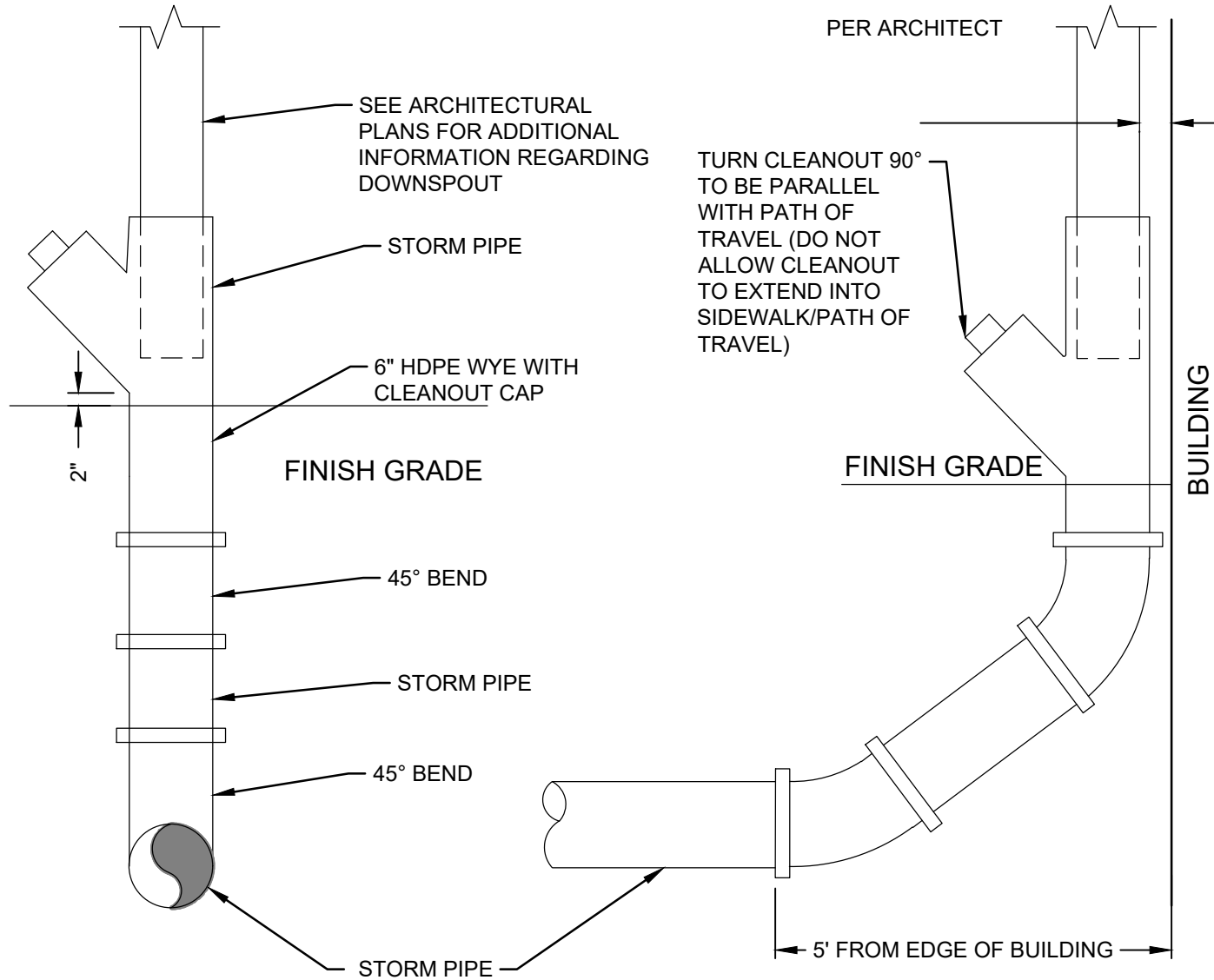
1 HEAVY-DUTY ASPHALT PAVEMENT
C300 SCALE: NTS



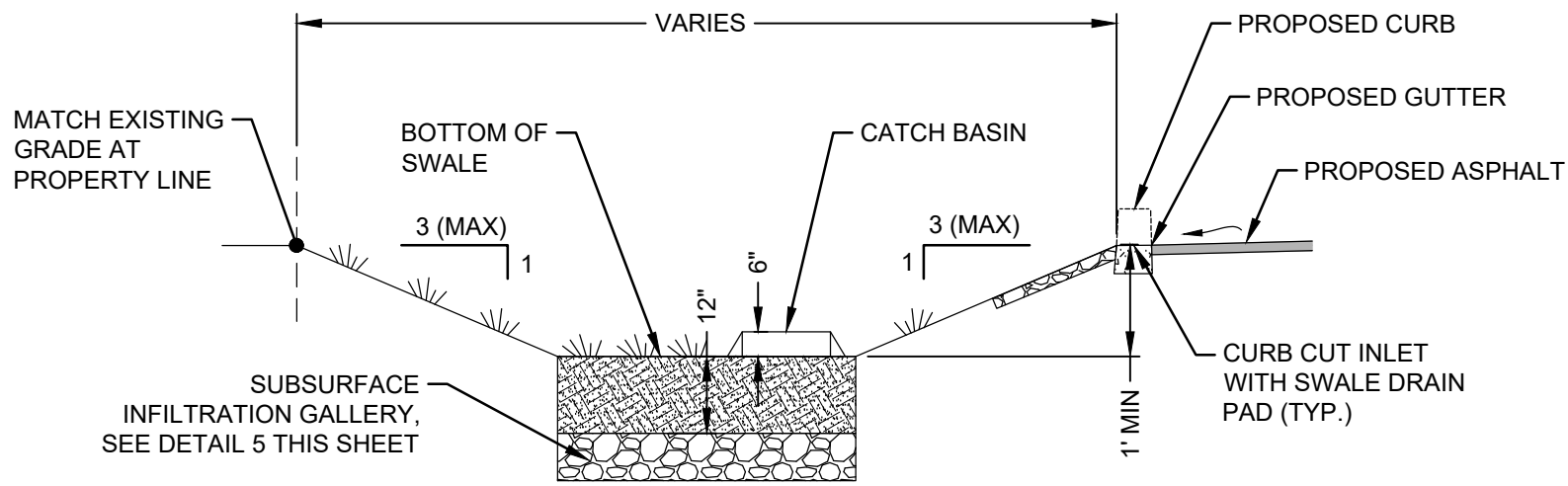
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4. CONTRACTOR CAN USE THE HEAVY DUTY ASPHALT PAVEMENT SECTION IN LIEU OF THE STANDARD DUTY SECTION.

2 STANDARD-DUTY ASPHALT PAVEMENT
C300 SCALE: NTS



3 DOWNSPOUT CONNECTION
C410 SCALE: NTS

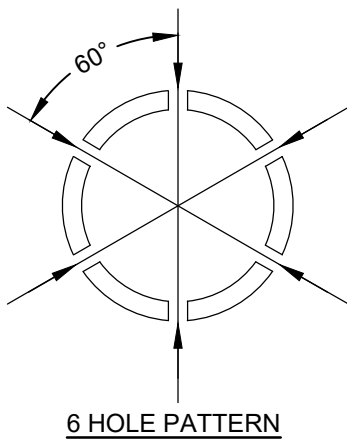
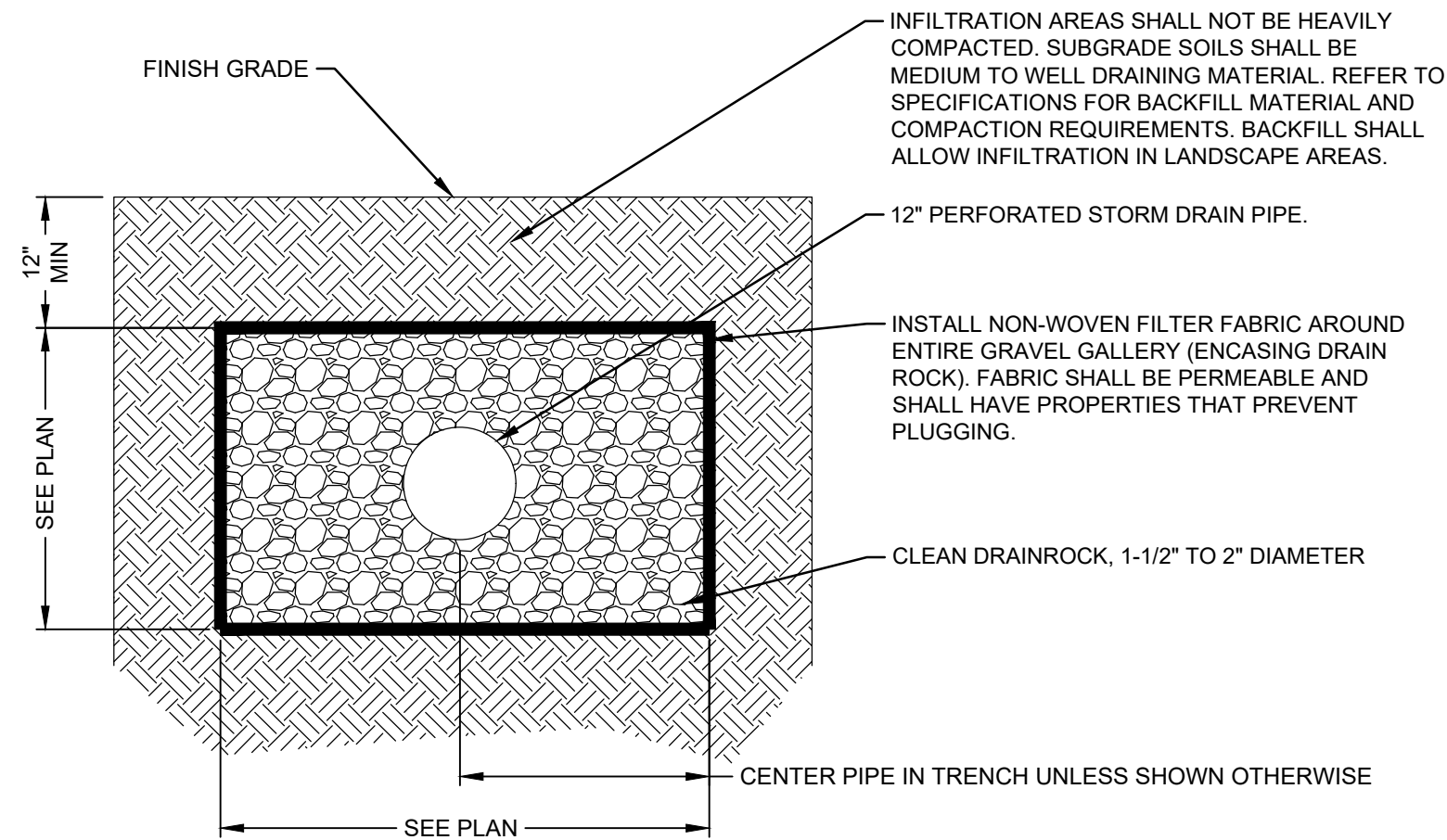


SWALE CROSS SECTION

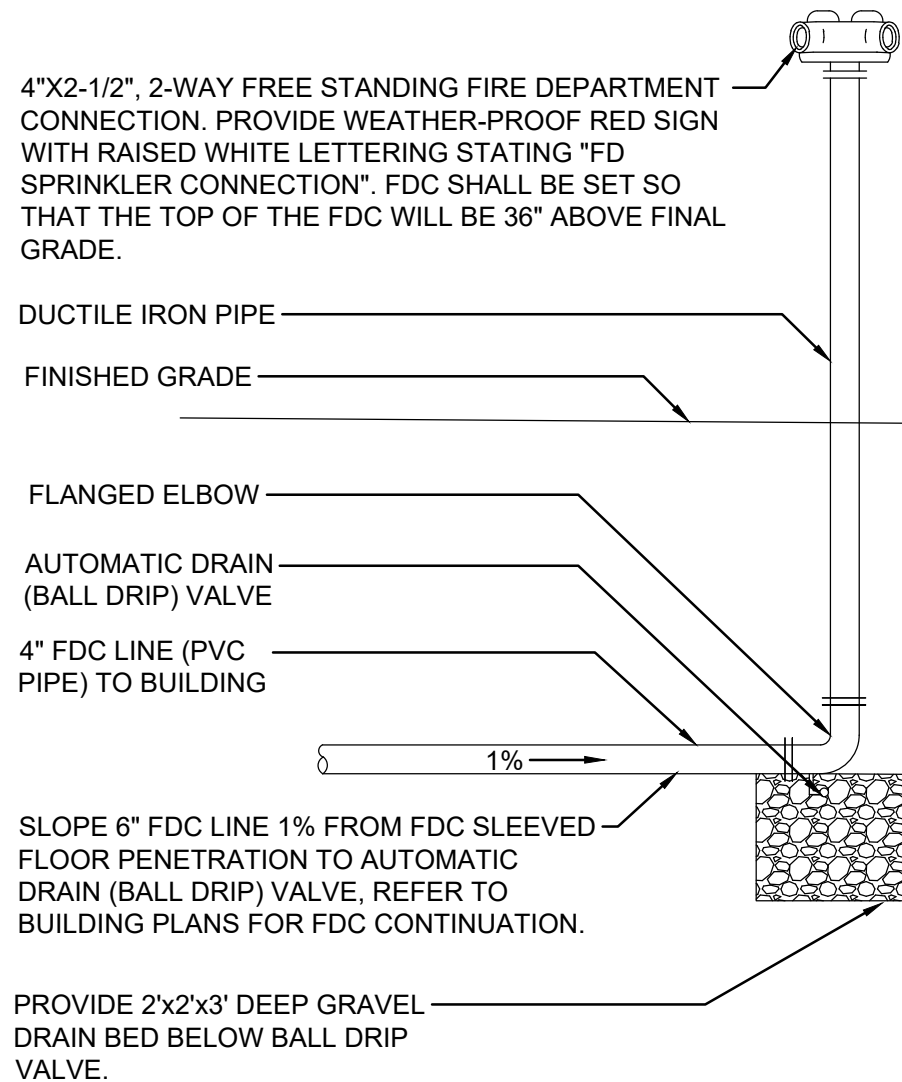
NOTES:

1. SOILS IN THE SWALE AREA SHALL COMPLY WITH THE ISPCW. DO NOT OVER COMPACT SWALE BOTTOM. SOILS SHALL BE A MINIMUM OF 12-INCHES THICK.
 - a. TREATMENT ZONE INFILTRATION RATE (VEGETATED COVER AND TREATMENT LAYER) OF BETWEEN 0.25 AND 0.50 INCHES/HOUR.
 - b. SUBGRADE INFILTRATION RATE OF AT LEAST 0.15 INCHES/HOUR AND FACILITY MUST COMPLETELY DRAIN WITHIN 72 HOURS.
 - c. AVERAGE CATION EXCHANGE CAPACITY OF AT LEAST 15 MILLIEQUIVALENTS/100 GRAMS.
 - d. ORGANIC MATTER CONTENT OF AT LEAST 2% BY WEIGHT.

4 BIO-INFILTRATION SWALE
C410 SCALE: NTS



5 INFILTRATION GALLERY
C410 SCALE: NTS



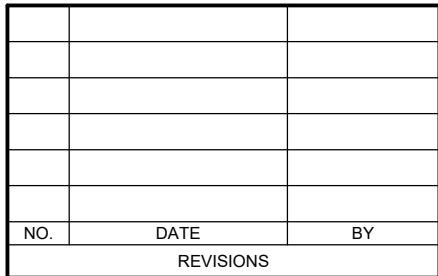
NOTE:

1. FIRE DEPARTMENT CONNECTION ASSEMBLY SHALL COMPLY WITH NFPA REGULATIONS. COORDINATE WITH CITY OF PONDERAY AND FIRE DEPARTMENT FOR ALL REQUIREMENTS AND ADDITIONAL INFORMATION.

6 FIRE DEPARTMENT CONNECTION
C500 SCALE: NTS

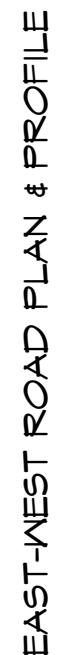
NO.	DATE	REVISIONS
1	04/13/22	KPSD COMMENTS
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PROJECT NO.	2134
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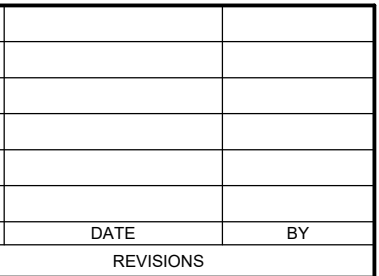
UTILITY STATEMENT
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3	2421618.20	2432598.39	2421618.15	2432598.38	2128.90	SET MAG
* 17	2421982.52	2431563.56	2421982.42	2431563.69	2129.64	SET X
* 18	2421986.61	2431969.12	2421986.52	2431969.19	2130.11	SET X

BENCH MARK NOTE

PROJECT NO.	2134
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DRAWING NO.	

C701



PROJECT TITLE	PON
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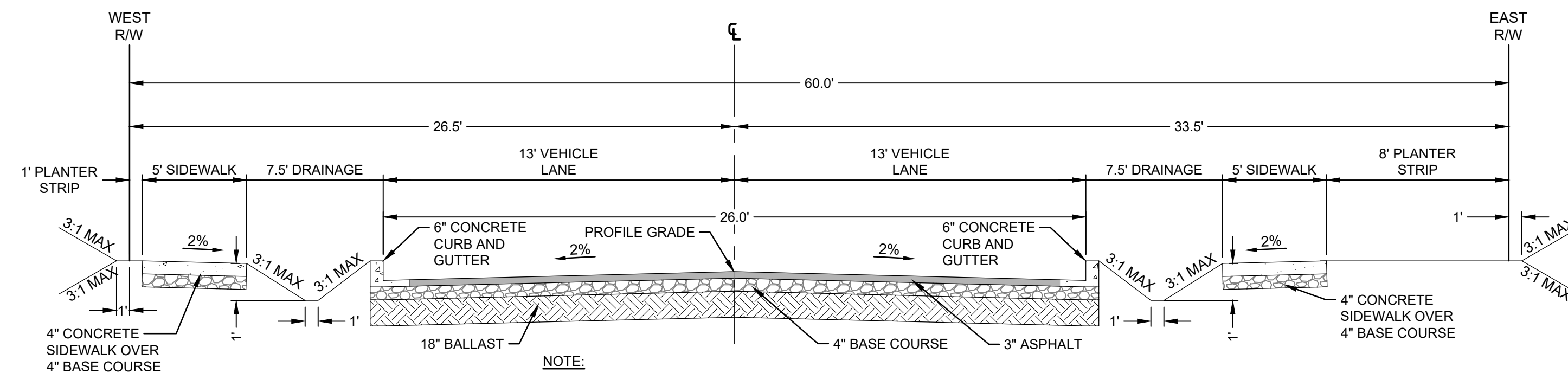
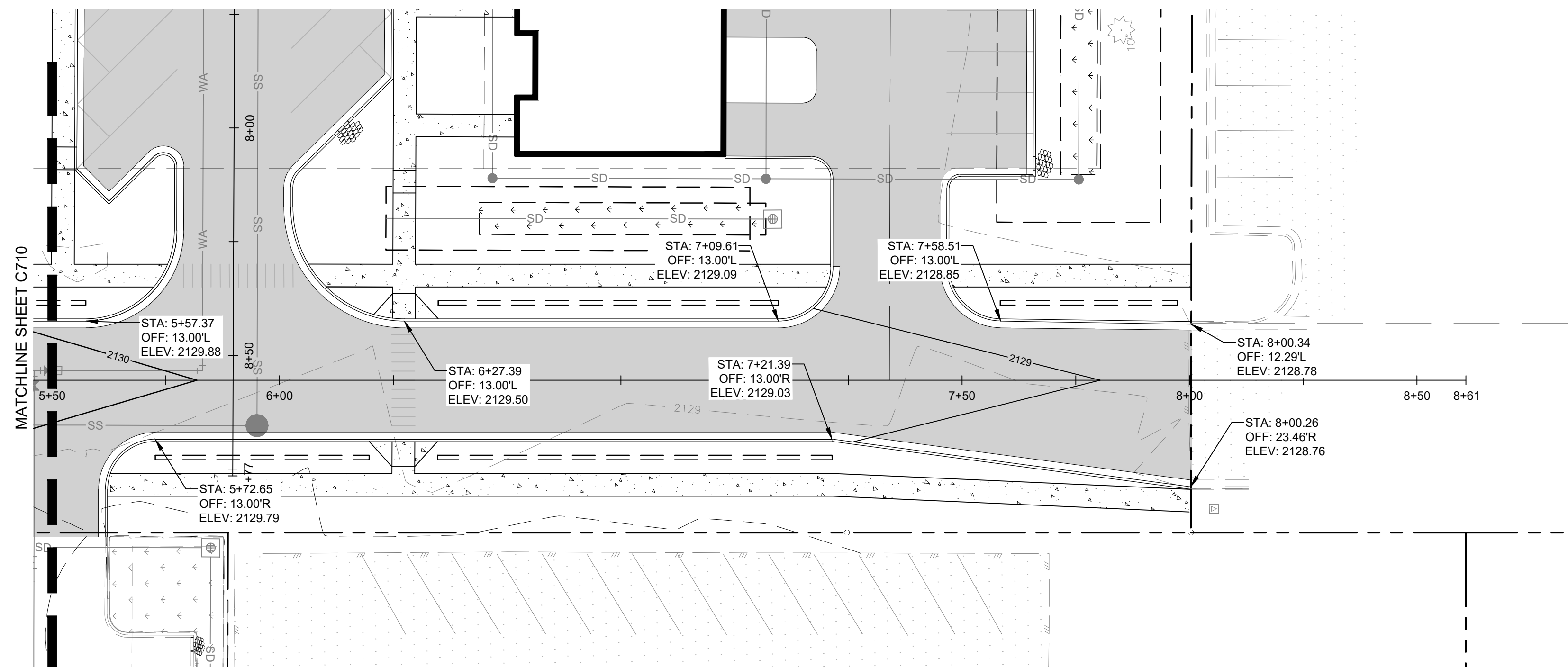
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ING NO.

C710

PROFILE OF BONNER MALL WAY
 VERT SCALE: 1"=2' HOR SCALE: 1"=20'

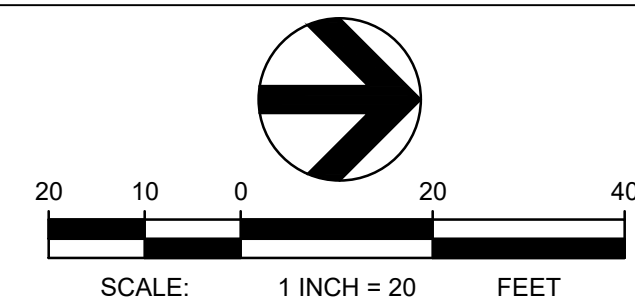
The profile view shows the centerline profile (solid line) and the existing ground profile (dashed line). The centerline profile has a constant grade of -0.50%. Key points on the profile include a grade break at STA 5+89.76 (Elev: 2129.95) and a match existing at STA 8+00.00 (Elev: 2128.90).



1 TYPICAL ROAD SECTION
SCALE: NTS

POINT #	NORTHING	EASTING	GRID NORTHING	GRID EASTING	ELEVATION	DESCRIPTION
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17	2421982.52	2431563.56	2421982.42	2431563.69	2129.64	SET X
18	2421986.61	2431969.12	2421986.52	2431969.19	2130.11	SET X

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BONNER MALL WAY PLAN & PROFILE

SE	SHEET TITLE
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SEAL

PROJECT NO.	2134
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C711



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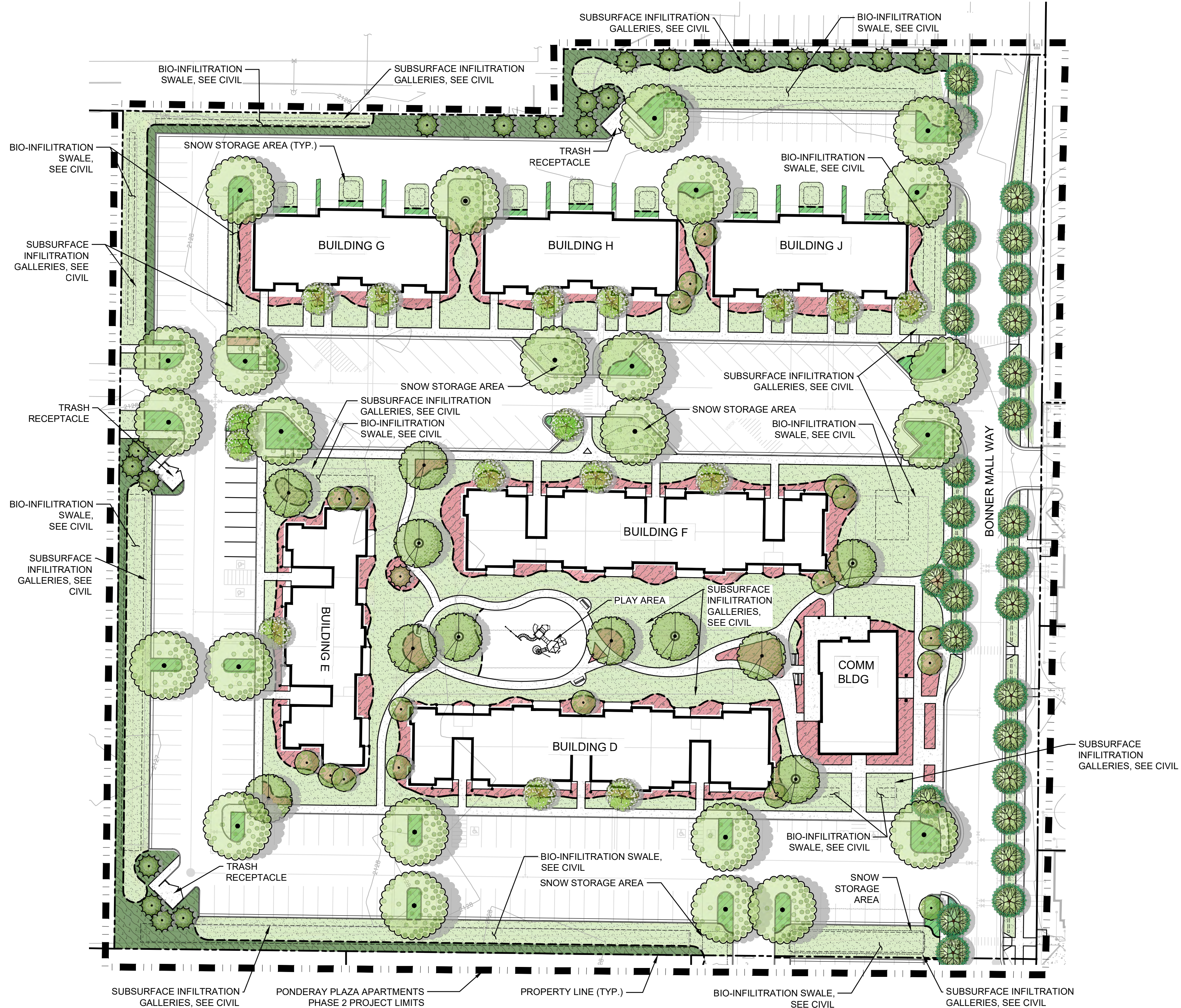
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DATE: May 25, 2022 FILENAME: Q:\2021\221097740_LAN\CAD\2210977_PHASE 2_SH-CONCEPT.dwg



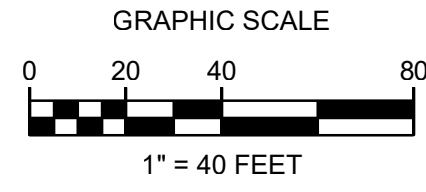
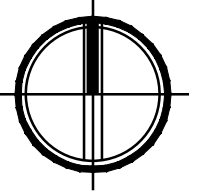
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PONDERAY PLAZA
DAYCARE PHASE 2
NOT A PART

CONCEPT_PLANT_SCHEDULE

- DECIDUOUS SHADE TREE
- DECIDUOUS PARKING LOT TREE
- EVERGREEN TREE
- STREET TREE
STREET TREES WILL BE SELECTED FROM THE APPROVED PONDERAY STREET TREE LIST.
- DECIDUOUS COLUMNAR TREE
- ORNAMENTAL TREE
- SHRUB BEDS
- PERIMETER BUFFER LANDSCAPING
- STREET FRONTAGE LANDSCAPE
- PARKING LOT ISLAND LANDSCAPING
- TURF LAWN



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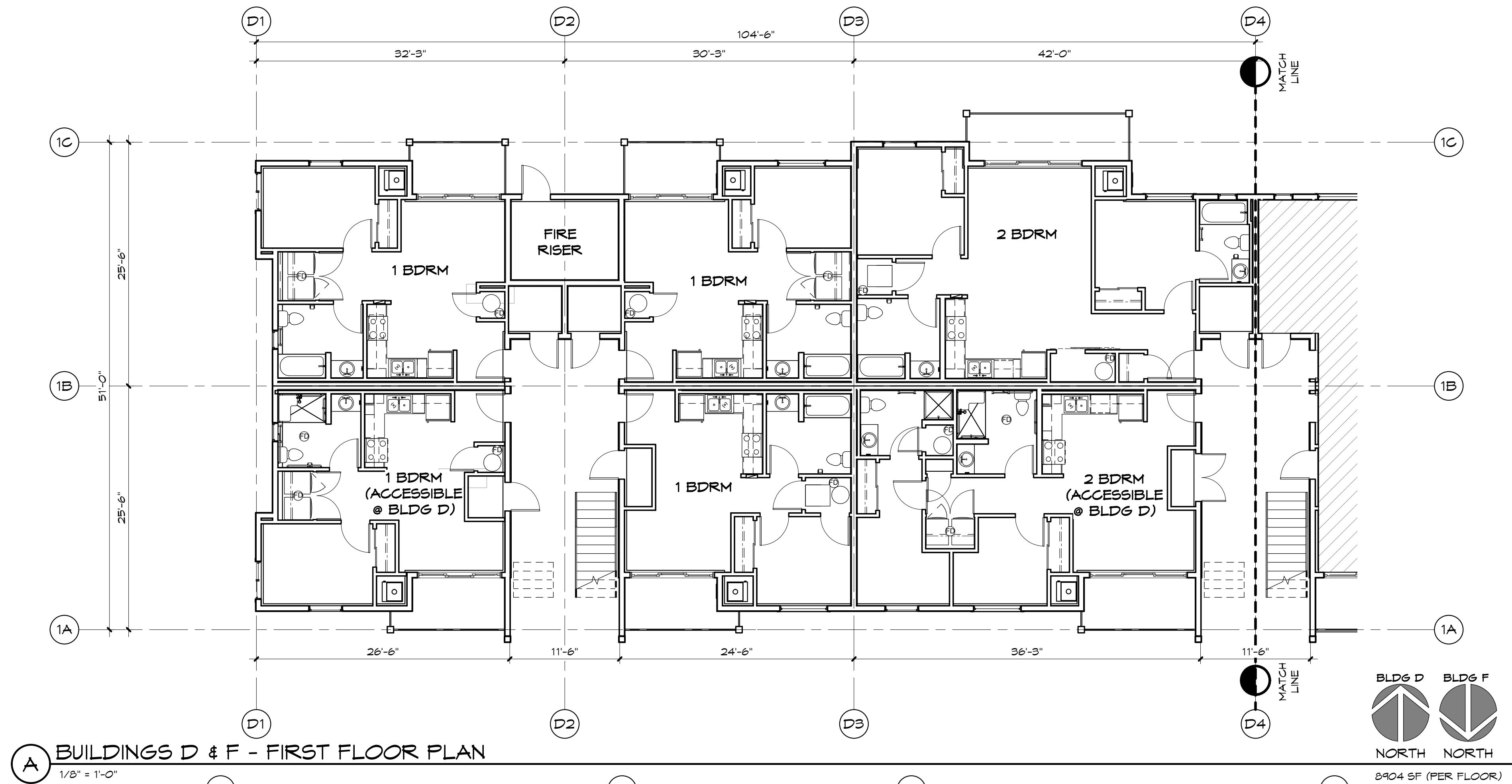
Civil Engineers
Structural Engineers
Landscape Architects
Community Planners
Land Surveys
Neighbors

CONCEPT LANDSCAPE PLAN

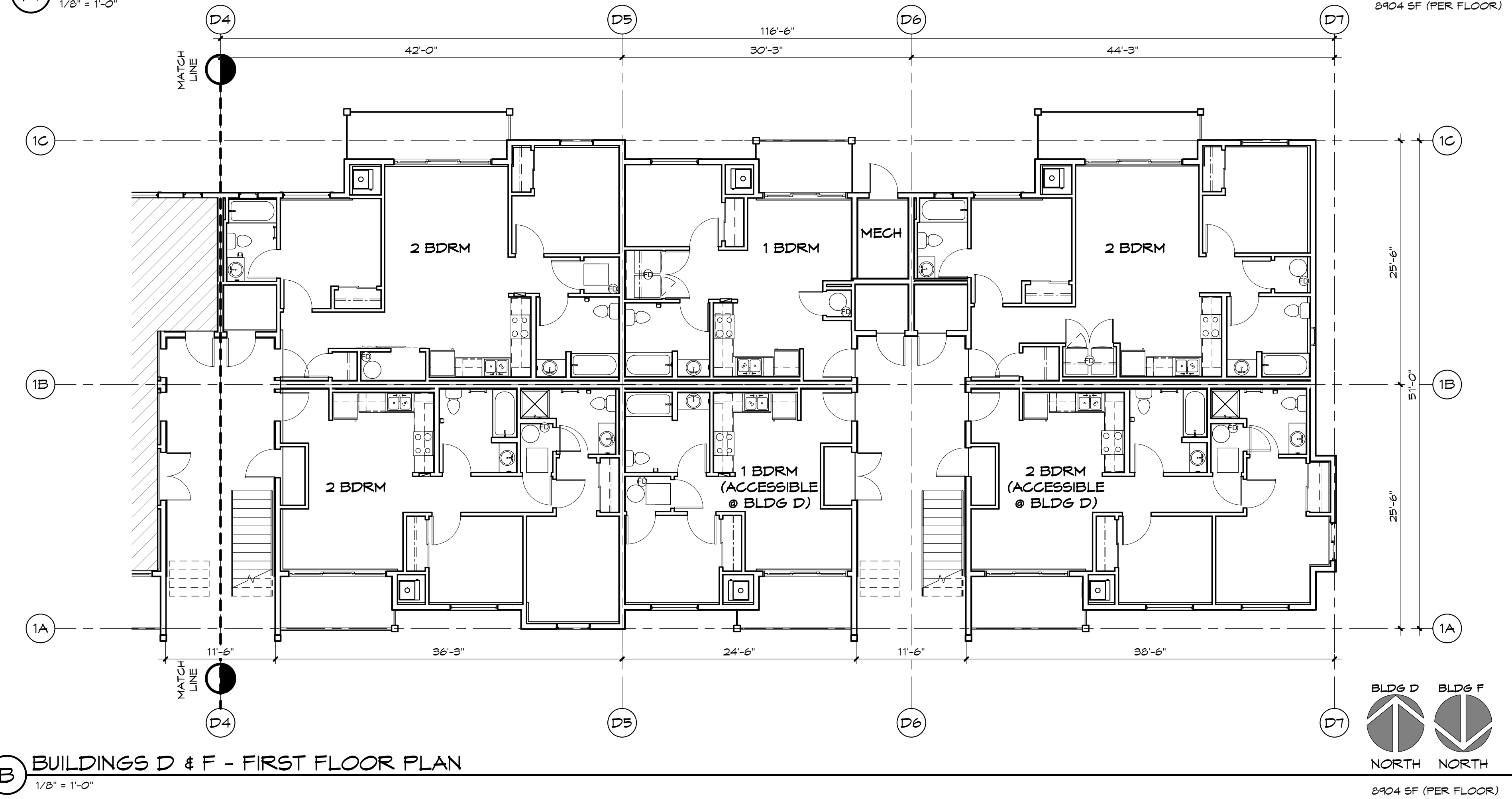
PROJECT TITLE
**PONDERAY PLAZA APARTMENTS
PHASE TWO**
PONDERAY, IDAHO
EASTMARK CAPITAL GROUP

PROJECT NO.	2134.1 / 2210977
DRAWN:	HMS
CHECKED:	CDA
DATE:	05/21/2022
DRAWING NO.	L-EX01

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A BUILDINGS D & F - FIRST FLOOR PLAN
1/8" = 1'-0"



B BUILDINGS D & F - FIRST FLOOR PLAN
1/8" = 1'-0"

BUILDING PLAN NOTES

- SEE UNIT PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL WINDOW AND DOOR SIZES, WALL TYPES, CALLOUTS AND ADDITIONAL INFORMATION.
- PARTY WALLS** - NO PIPING, DUCTS, WASHER BOXES, OR OTHER ITEMS OTHER THAN WIRING AND APPROVED ELECTRICAL BOXES SHALL BE INSTALLED IN PARTY WALLS.
- PLUMBING** - ALL WATER PIPING SHALL BE RUN IN INTERIOR WALLS AND JOIST SPACE BETWEEN FLOORS, NO PIPING SHALL BE INSTALLED IN EXTERIOR WALLS OR ATTIC SPACE, INCLUDING FIRE SPRINKLER PIPING.
- 5/8" TYPE "X" GYP BD SHALL BE CONTINUOUS BEHIND TUB/SHOWER UNITS AT RATED WALLS, SEE DETAIL 4/A511.
- GRID LINES AT PARTY WALLS ARE CENTERLINE OF WALL. GRID LINES AT EXTERIOR WALLS ARE FACE OF STUDS UNLESS NOTED OTHERWISE.
- SEE SHEETS A401 THRU A405 FOR UNIT PLANS AND OPTIONAL LAYOUT COORDINATION.



NO.	DATE	BY
REVISIONS		

SHEET TITLE
BUILDINGS D & F - FIRST FLOOR PLANS

PROJECT TITLE
PONDERAY PLAZA APARTMENTS -
PHASE TWO
PONDERAY, IDAHO
EASTMARK CAPITAL GROUP

SEAL

PROJECT NO. 2134.01

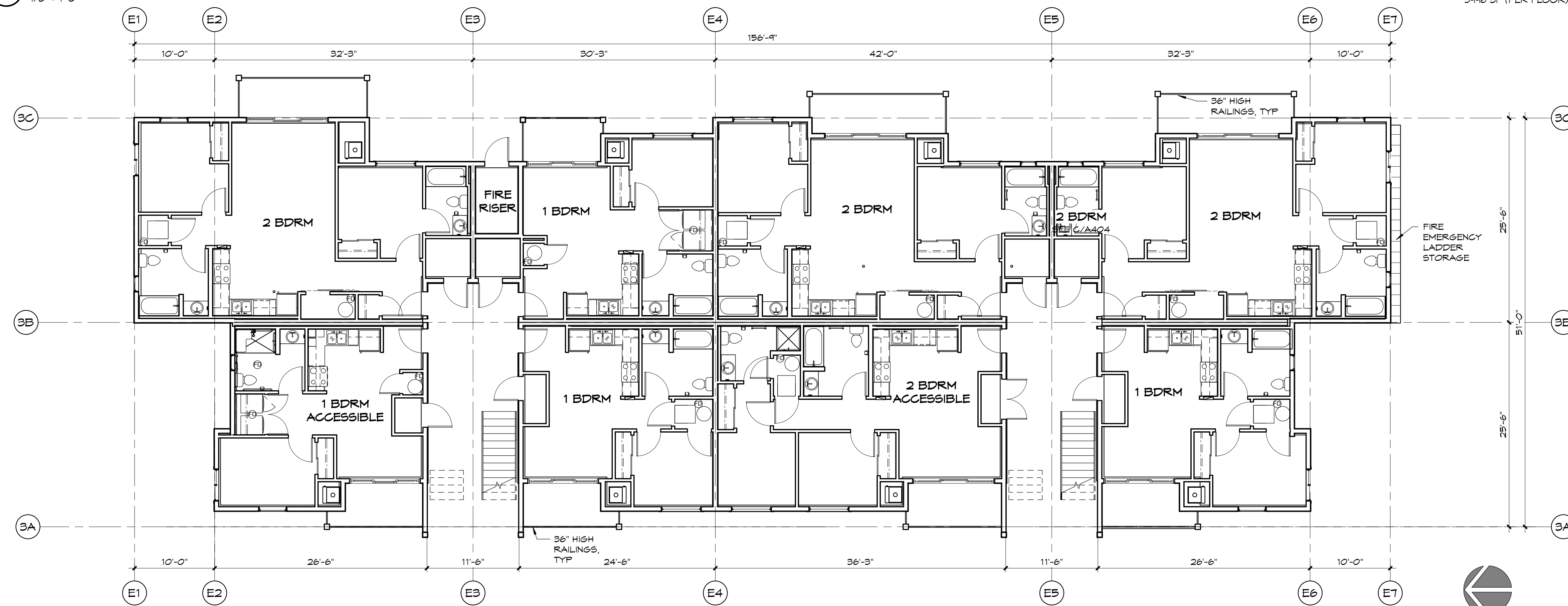
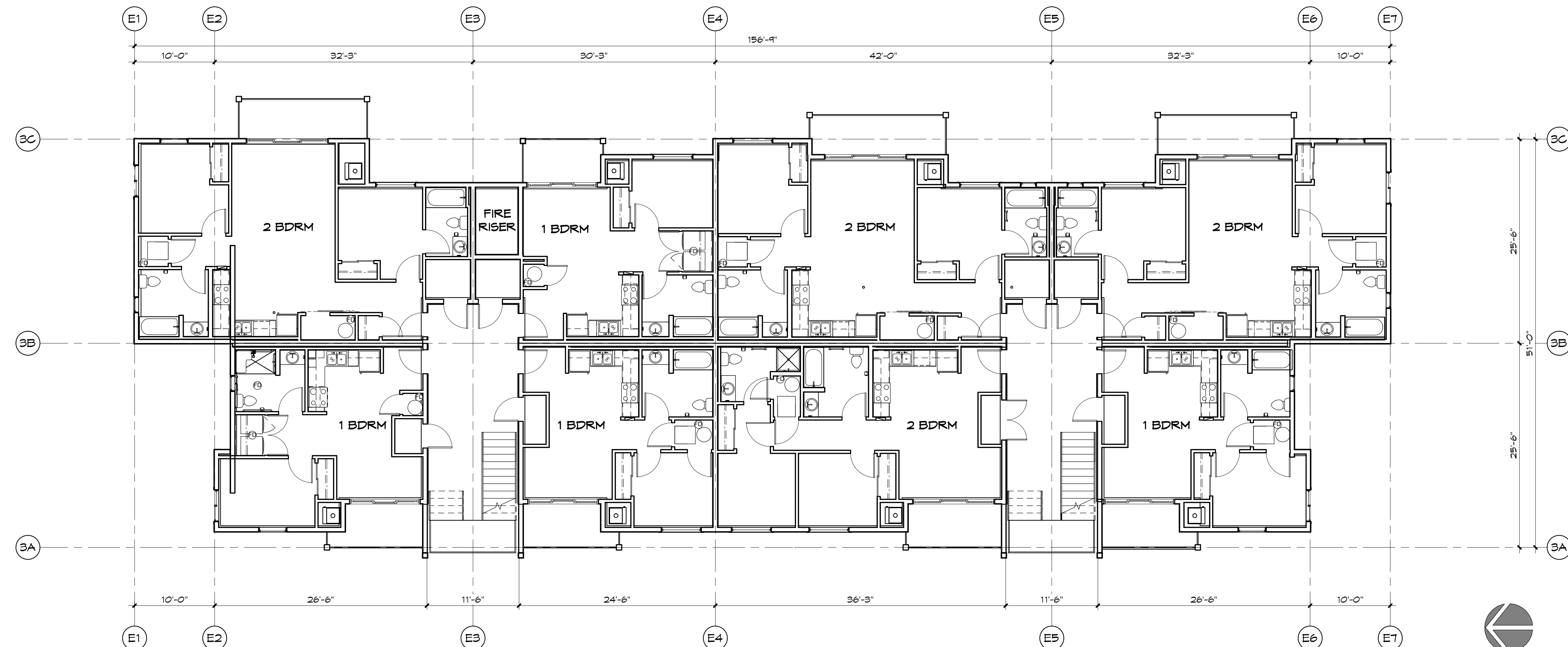
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CHECKED: MSK

DATE: 05/27/2022

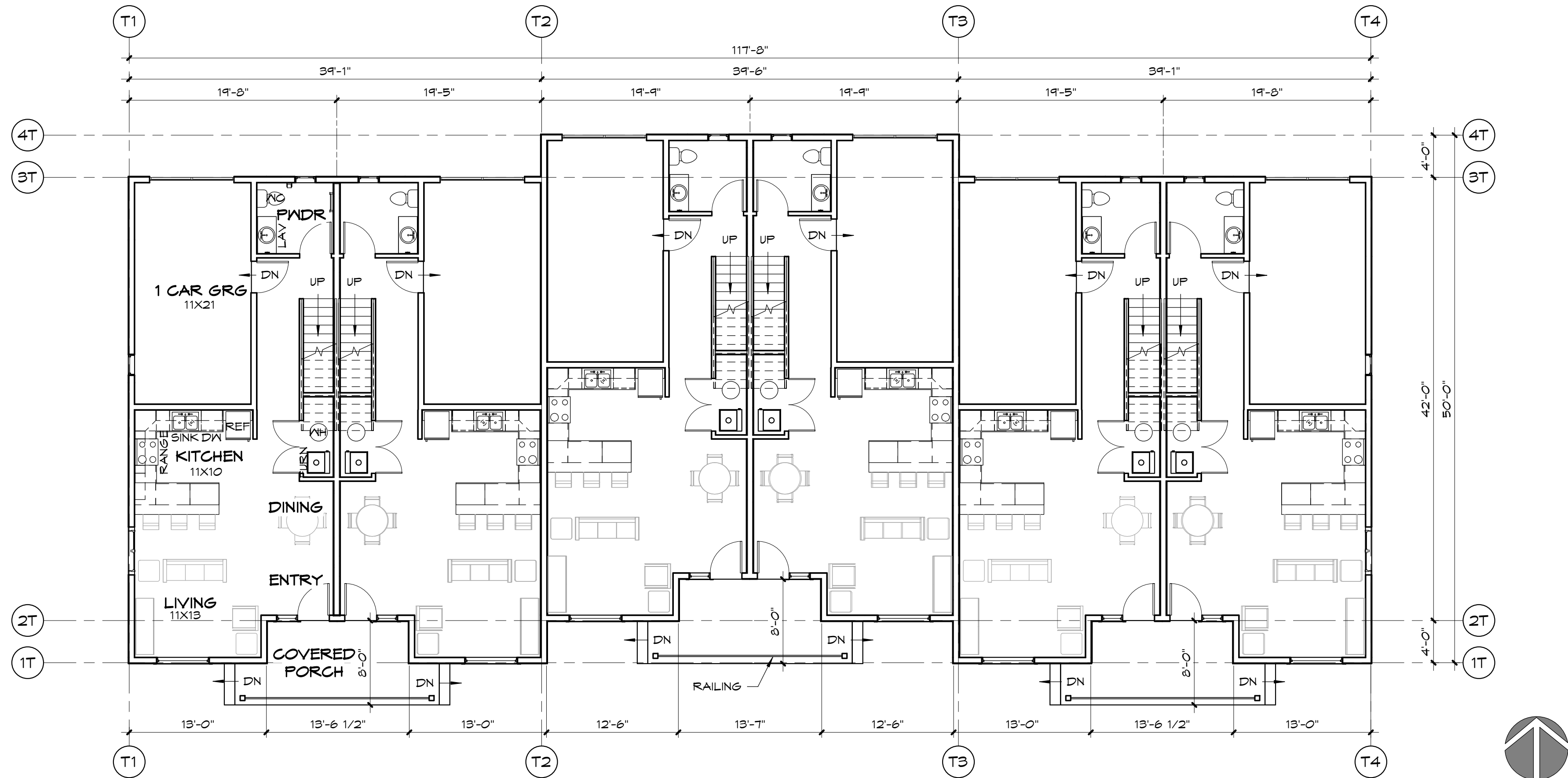
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A101

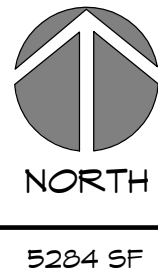


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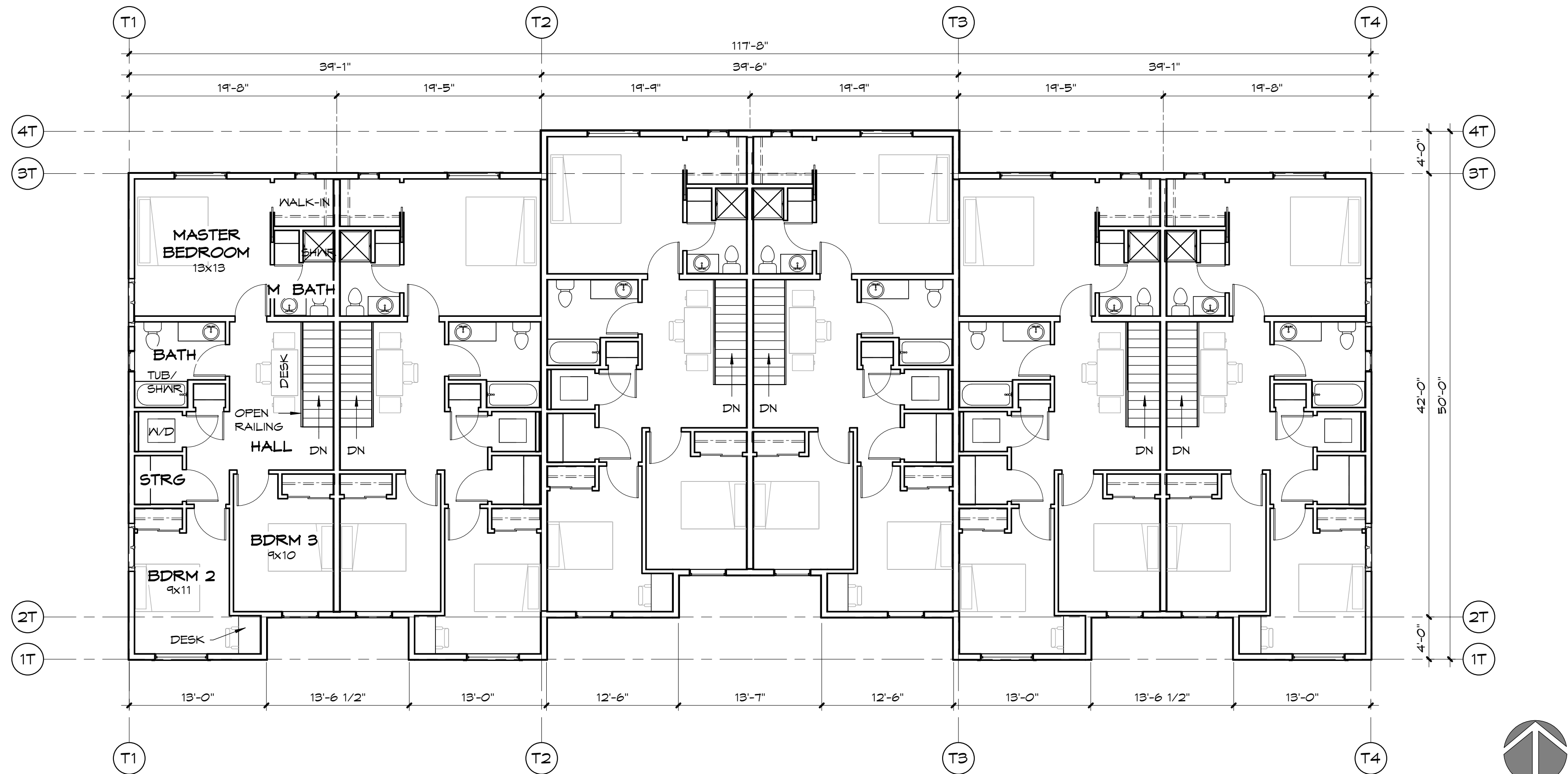
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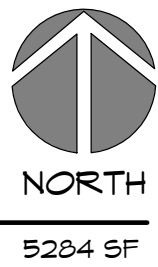
A BUILDINGS G,H & J FIRST FLOOR PLAN
1/8" = 1'-0"



5284 SF



B BUILDINGS G,H & J SECOND FLOOR PLAN
1/8" = 1'-0"



5284 SF

BUILDING PLAN NOTES

- SEE UNIT PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL WINDOW AND DOOR SIZES, WALL TYPES, CALLOUTS AND ADDITIONAL INFORMATION
- PARTY WALLS** - NO PIPING, DUCTS, WASHER BOXES, OR OTHER ITEMS OTHER THAN WIRING AND APPROVED ELECTRICAL BOXES SHALL BE INSTALLED IN PARTY WALLS.
- PLUMBING** - ALL WATER PIPING SHALL BE RUN IN INTERIOR WALLS AND JOIST SPACE BETWEEN FLOORS, NO PIPING SHALL BE INSTALLED IN EXTERIOR WALLS OR ATTIC SPACE, INCLUDING FIRE SPRINKLER PIPING.
- 5/8" TYPE "X" GYP BD SHALL BE CONTINUOUS BEHIND TUB/SHOWER UNITS AT RATED WALLS, SEE DETAIL 4/A511.
- GRID LINES AT PARTY WALLS ARE CENTERLINE OF WALL. GRID LINES AT EXTERIOR WALLS ARE FACE OF STUDS UNLESS NOTED OTHERWISE.



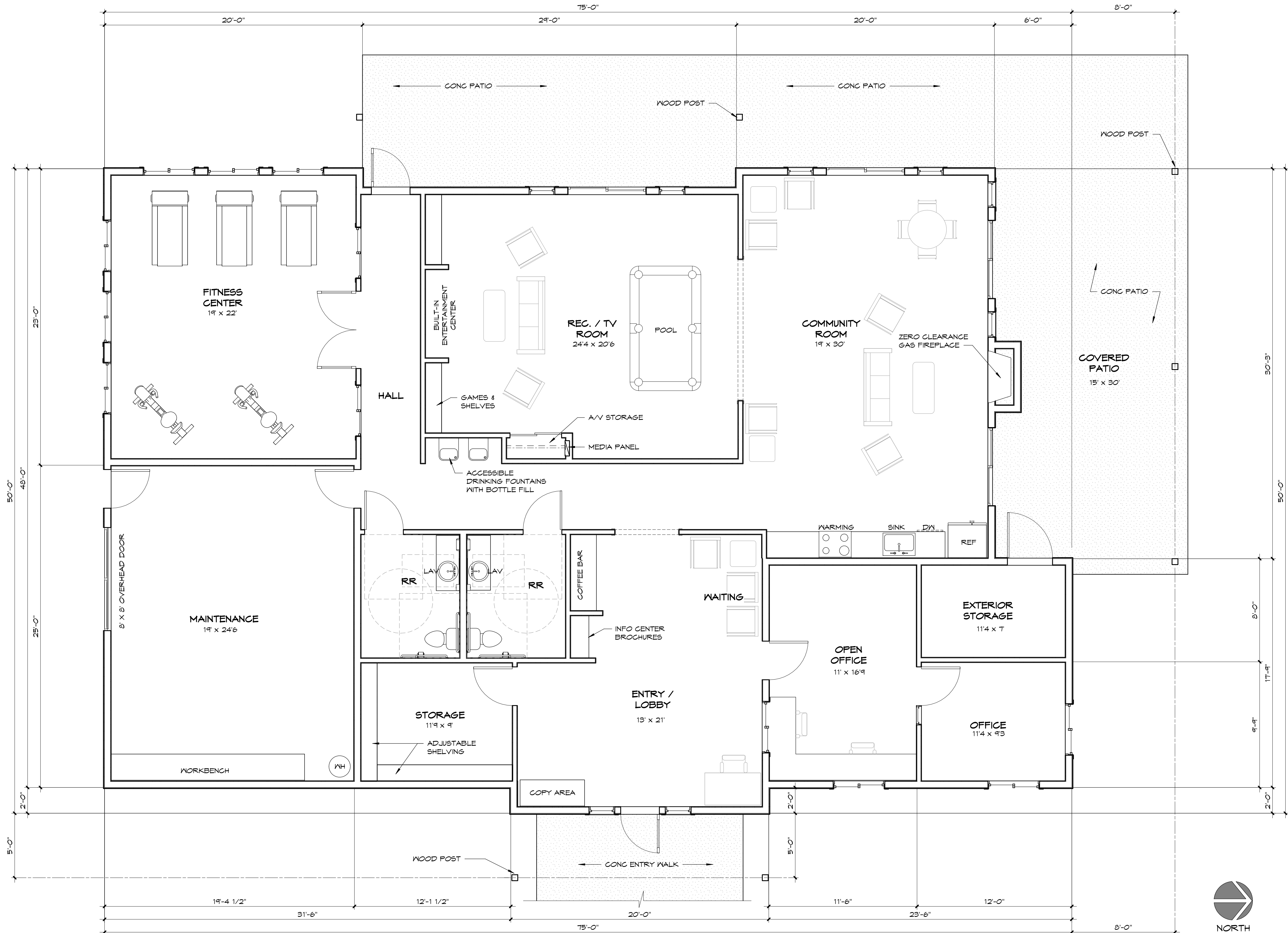
NO.	DATE	BY

SHEET TITLE
BUILDINGS G, H & J FLOOR PLANS
PROJECT TITLE
PONDERAY PLAZA APARTMENTS -
PHASE TWO
PONDERAY, IDAHO
EASTMARK CAPITAL GROUP

PROJECT NO. 2134.01
DRAWN: TWG
CHECKED: MSK
DATE: 05/27/2022
DRAWING NO.

A104

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COMMUNITY BUILDING - FLOOR PLAN

1/4" = 1'-0"

AREA: 3,435 SF



NO.	DATE	BY

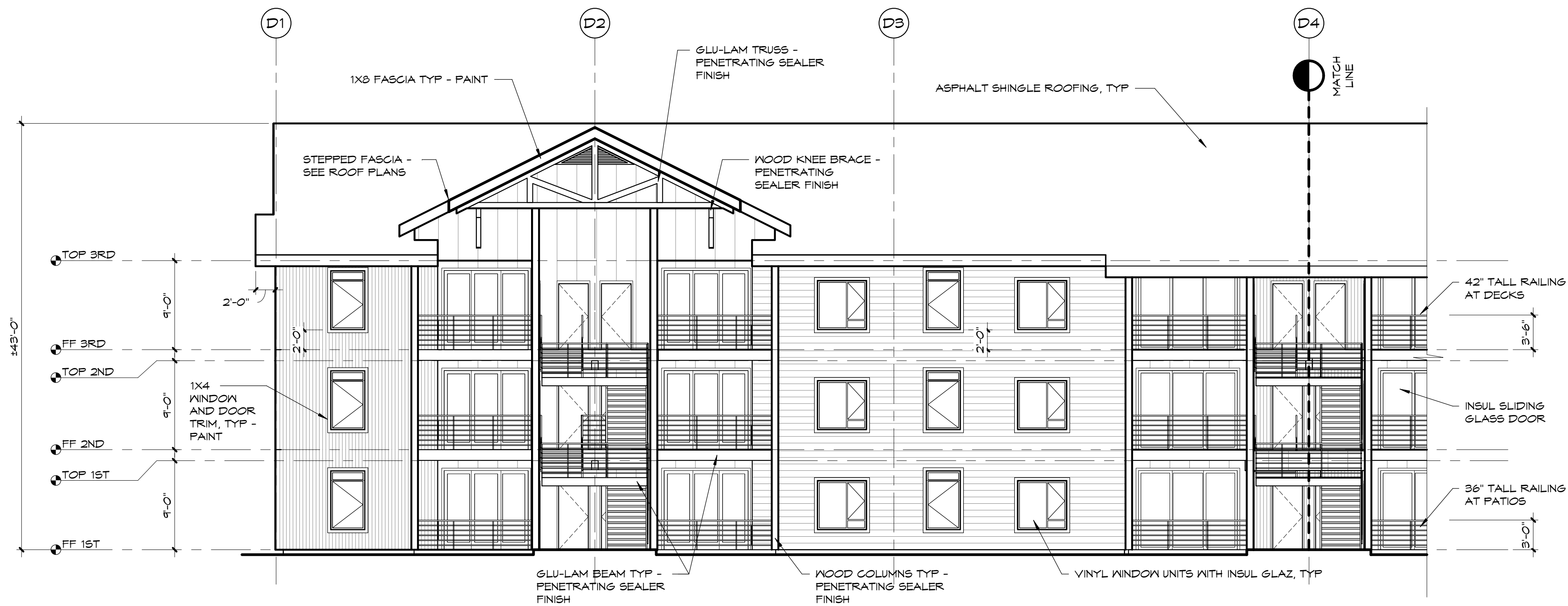
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SHEET TITLE	COMMUNITY BUILDING FLOOR PLAN
PROJECT TITLE	PONDERAY PLAZA APARTMENTS - PHASE TWO PONDERAY, IDAHO EASTMARK CAPITAL GROUP

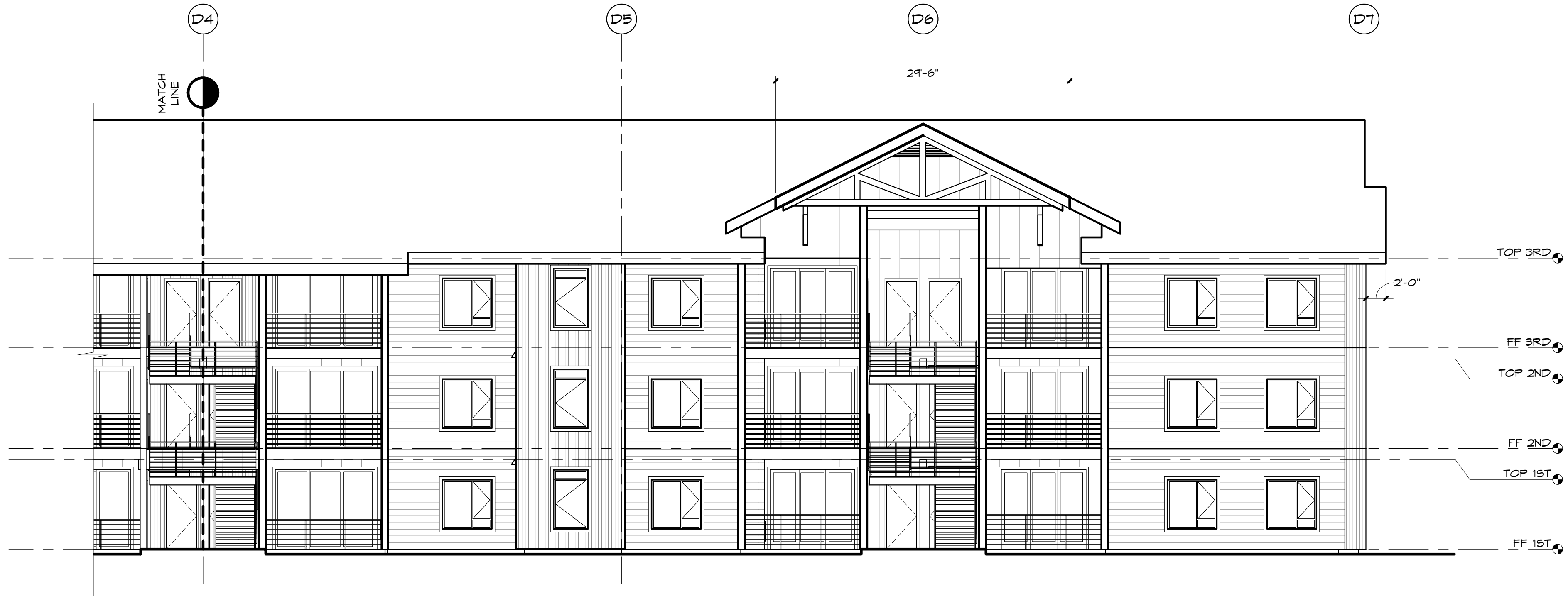
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DRAWN:	Author
CHECKED:	Checker
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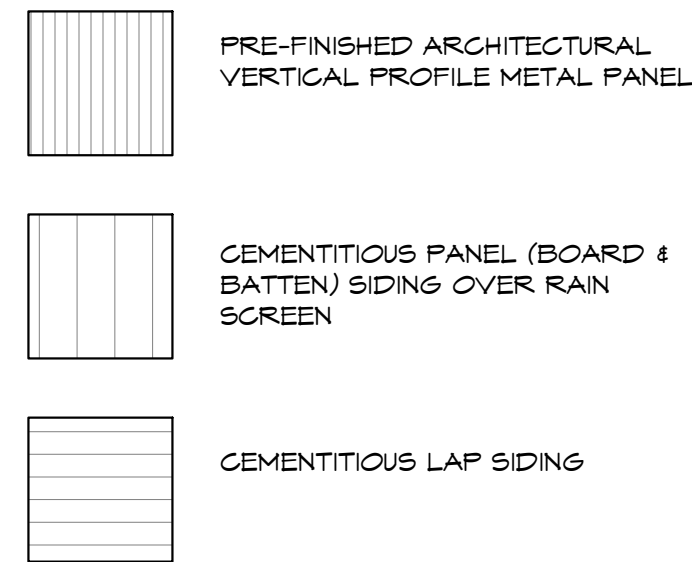
1 BUILDINGS D & F - FRONT LEFT
1/8" = 1'-0"



2 BUILDINGS D & F - FRONT RIGHT
1/8" = 1'-0"

EXTERIOR FINISH LEGEND

1. ALL MATERIALS AND FINISHES WRAP TO NEAREST INSIDE CORNER, UNO.
2. METAL ROOF FLASHING/D RIP EDGE SHALL BE PAINTED TO MATCH MATERIAL BENEATH.
3. FOR THE PURPOSE OF BIDDING ASSUME EACH SIDING STYLE, AS DESIGNATED BELOW, WILL BE PAINTED A DIFFERENT COLOR. FINAL PAINT SCHEDULE TO BE COORDINATED WITH OWNER.



NO.	DATE	BY

SHEET TITLE	BUILDINGS D & F - EXTERIOR ELEVATIONS
PROJECT TITLE	PONDERAY PLAZA APARTMENTS - PHASE TWO PONDERAY, IDAHO EASTMARK CAPITAL GROUP

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CHECKED:	WAF
DATE:	05/27/2022
DRAWING NO.	

A201

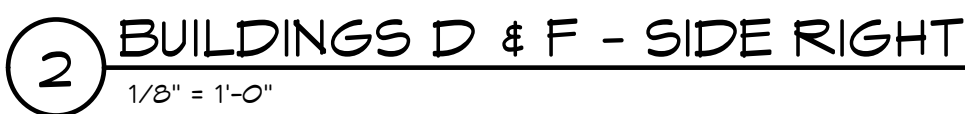
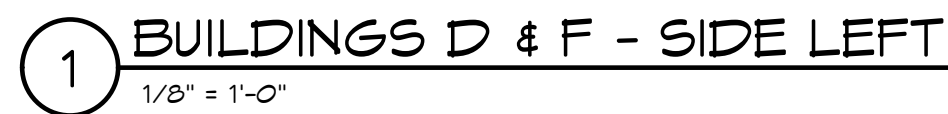


Diagram illustrating three types of metal panels:

- PRE-FINISHED ARCHITECTURAL VERTICAL PROFILE METAL PANEL
- CEMENTITIOUS PANEL (BOARD & BATTEN) SIDING OVER RAIN SCREEN
- CEMENTITIOUS LAP SIDING

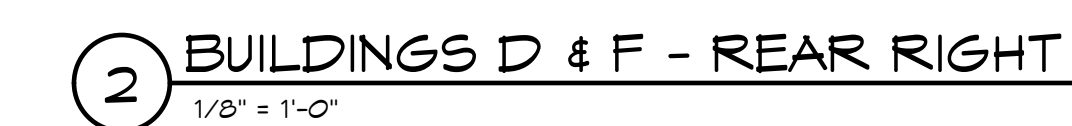
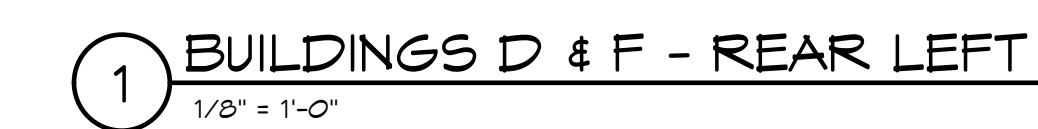
NO.	DATE	BY
REVISIONS		

PROJECT TITLE

PONDERAY PLAZA APARTMENTS -
PHASE TWO
PONDERAY, IDAHO
EASTMARK CAPITAL GROUP

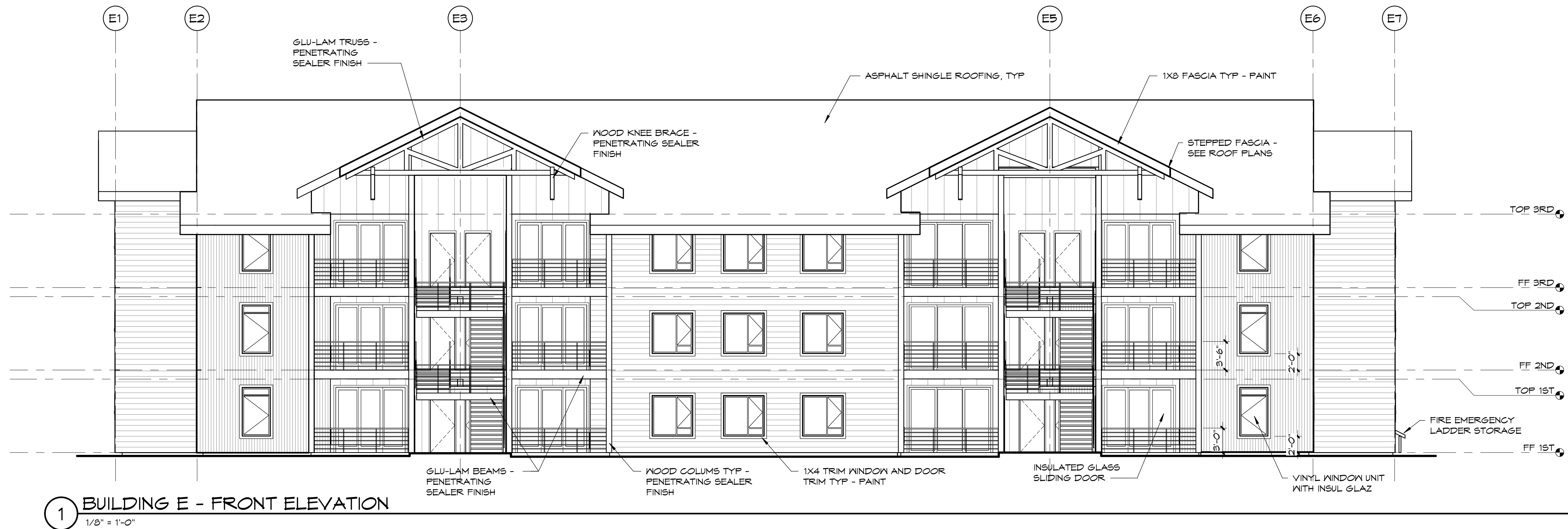
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DATE:	05/27/2022
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A202

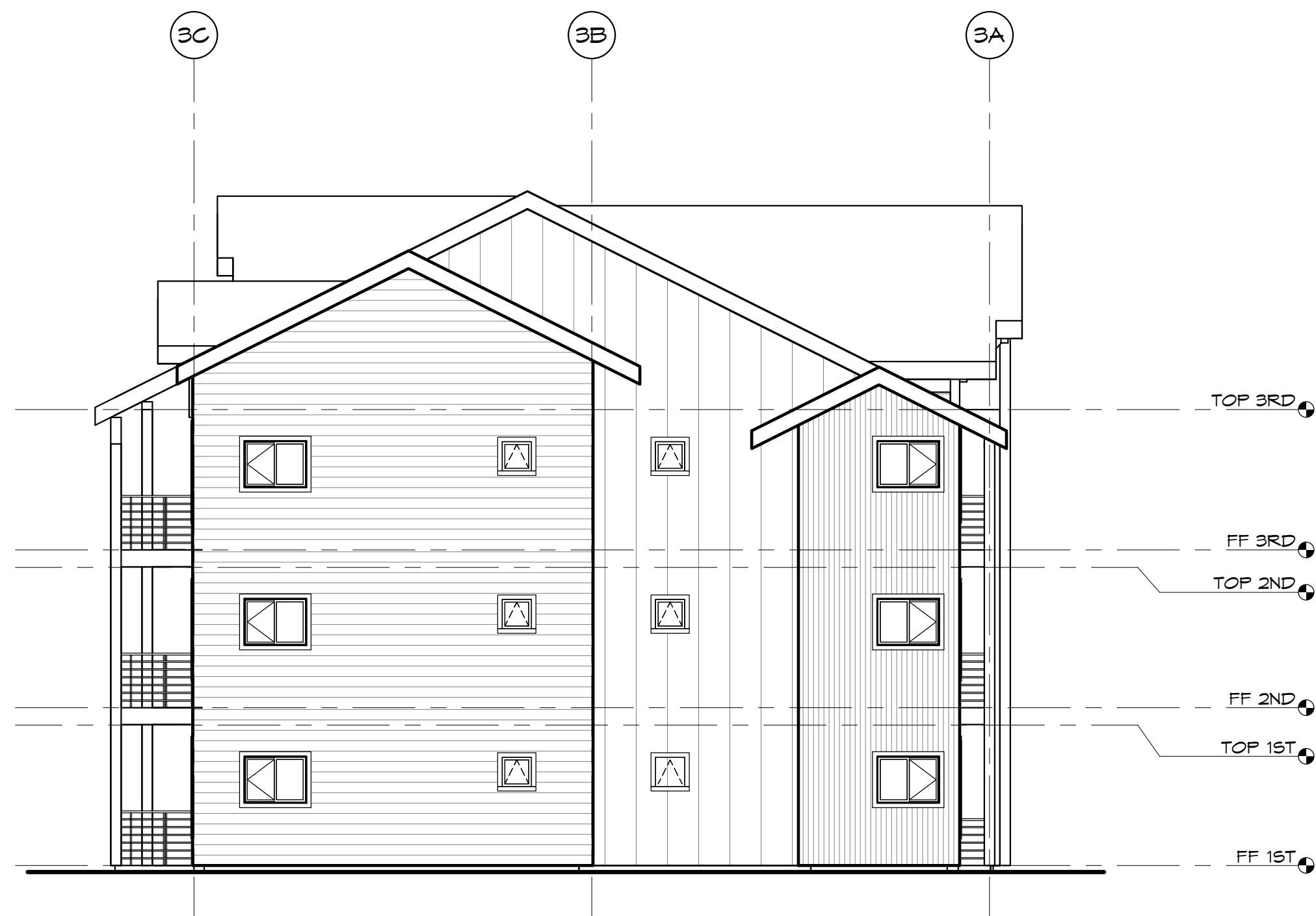


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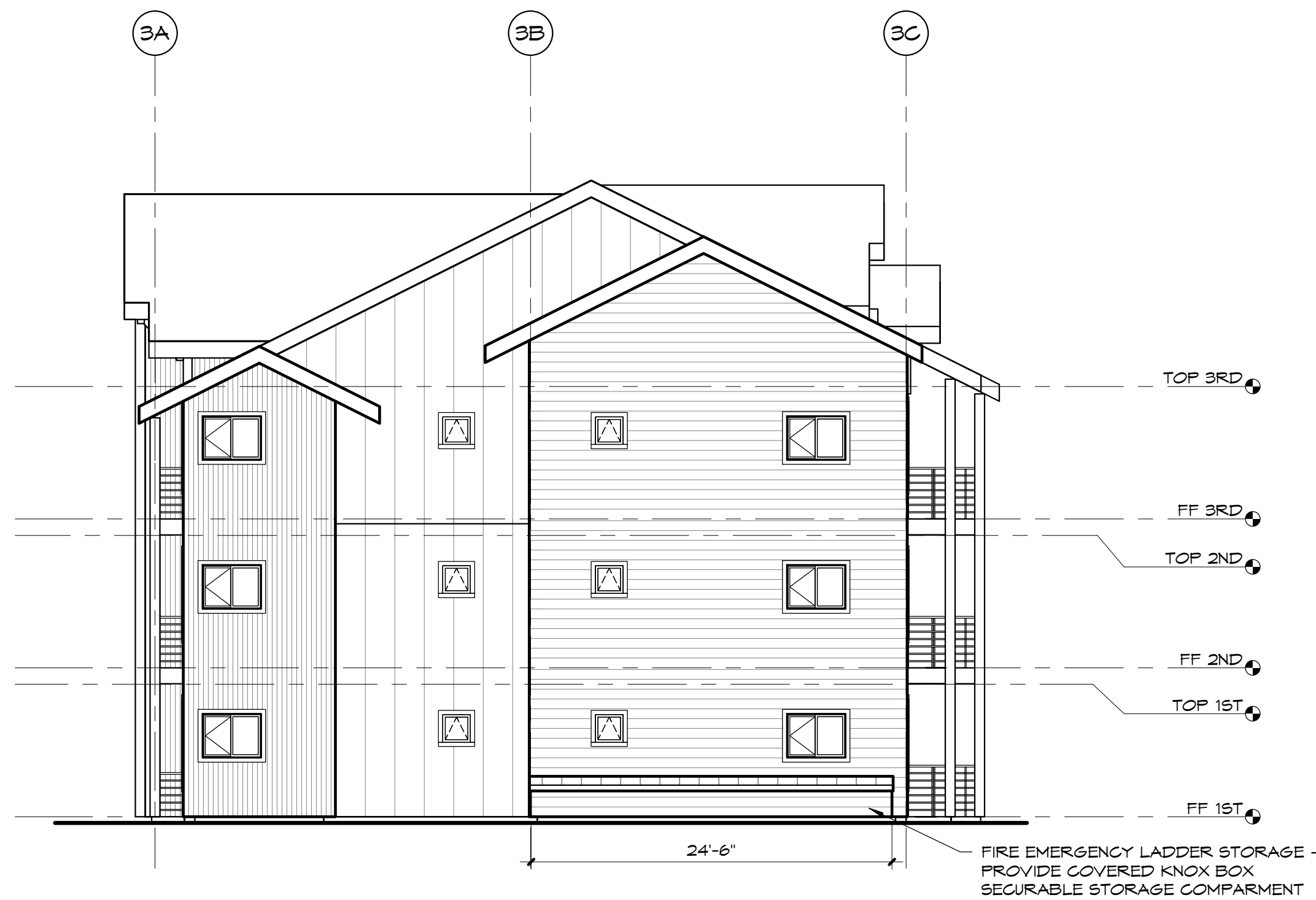
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1 BUILDING E - FRONT ELEVATION
1/8" = 1'-0"



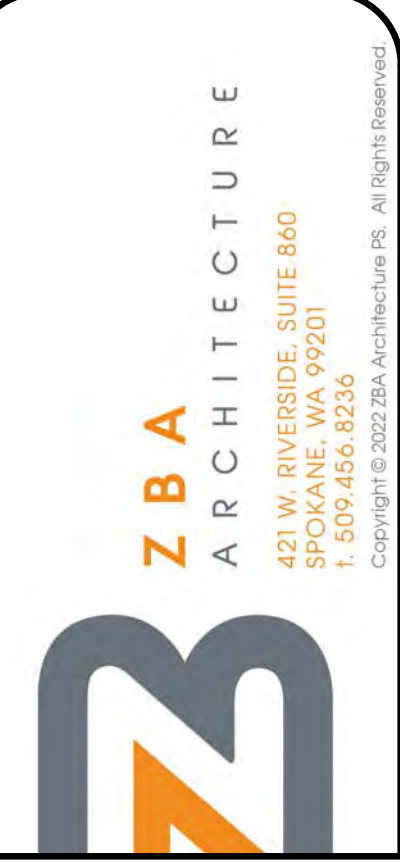
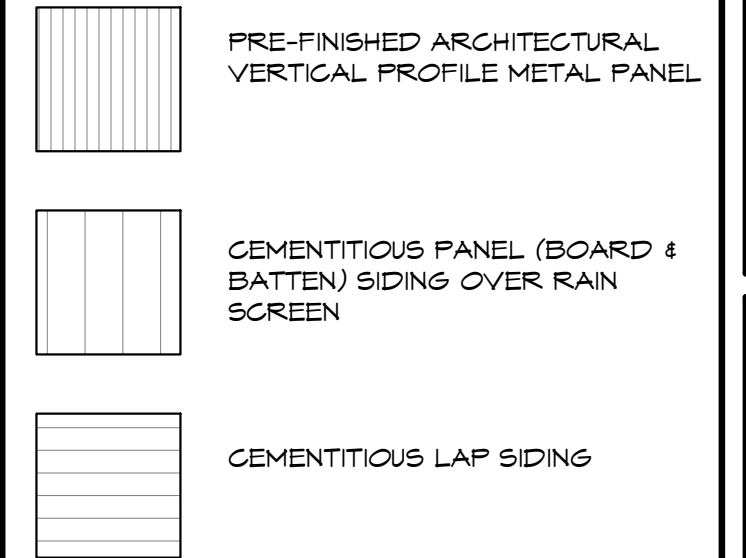
2 BUILDING E - SIDE LEFT ELEVATION
1/8" = 1'-0"



3 BUILDING E - SIDE RIGHT ELEVATION
1/8" = 1'-0"

EXTERIOR FINISH LEGEND

1. ALL MATERIALS AND FINISHES WRAP TO NEAREST INSIDE CORNER, UNO.
2. METAL ROOF FLASHING/D RIP EDGE SHALL BE PAINTED TO MATCH MATERIAL BENEATH.
3. FOR THE PURPOSE OF BIDDING ASSUME EACH SIDING STYLE, AS DESIGNATED BELOW, WILL BE PAINTED A DIFFERENT COLOR. FINAL PAINT SCHEDULE TO BE COORDINATED WITH OWNER.



NO.	DATE	BY

BUILDING E - EXTERIOR ELEVATIONS

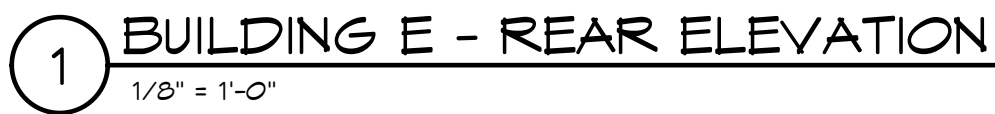
SHEET TITLE

SEAL

PROJECT TITLE
PONDERAY PLAZA APARTMENTS - PHASE TWO
PONDERAY, IDAHO
EASTMARK CAPITAL GROUP

PROJECT NO. 2134.01
DRAWN: TWG
CHECKED: WAF
DATE: 05/27/2022
DRAWING NO.

A204



PRE-FINISHED ARCHITECTURAL
VERTICAL PROFILE METAL PANEL

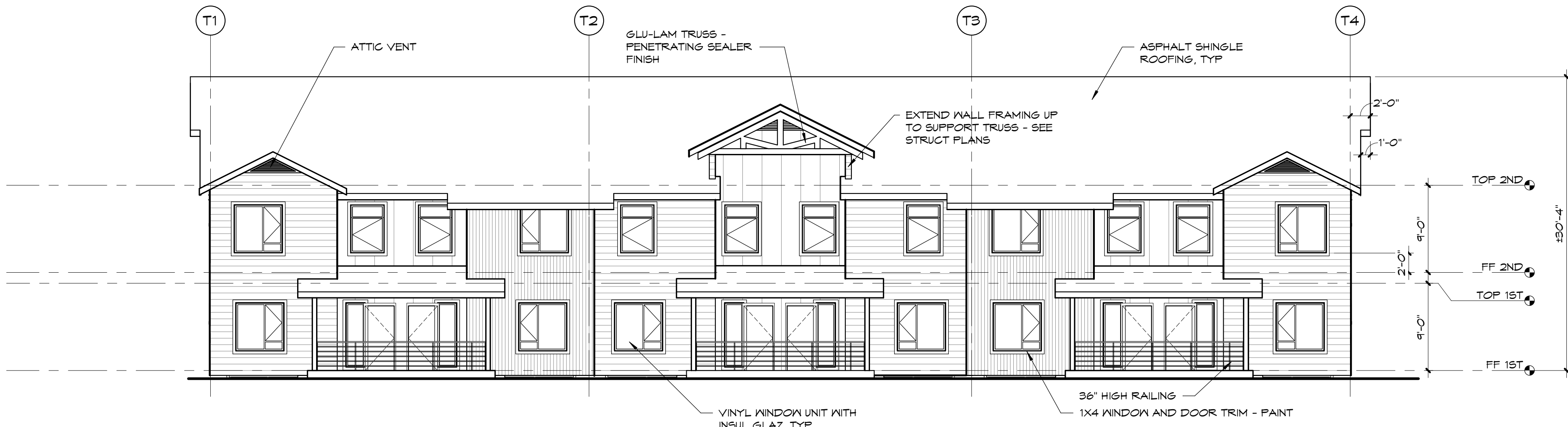
O.	DATE	BY
REVISIONS		

BUILDING E - EXTERIOR ELEVATIONS

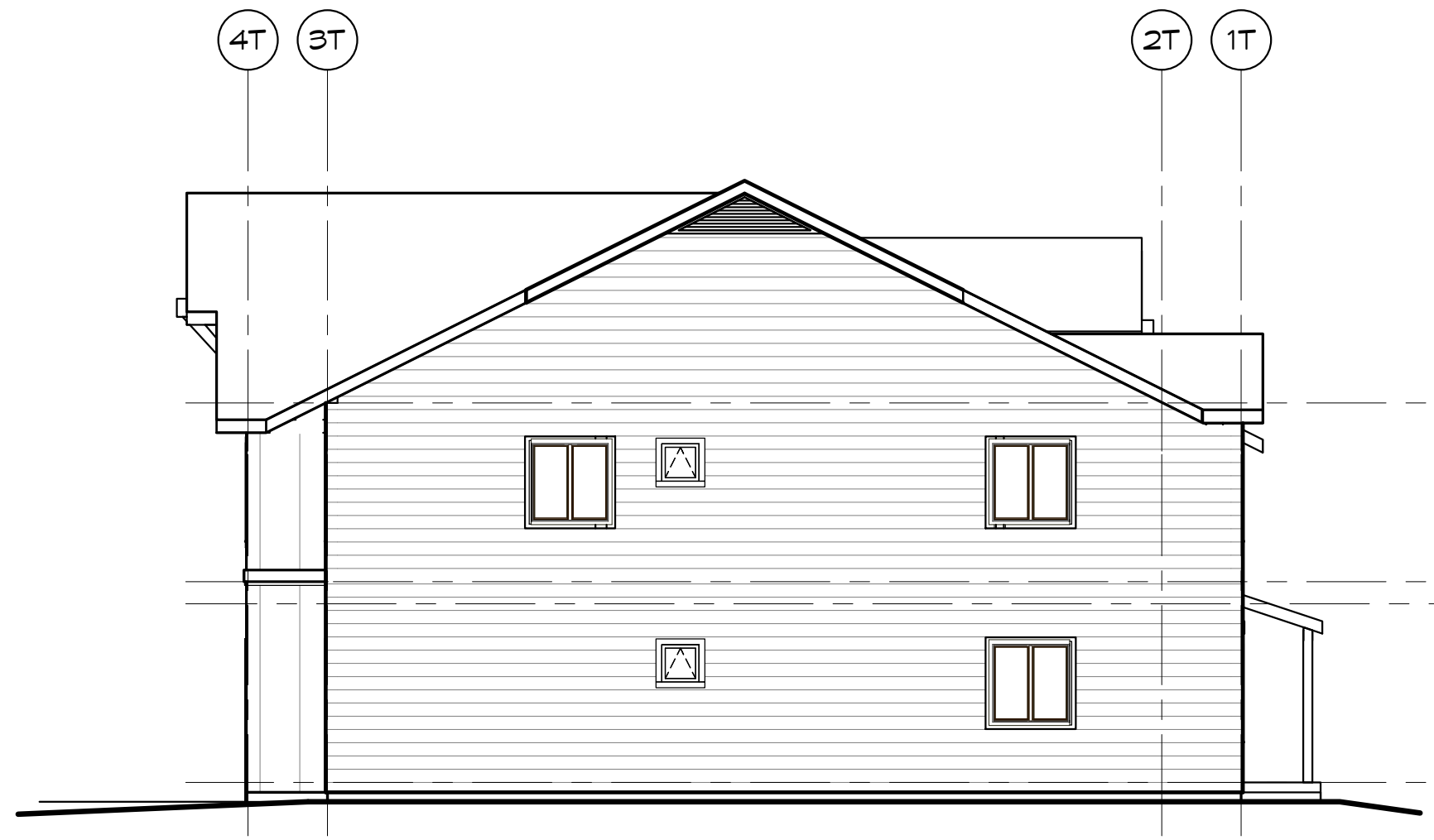
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PONDERAY PLAZA APARTMENTS -
PHASE TWO
PONDERAY, IDAHO
EASTMARK CAPITAL GROUP

PROJECT NO.	2134.01
DRAWN:	TWG
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DATE:	05/27/2022
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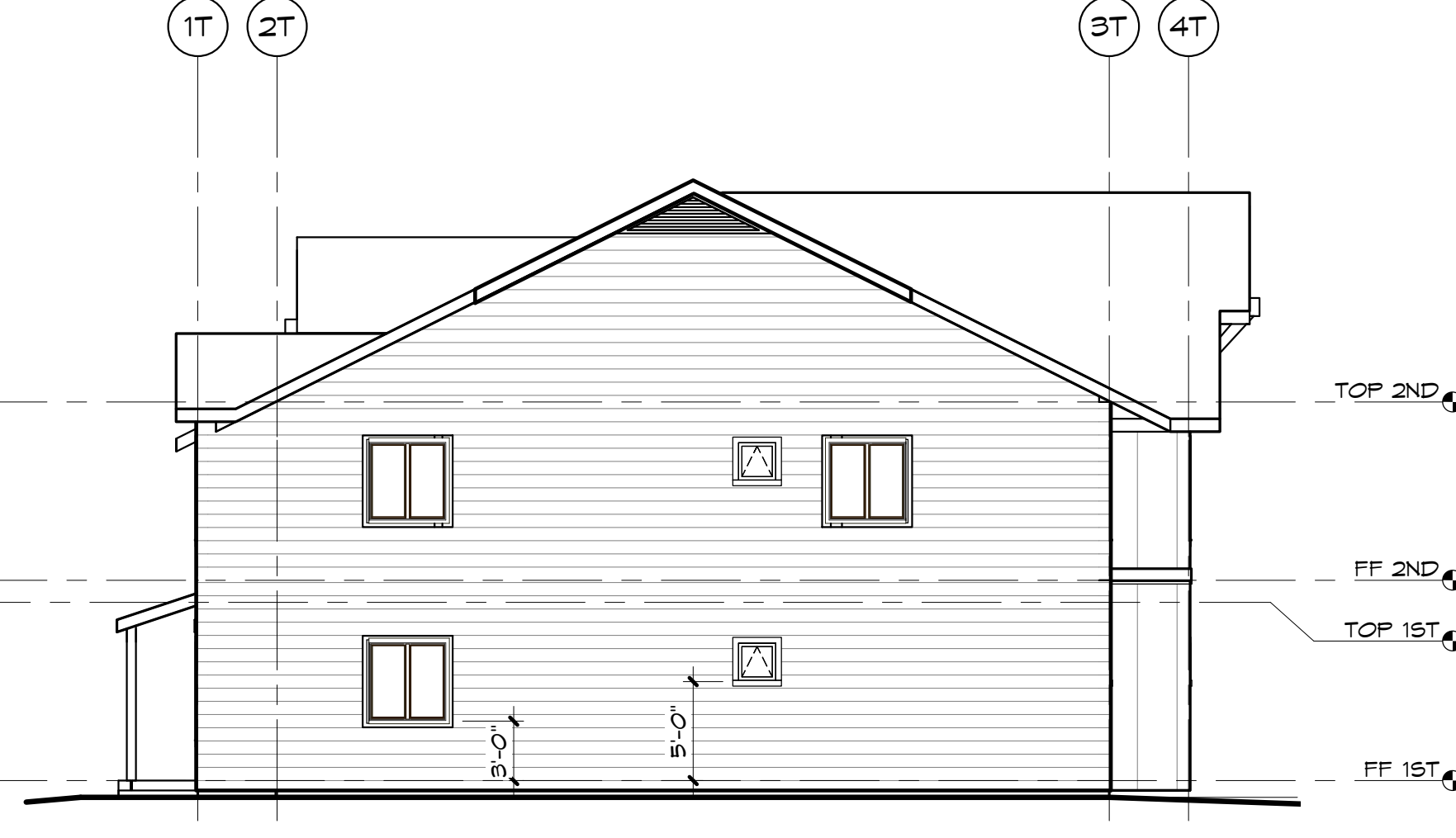
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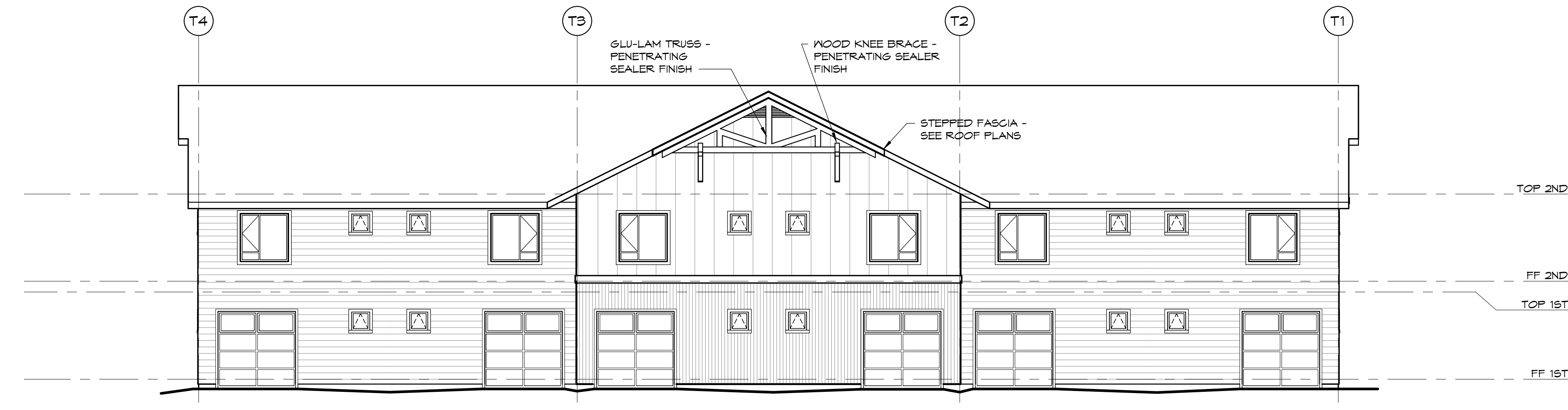
1 BUILDINGS G,H & J FRONT ELEVATION
1/8" = 1'-0"



2 BUILDINGS G, H & J LEFT ELEVATION
1/8" = 1'-0"



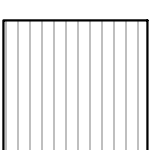
3 BUILDINGS G,H & J RIGHT ELEVATION
1/8" = 1'-0"



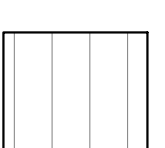
4 BUILDINGS G, H & J REAR ELEVATION
1/8" = 1'-0"

EXTERIOR FINISH
LEGEND

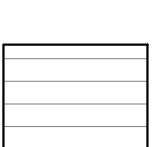
1. ALL MATERIALS AND FINISHES WRAP TO NEAREST INSIDE CORNER, UNO.
2. METAL ROOF FLASHING/D RIP EDGE SHALL BE PAINTED TO MATCH MATERIAL BENEATH.
3. FOR THE PURPOSE OF BIDDING ASSUME EACH SIDING STYLE, AS DESIGNATED BELOW, WILL BE PAINTED A DIFFERENT COLOR. FINAL PAINT SCHEDULE TO BE COORDINATED WITH OWNER.



PRE-FINISHED ARCHITECTURAL VERTICAL PROFILE METAL PANEL




CEMENTITIOUS PANEL (BOARD & BATTEN) SIDING OVER RAIN SCREEN



CEMENTITIOUS LAP SIDING

ZBA ARCHITECTURE



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SPOKANE, WA 99201
T. 509.456.8236
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BUILDING G,H & J EXTERIOR ELEVATIONS

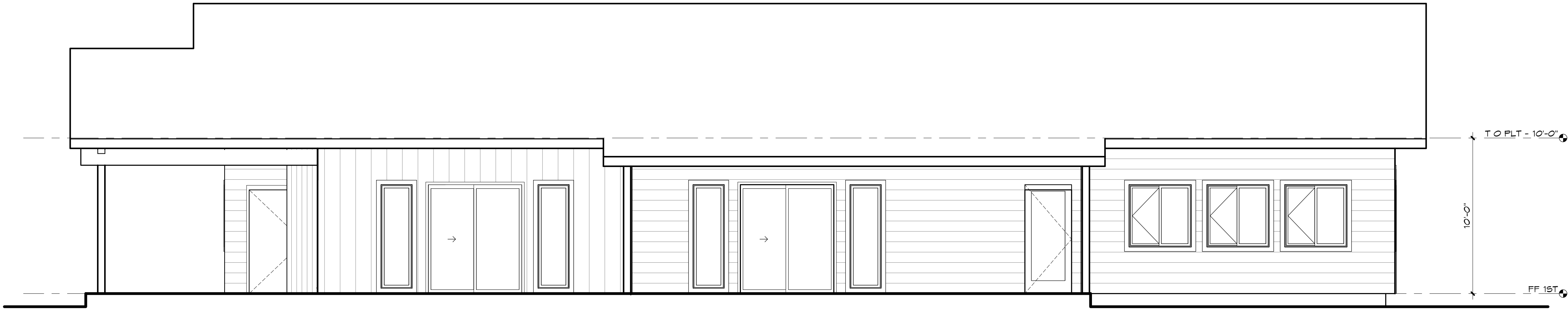
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PONDERAY PLAZA APARTMENTS -
PHASE TWO
PONDERAY, IDAHO
EASTMARK CAPITAL GROUP

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	DRAWING NO.	

A206

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1 COMMUNITY BUILDING REAR ELEVATION
1/4" = 1'-0"



2 COMMUNITY BUILDING SIDE LEFT ELEVATION
1/4" = 1'-0"

EXTERIOR FINISH
LEGEND

1. ALL MATERIALS AND FINISHES WRAP TO NEAREST INSIDE CORNER, UNO.
2. METAL ROOF FLASHING/D RIP EDGE SHALL BE PAINTED TO MATCH MATERIAL BENEATH.
3. FOR THE PURPOSE OF BIDDING ASSUME EACH SIDING STYLE, AS DESIGNATED BELOW, WILL BE PAINTED A DIFFERENT COLOR. FINAL PAINT SCHEDULE TO BE COORDINATED WITH OWNER.

- PRE-FINISHED ARCHITECTURAL VERTICAL PROFILE METAL PANEL
- CEMENTITIOUS PANEL (BOARD & BATTEN) SIDING OVER RAIN SCREEN
- CEMENTITIOUS LAP SIDING



NO.	DATE	BY

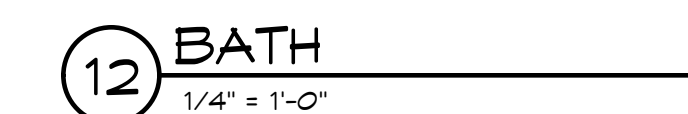
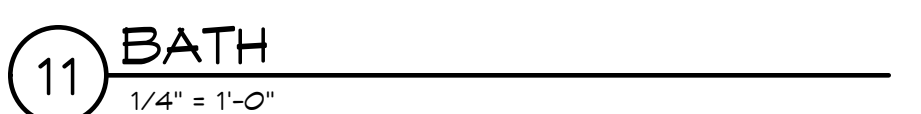
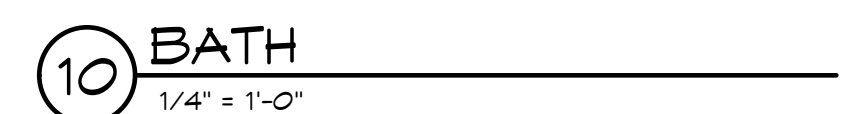
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COMMUNITY BUILDING EXTERIOR ELEVATIONS

PROJECT TITLE
PONDERAY PLAZA APARTMENTS -
PHASE TWO
PONDERAY, IDAHO
EASTMARK CAPITAL GROUP

SEAL

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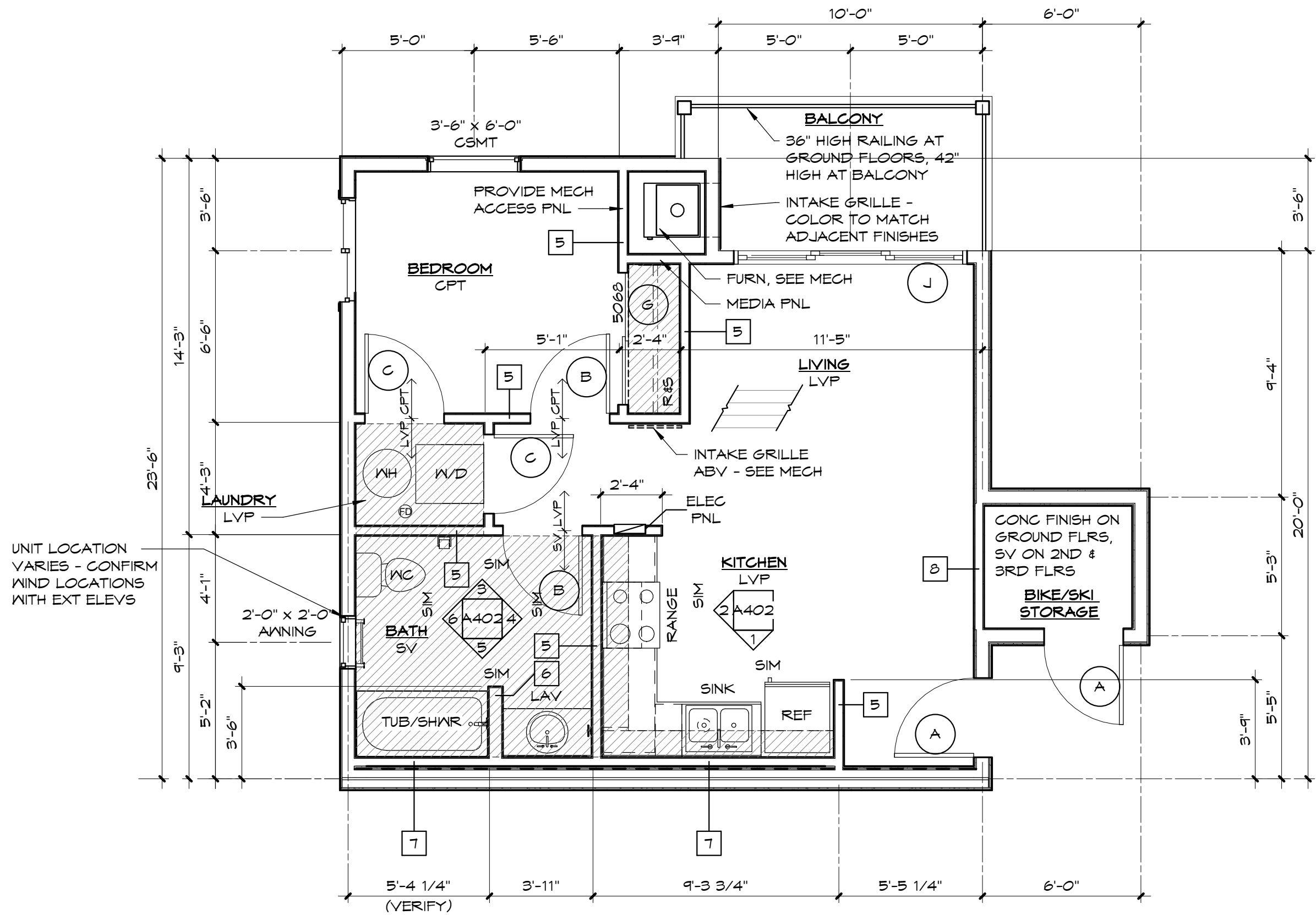
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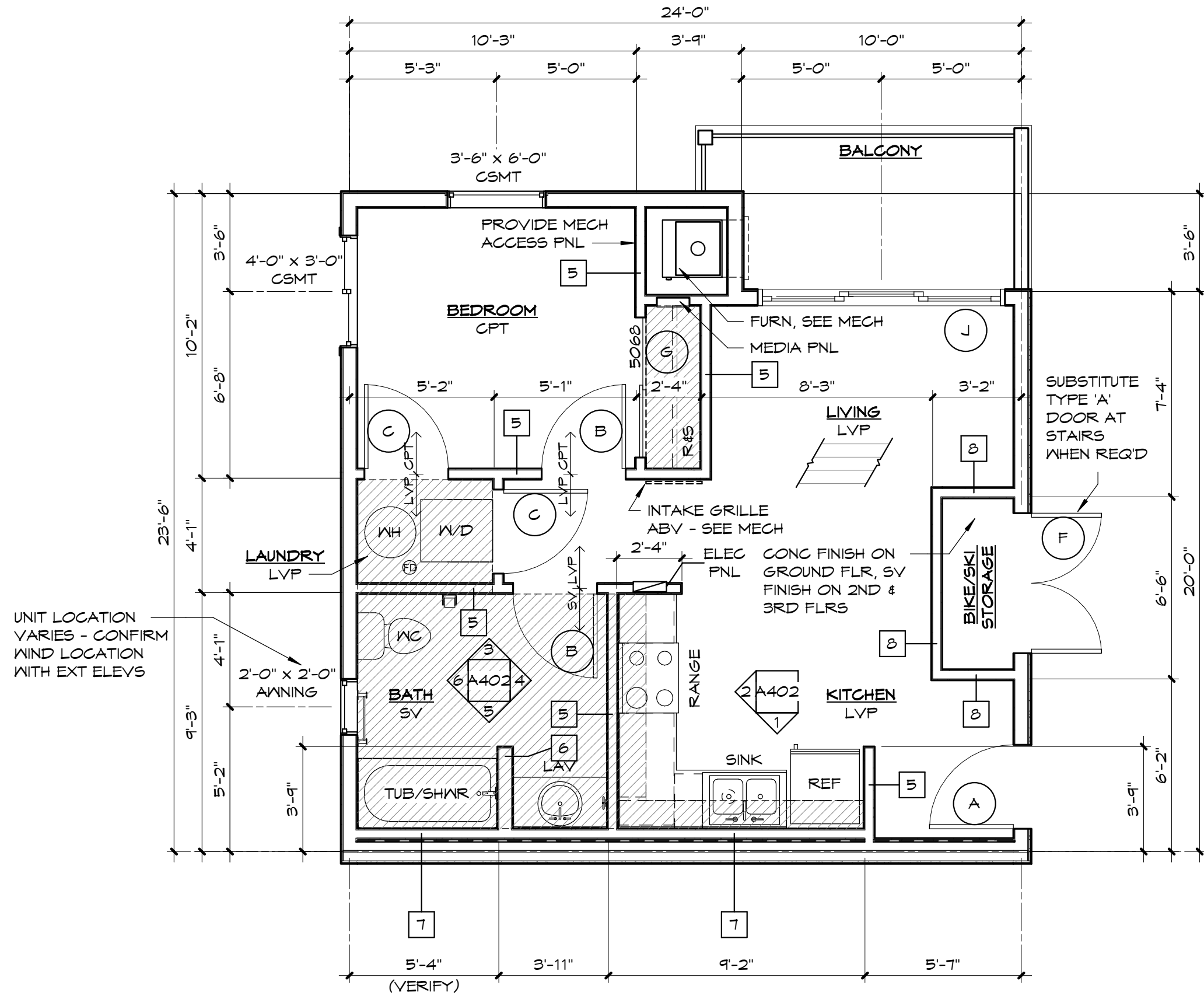
UNIT LOCATIONS
VARY - CONFIRM
WIND. LOCATIONS
WITH EXTERIOR
ELEV



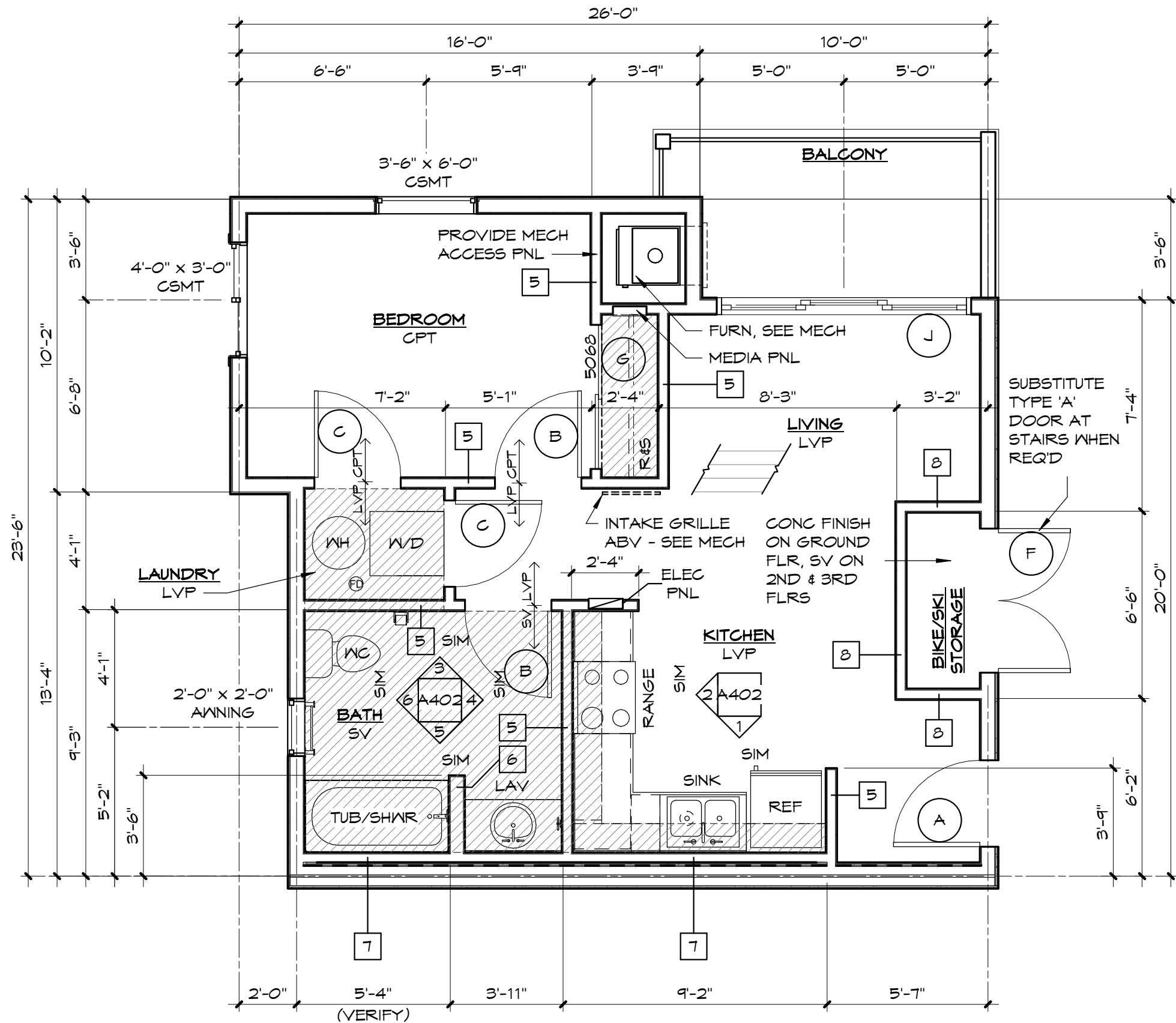
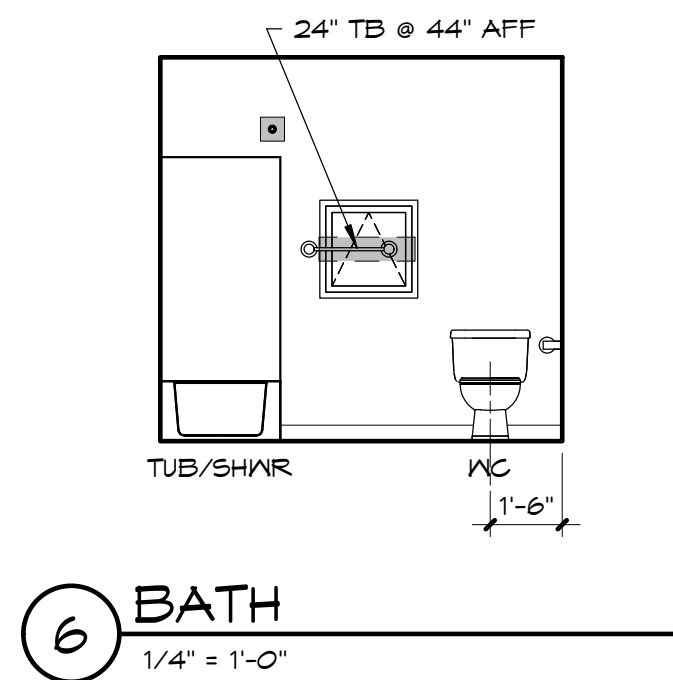
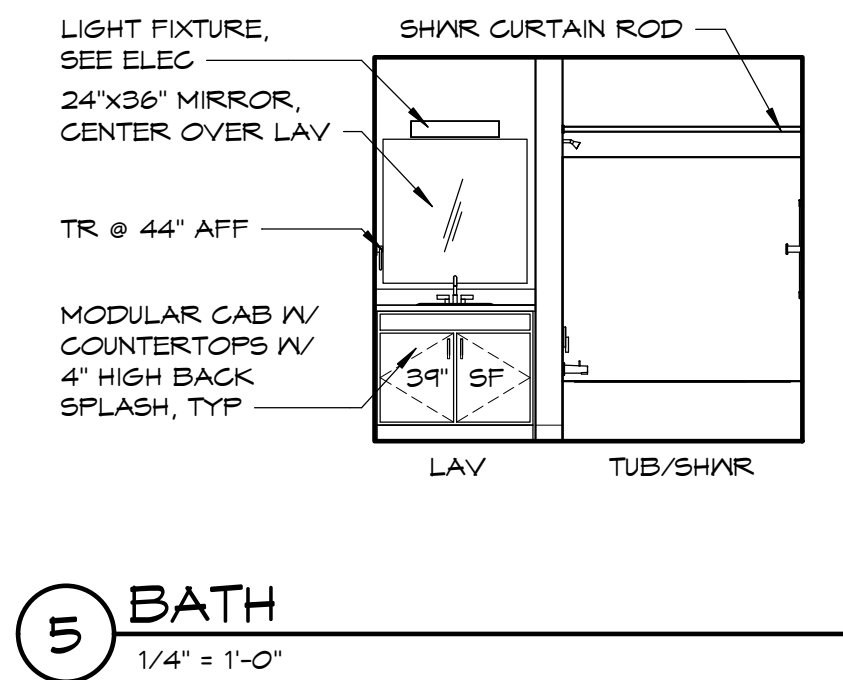
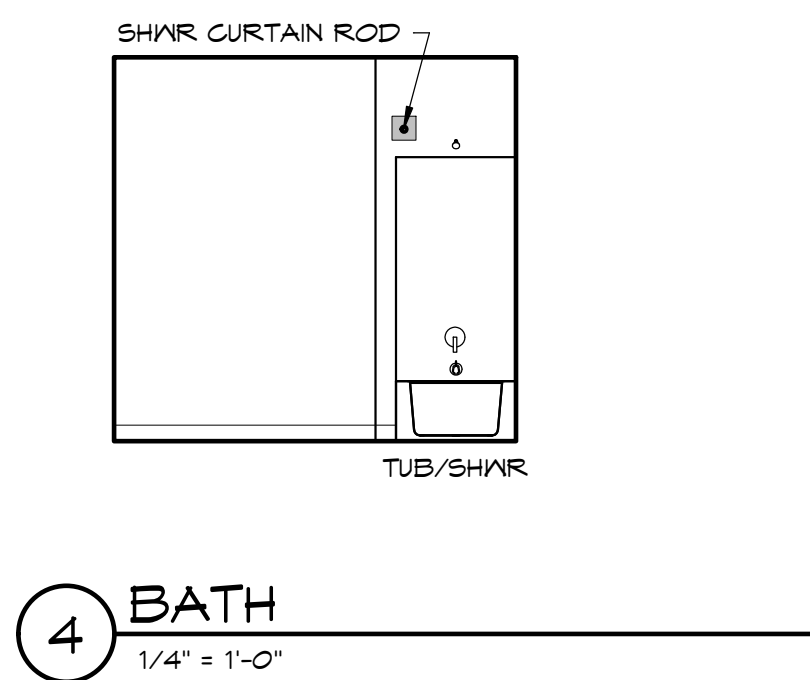
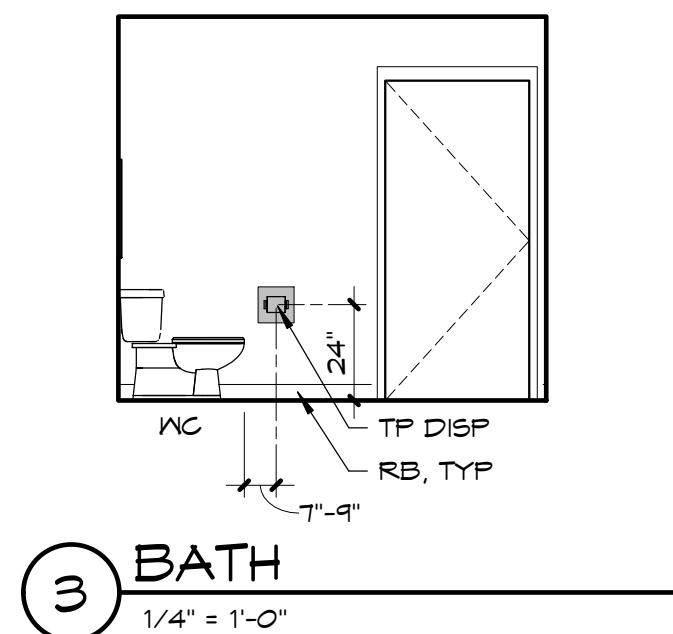
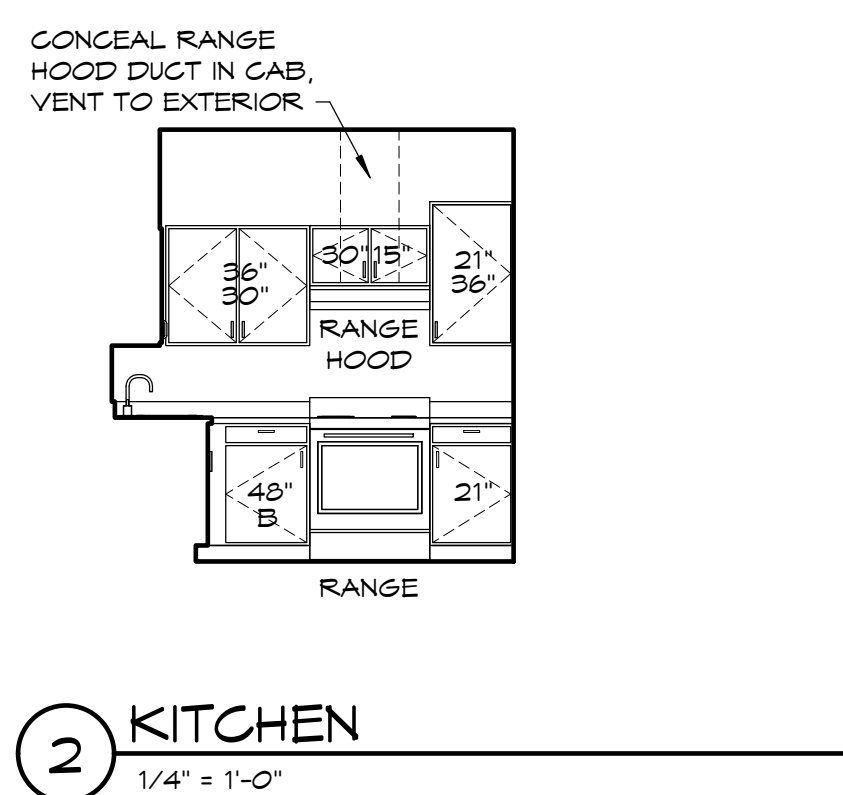
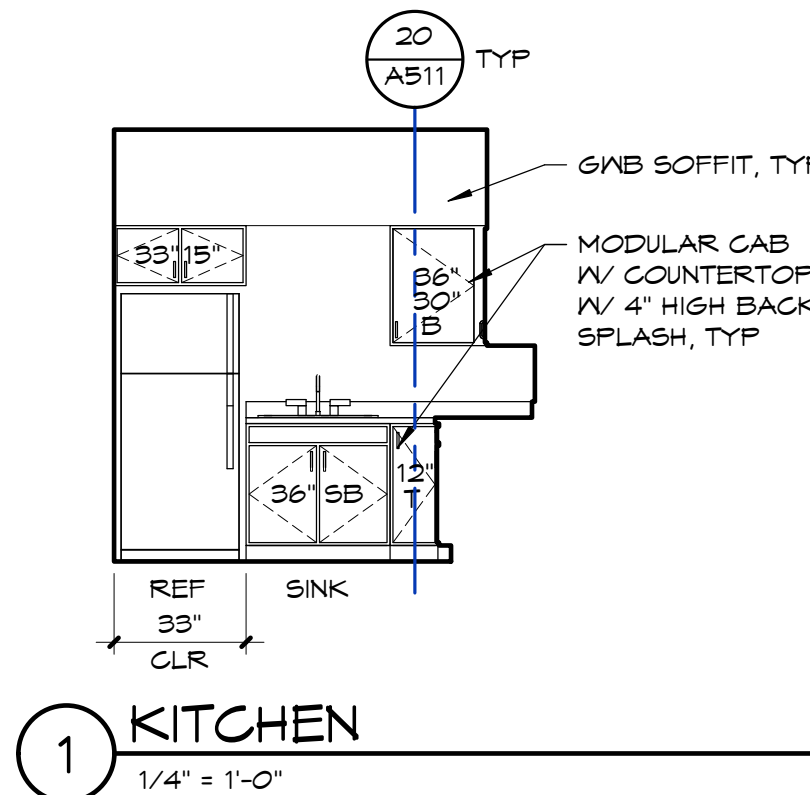
- [illegible]



C ONE BEDROOM END REAR UNIT
1/4" = 1'-0" MEETS TYPE 'B' REQUIREMENTS W/LAUNDRY - SEE A401 AREA: 586 SF



A TYPICAL ONE BEDROOM UNIT - 2ND & 3RD FLOORS
1/4" = 1'-0" AREA: 529 SF



B ONE BEDROOM END UNIT
1/4" = 1'-0" AREA: 555 SF

UNIT PLAN NOTES

- ALL WATER PIPING TO RUN IN INTERIOR WALLS OR JOIST SPACE BETWEEN UNITS. NO PIPING SHALL BE INSTALLED IN ATTIC EXTERIOR WALLS OR UNDER-SLAB EXCEPT FOR UNDER-SLAB SERVICE LINE, AND INSULATED FIRE SPRINKLER PIPING IN ATTIC AS NECESSARY.
- FIRST FLOOR UNITS ONLY, PROVIDE 2X SOLID BLOCKING (SHOWN SHADED, TYP) FOR FUTURE INSTALLATION OF GRAB BARS, AS SHOWN AT TYPE 'B' BATHROOM ELEVATIONS.
- CLOSET FINISHES SAME AS ADJACENT ROOM.
- AT FLOOR PLANS, FD = FLOOR DRAIN, SV = SHEET VINYL, CPT = CARPET, LVP = LUXURY VINYL PLANK, CONC = CONCRETE
- AT INTERIOR ELEVATIONS, SF = REMOVABLE SINK FRONT, SB = SINK BASE CABINET, D = DRAWER, T = TRAY CABINET, B = BLIND CORNER CABINET
- PROVIDE 2X SOLID BLOCKING (SHOWN SHADED, TYP) BETWEEN STUDS AT ALL TOILET BAR LOCATIONS.
- PROVIDE LEVER STYLE DOOR HARDWARE AT ALL GROUND FLOOR UNITS.
- ALL EXHAUST FANS, RANGE HOODS, & CLOTHES DRYERS SHALL EXHAUST TO THE EXTERIOR & SHALL TERMINATE IN OUTLET CAPS/LOUVERS. OUTLET CAPS/LOUVERS SHALL BE LOCATED AT LEAST 3 FEET FROM OPERABLE WINDOW SASHES & DOORS.
- SEE SHEET A406 FOR FINISH SCHEDULE AND DOOR SCHEDULE
- SEE SHEET A405 FOR OPTIONAL AND/OR ALTERNATE LAYOUTS

CEILING LEGEND

- 9'-0" GYP BD CEILING
- 8'-0" GYP BD CEILING PROVIDE CHASE FOR MECHANICAL

ELEVATION LEGEND

- 2X BLOCKING REQUIRED AT TYPE 'B' UNITS ONLY (FIRST FLOOR)

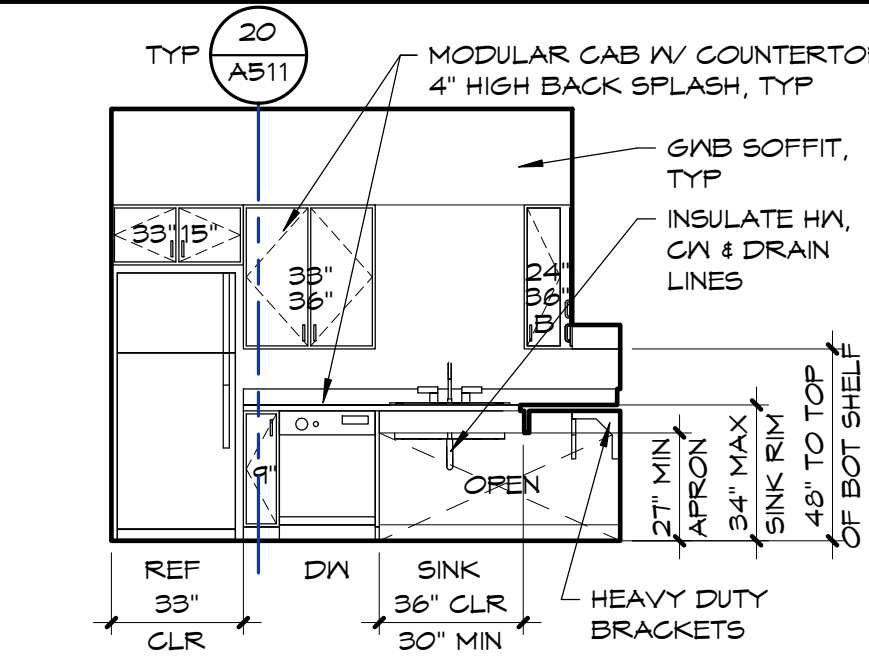
ZBA ARCHITECTURE
421 W. RIVERSIDE, SUITE 840
SPOKANE, WA 99201
T. 509.456.8236
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NO.	DATE	BY

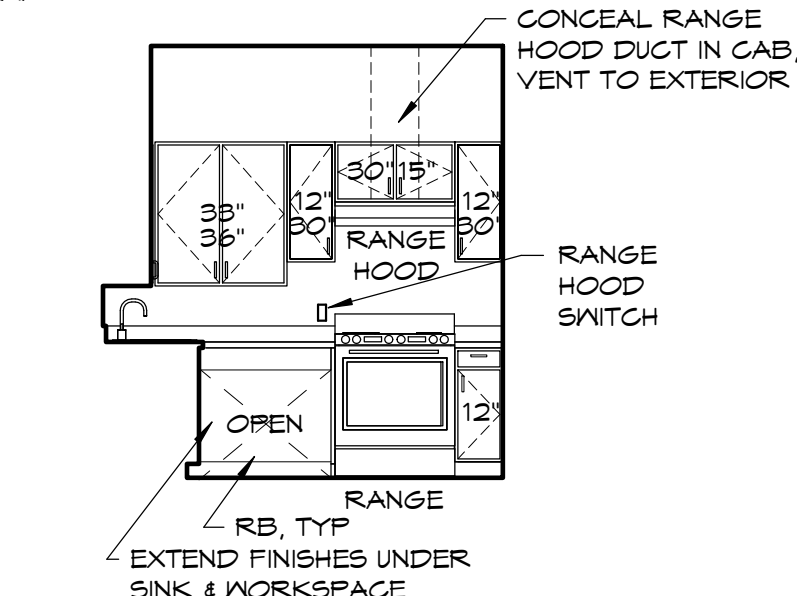
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PROJECT TITLE: PONDERAY PLAZA APARTMENTS - PHASE TWO
PONDERAY, IDAHO
EASTMARK CAPITAL GROUP

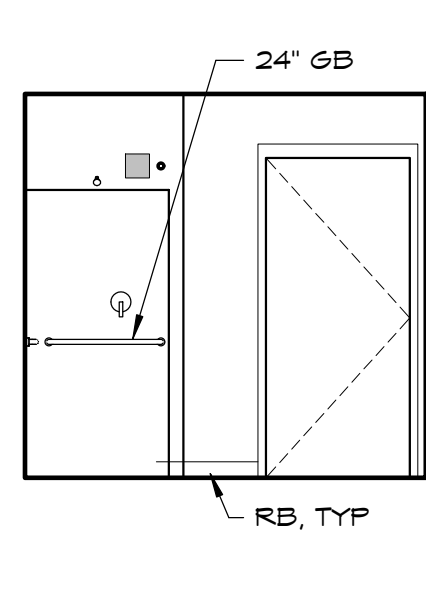
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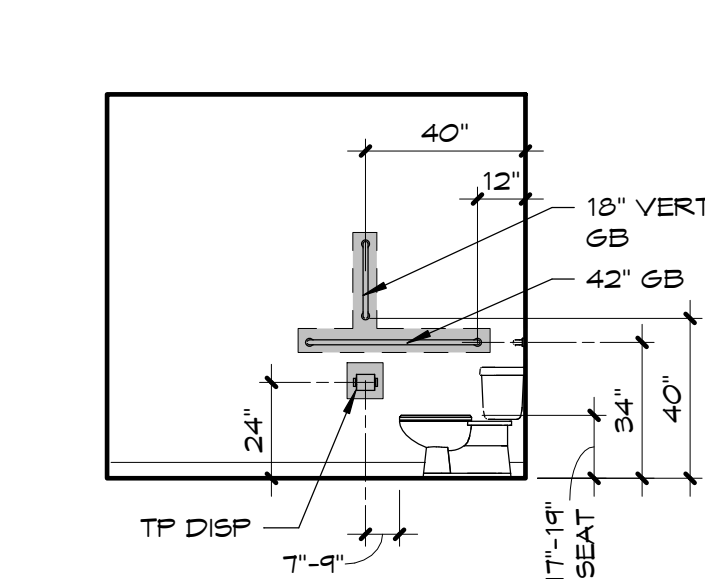
1 TYPE A' KITCHEN
1/4" = 1'-0"



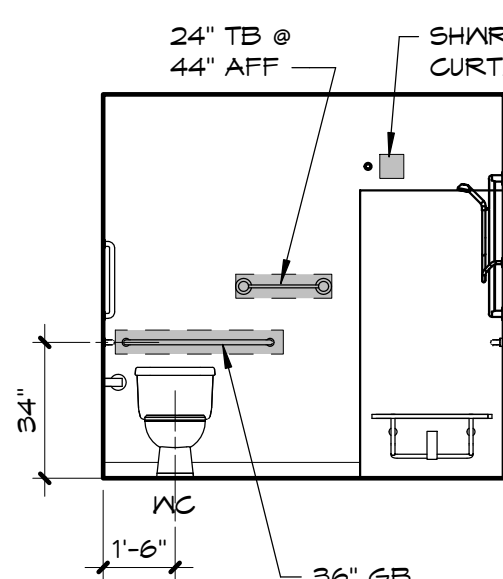
2 TYPE A' KITCHEN
1/4" = 1'-0"



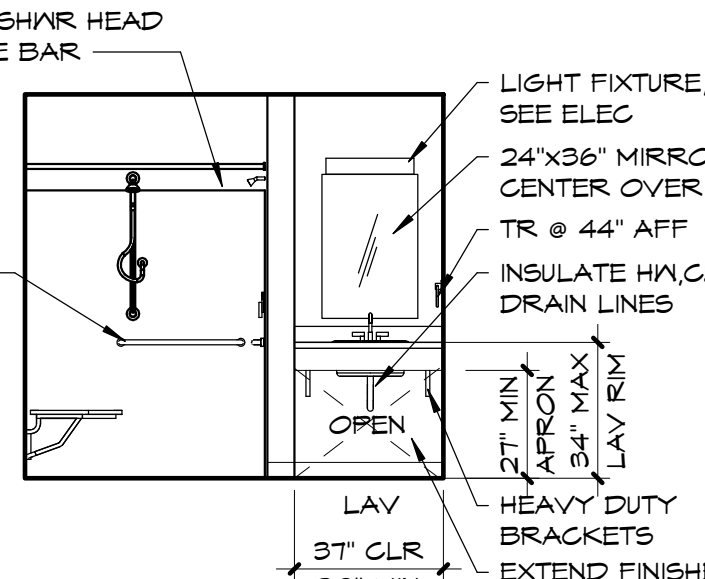
3 TYPE A' BATH
1/4" = 1'-0"



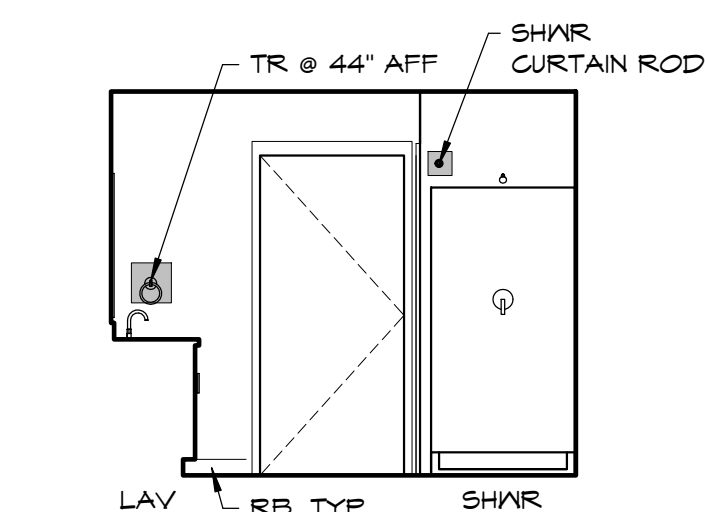
4 TYPE A' BATH
1/4" = 1'-0"



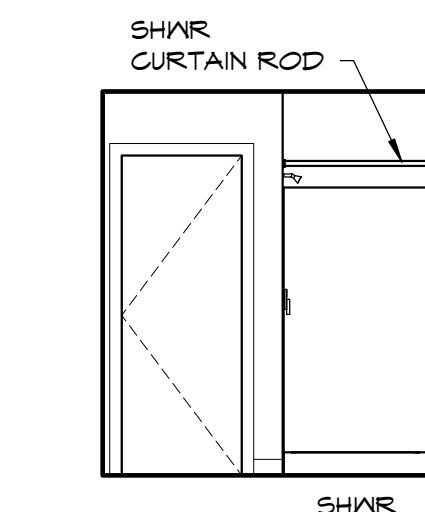
5 TYPE A' BATH
1/4" = 1'-0"



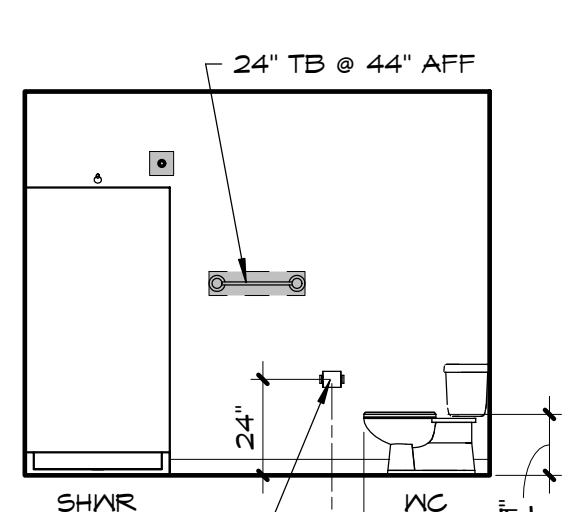
6 TYPE A' BATH
1/4" = 1'-0"



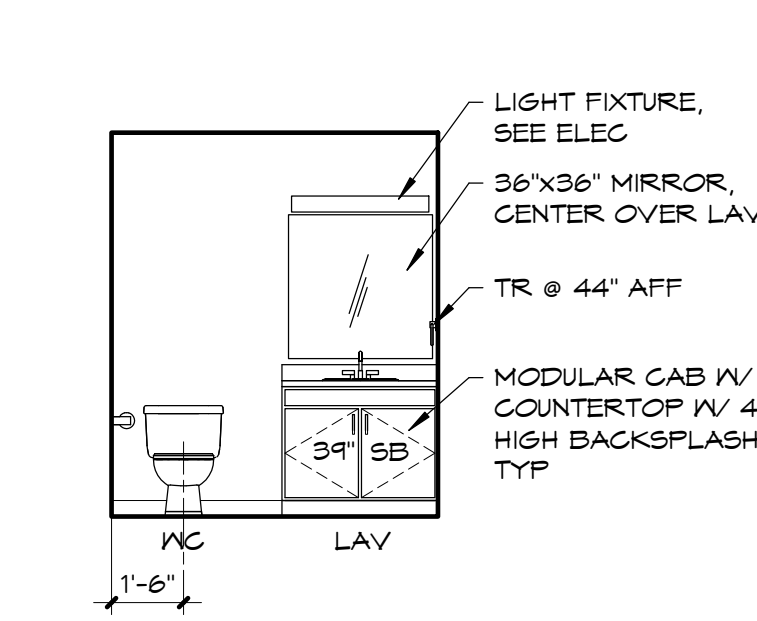
7 MASTER BATH
1/4" = 1'-0"



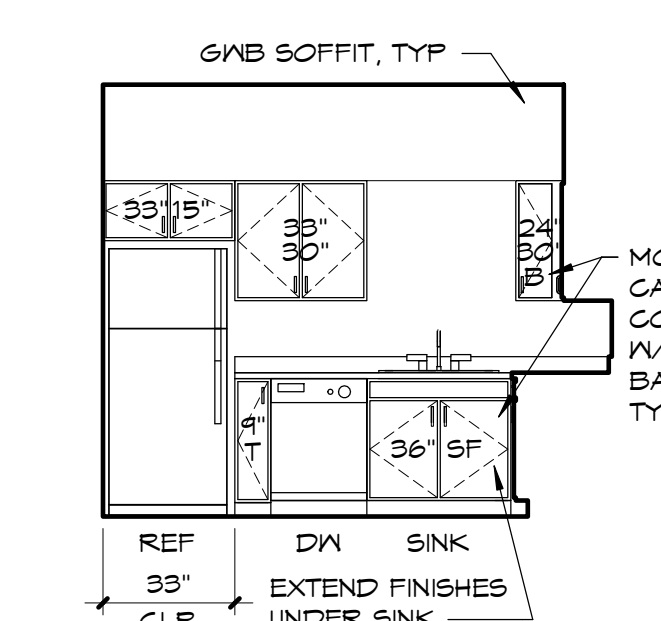
8 MASTER BATH
1/4" = 1'-0"



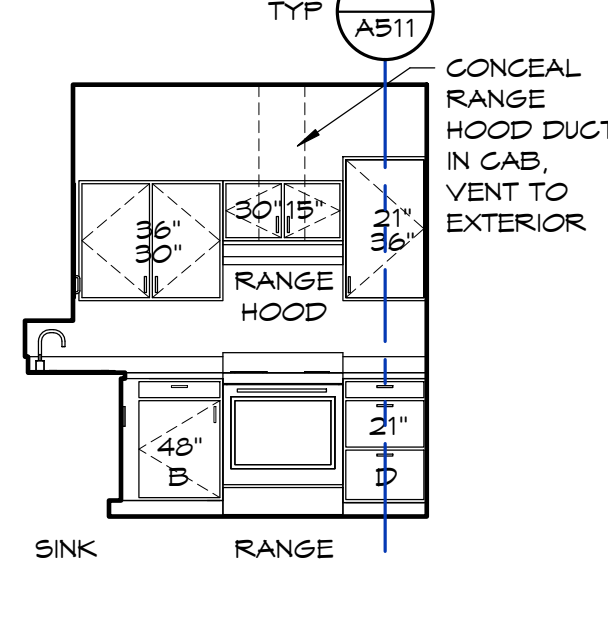
9 MASTER BATH
1/4" = 1'-0"



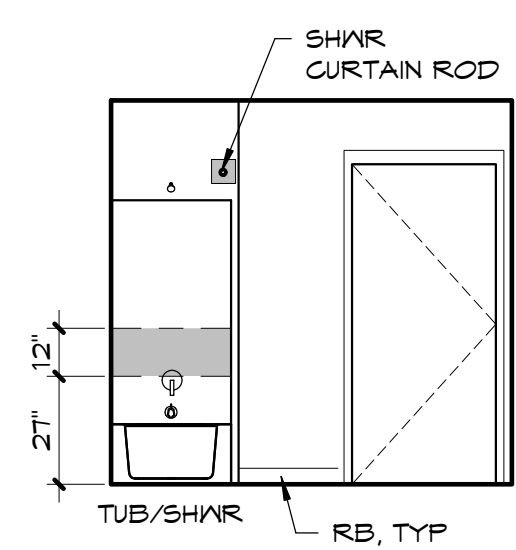
10 MASTER BATH
1/4" = 1'-0"



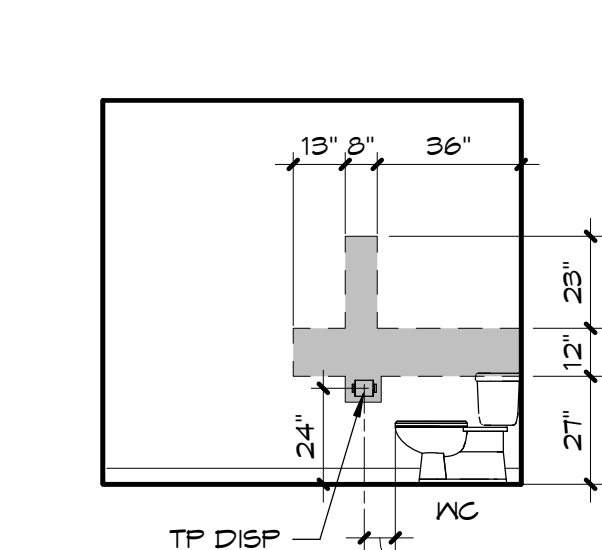
11 KITCHEN
1/4" = 1'-0"



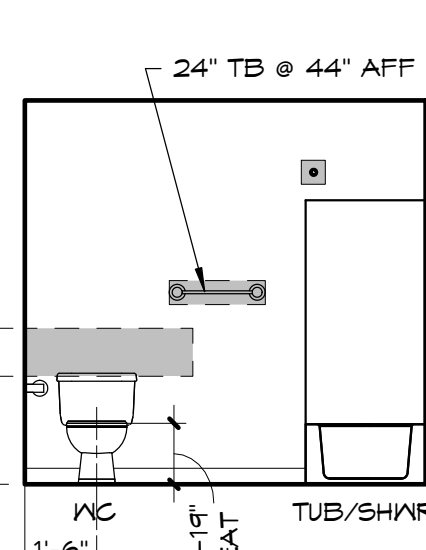
12 KITCHEN
1/4" = 1'-0"



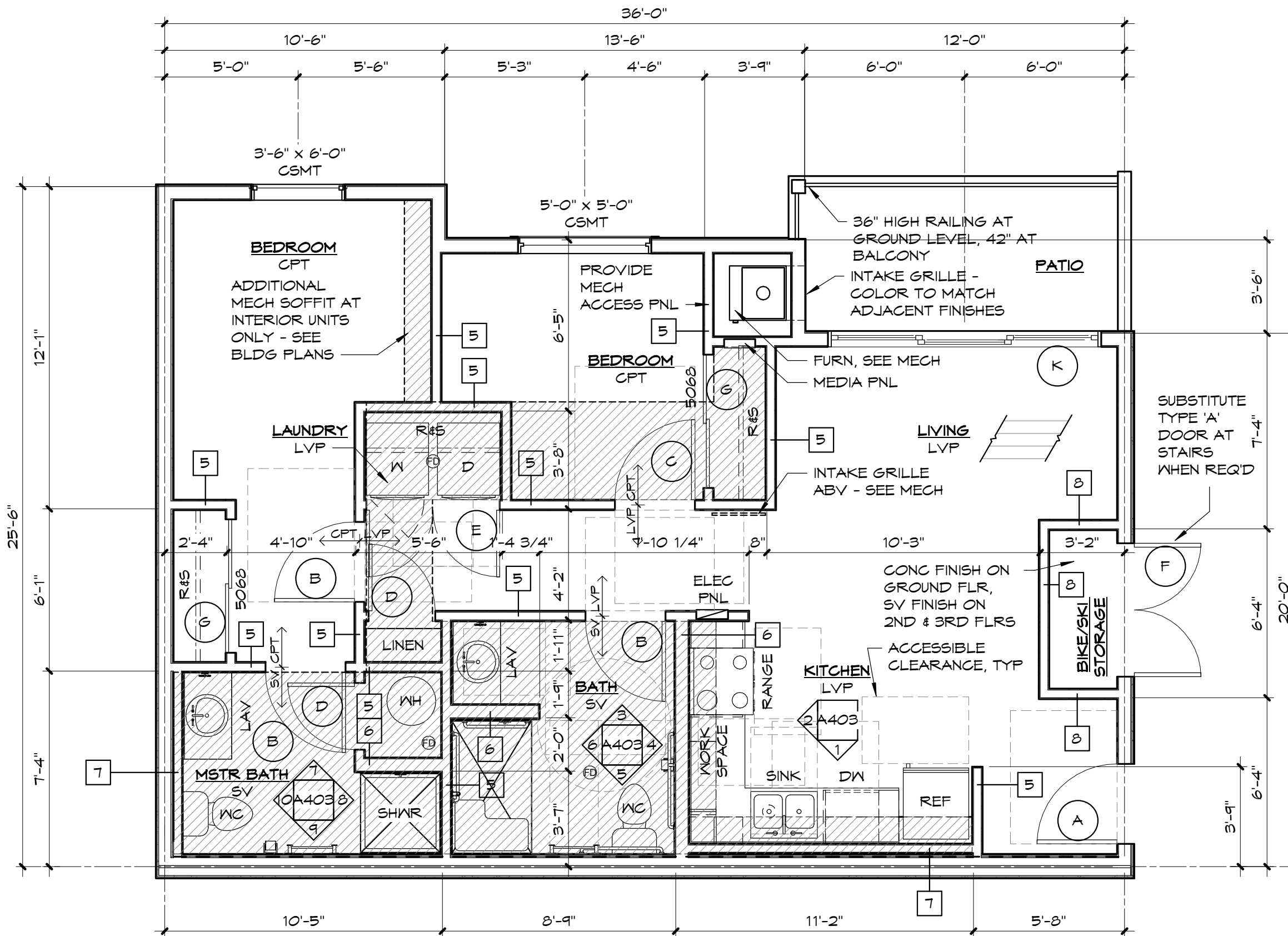
13 BATH
1/4" = 1'-0"



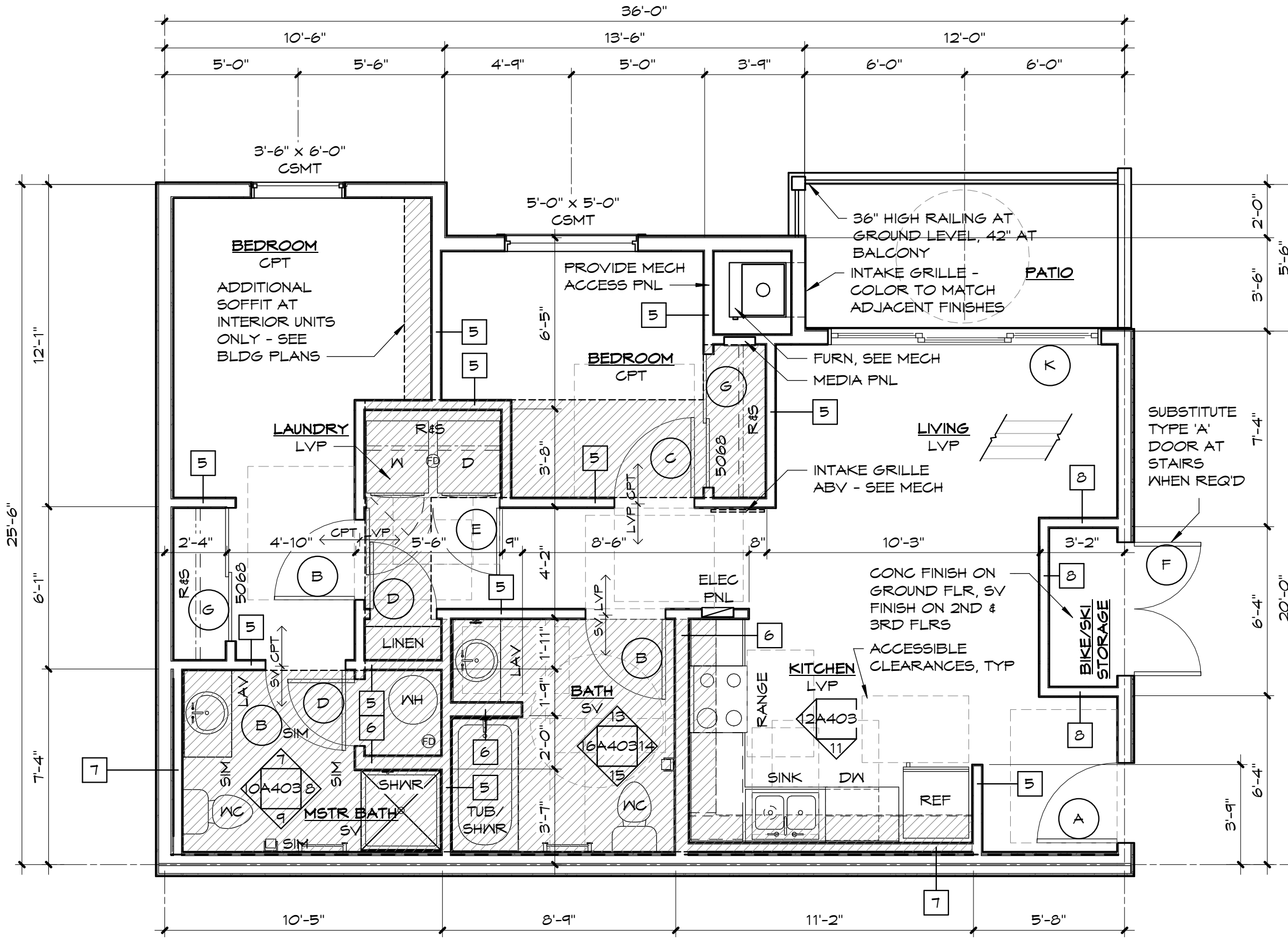
14 BATH
1/4" = 1'-0"



15 BATH
1/4" = 1'-0"



A TWO BEDROOM 'TYPE A' UNIT
1/4" = 1'-0"

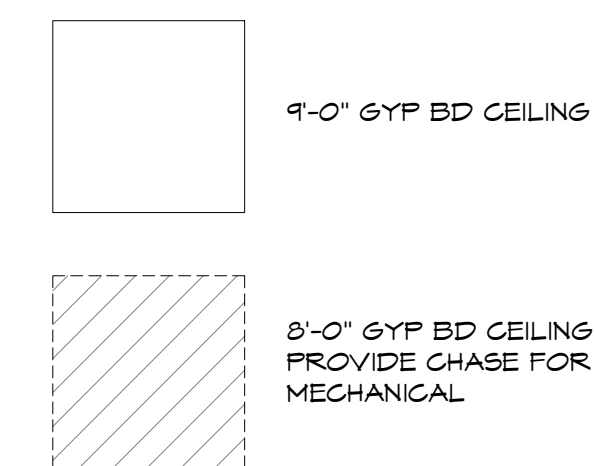


B TWO BEDROOM 'TYPE B' UNIT
1/4" = 1'-0"

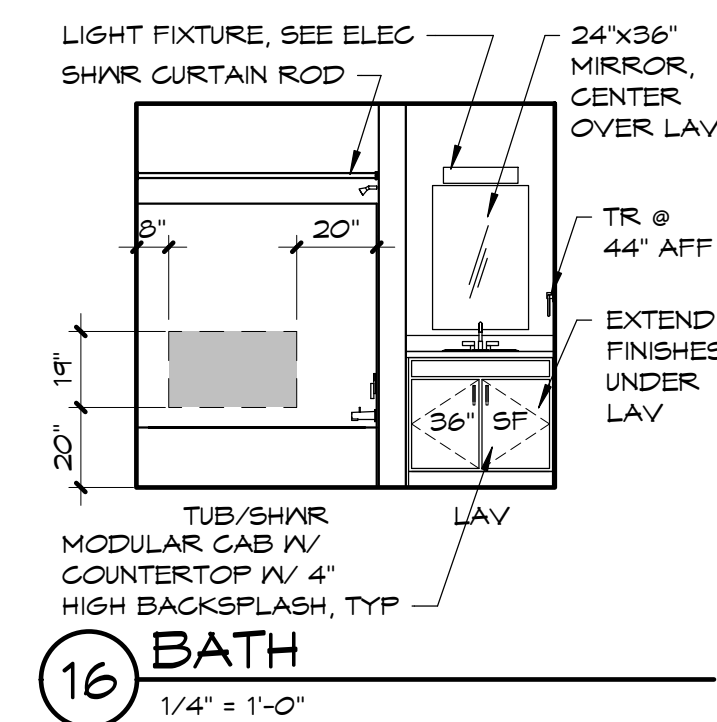
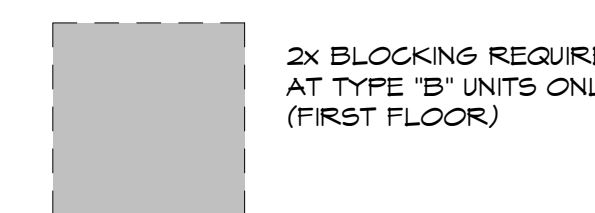
UNIT PLAN NOTES

- ALL WATER PIPING TO RUN IN INTERIOR WALLS OR JOIST SPACE BETWEEN UNITS. NO PIPING SHALL BE INSTALLED IN ATTIC EXTERIOR WALLS OR UNDER-SLAB EXCEPT FOR UNDER-SLAB SERVICE LINE, AND INSULATED FIRE SPRINKLER PIPING IN ATTIC AS NECESSARY.
- FIRST FLOOR UNITS ONLY, PROVIDE 2x SOLID BLOCKING (SHOWN SHADED, TYP) FOR FUTURE INSTALLATION OF GRAB BARS, AS SHOWN AT TYPE 'B' BATHROOM ELEVATIONS.
- CLOSET FINISHES SAME AS ADJACENT ROOM.
- AT FLOOR PLANS, FD = FLOOR DRAIN, SV = SHEET VINYL, CPT = CARPET, LVP = LUXURY VINYL PLANK, CONC = CONCRETE
- AT INTERIOR ELEVATIONS, SF = REMOVABLE SINK FRONT, SB = SINK BASE CABINET, D = DRAWER, T = TRAY CABINET, B = BLIND CORNER CABINET
- PROVIDE 2x SOLID BLOCKING (SHOWN SHADED, TYP) BETWEEN STUDS AT ALL TOWEL BAR LOCATIONS.
- PROVIDE LEVER STYLE DOOR HARDWARE AT ALL GROUND FLOOR UNITS.
- ALL EXHAUST FANS, RANGE HOODS, & CLOTHES DRYERS SHALL EXHAUST TO THE EXTERIOR & SHALL TERMINATE IN OUTLET CAPS/LOUVERS. OUTLET CAPS/LOUVERS SHALL BE LOCATED AT LEAST 3 FEET FROM OPERABLE WINDOW SASHES & DOORS.
- SEE SHEET A406 FOR FINISH SCHEDULE AND DOOR SCHEDULE
- SEE SHEET A405 FOR OPTIONAL AND/OR ALTERNATE LAYOUTS

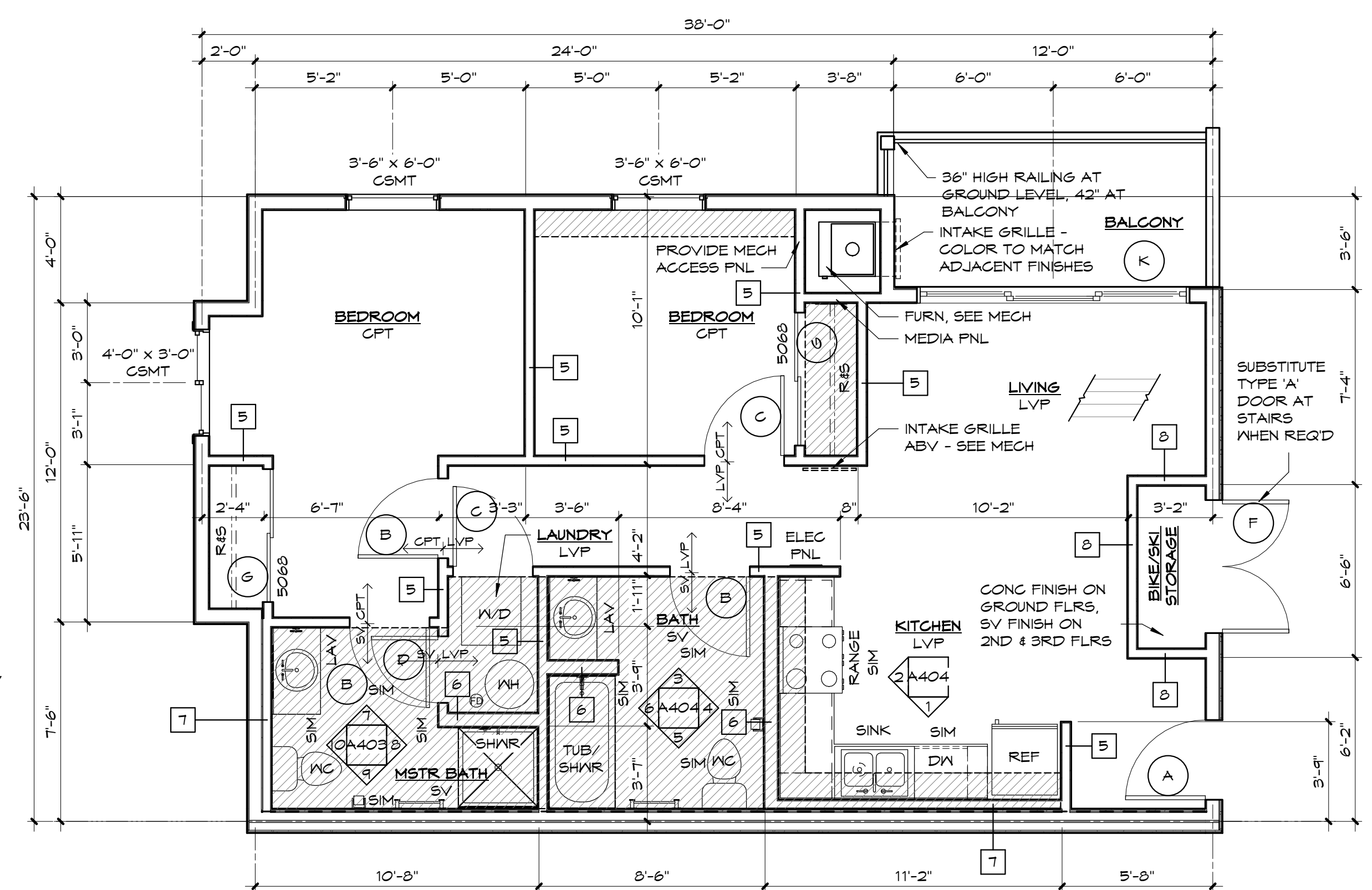
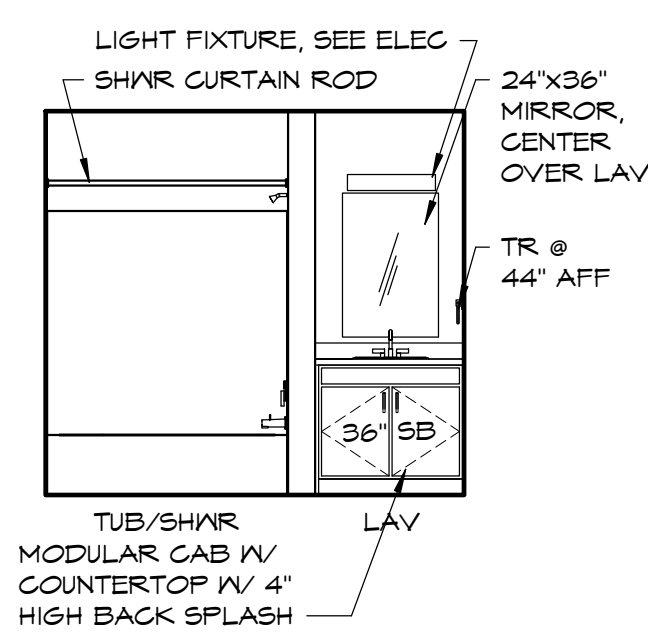
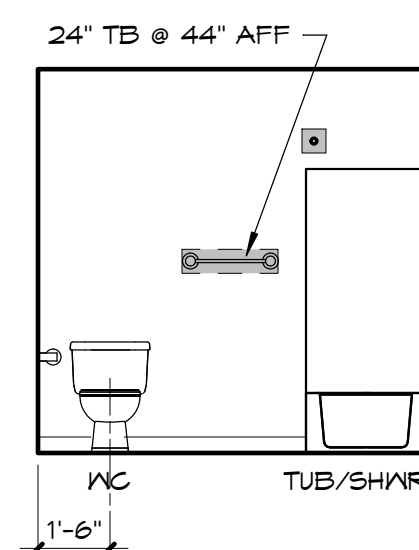
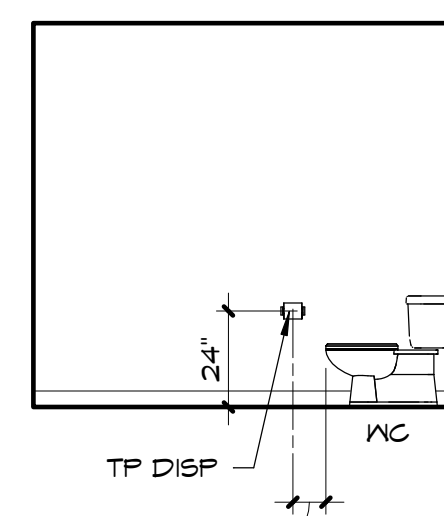
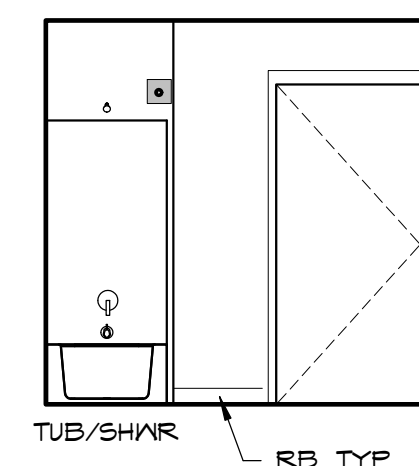
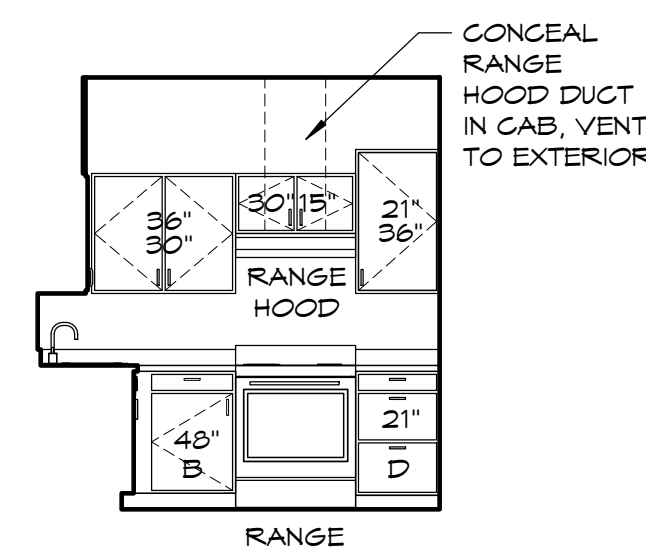
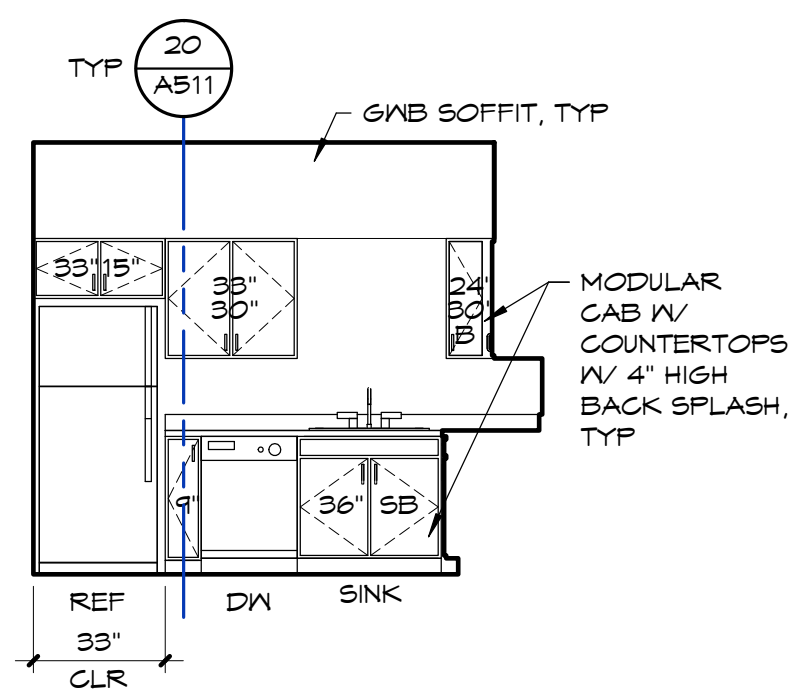
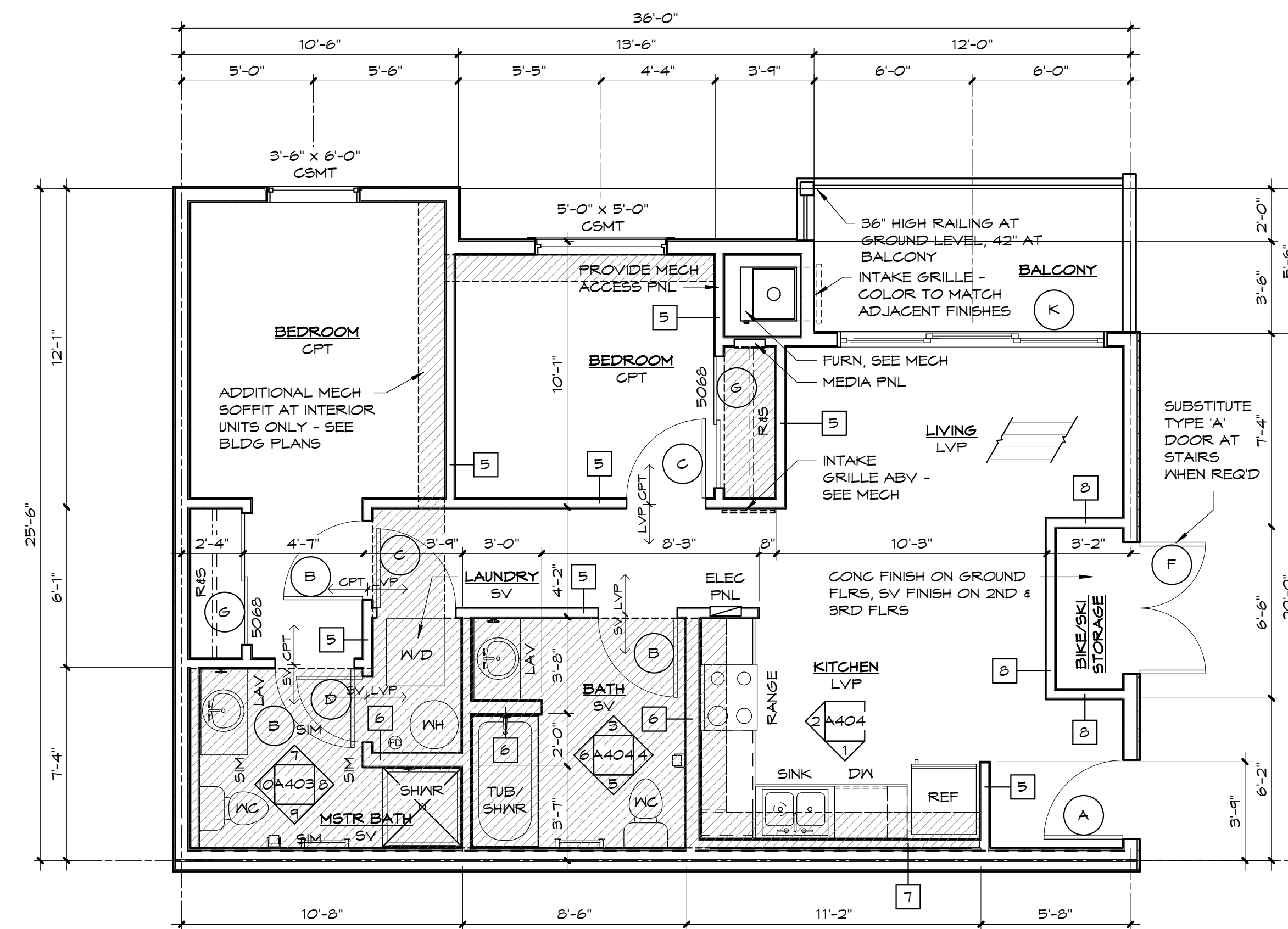
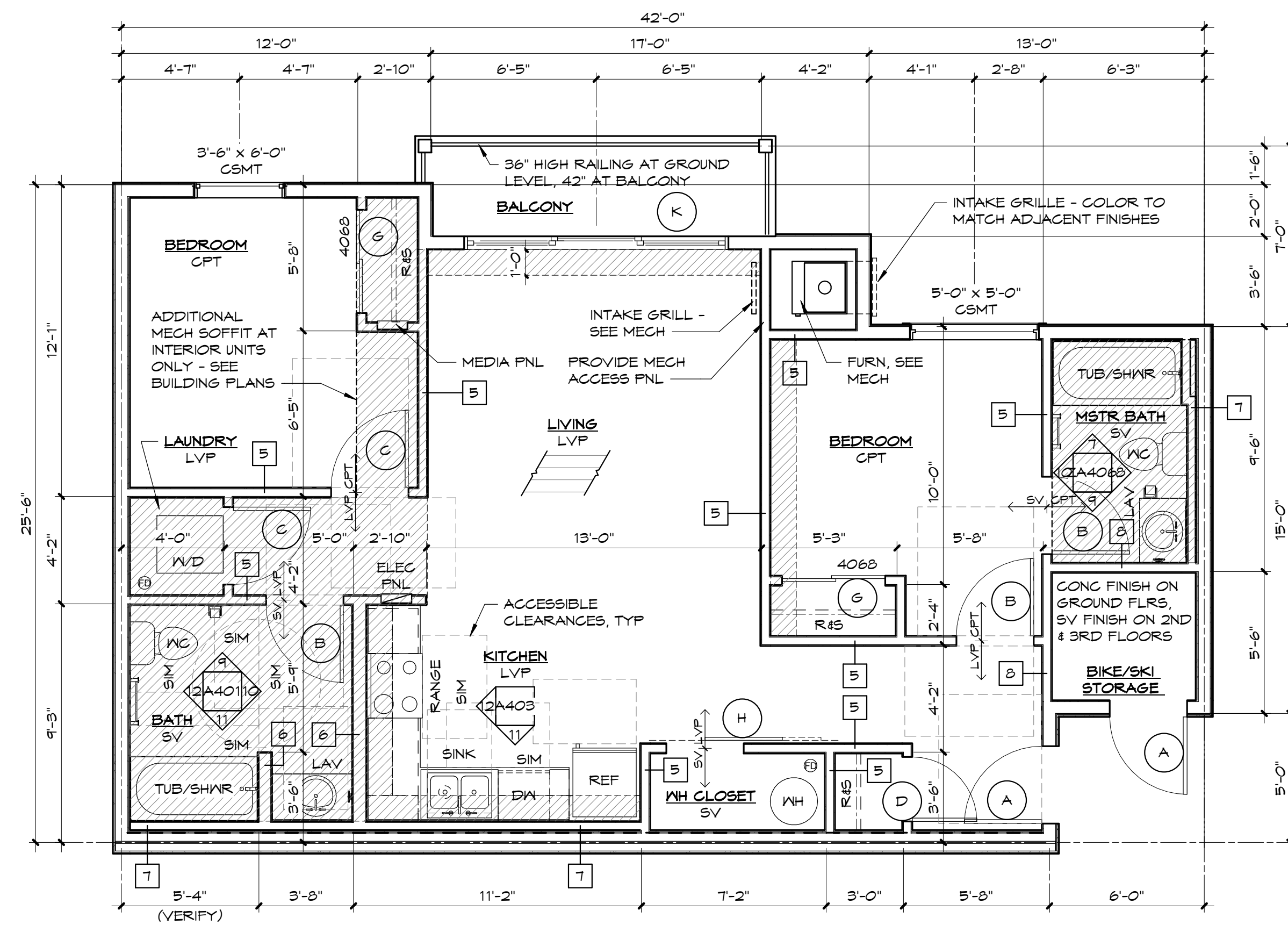
CEILING LEGEND



ELEVATION LEGEND



16 BATH
1/4" = 1'-0"



- UNIT PLAN NOTES

1. ALL WATER PIPING TO RUN IN INTERIOR WALLS OR JOIST SPACE BETWEEN UNITS. NO PIPING SHALL BE INSTALLED IN ATTIC. EXTERIOR WALLS OR UNDER-SLAB EXCEPT FOR UNDER-SLAB SERVICE LINE, AND INSULATED FIRE SPRINKLER PIPING IN ATTIC AS NECESSARY.
2. FIRST FLOOR UNITS ONLY, PROVIDE 2x SOLID BLOCKING (SHOWN SHADED, TYP) FOR FUTURE INSTALLATION OF GRAB BARS, AS SHOWN AT TYPE B' BATHROOM ELEVATIONS.
3. CLOSET FINISHES SAME AS ADJACENT ROOM.
4. AT FLOOR PLANS, FD = FLOOR DRAIN, SV = SHEET VINYL, CPT = CARPET, LVP = LUXURY VINYL PLANK, CONC = CONCRETE
5. AT INTERIOR ELEVATIONS, SF = REMOVABLE SINK FRONT, SB = SINK BASE CABINET, D = DRAWER, T = TRAY CABINET, B = BLIND CORNER CABINET
6. PROVIDE 2x SOLID BLOCKING (SHOWN SHADED, TYP) BETWEEN STUDS AT ALL TONEL BAR LOCATIONS.
7. PROVIDE LEVER STYLE DOOR HARDWARE AT ALL GROUND FLOOR UNITS.
8. ALL EXHAUST FANS, RANGE HOODS, & CLOTHES DRYERS SHALL EXHAUST TO THE EXTERIOR & SHALL TERMINATE IN OUTLET CAPS/LOWERS. OUTLET CAPS/LOWERS SHALL BE LOCATED AT LEAST 3 FEET FROM OPERABLE WINDOW SASHES & DOORS.
9. SEE SHEET A406 FOR FINISH SCHEDULE AND DOOR SCHEDULE
10. SEE SHEET A405 FOR OPTIONAL AND/OR ALTERNATE LAYOUTS

- ### CEILING LEGEND

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SPOKANE, WA 99201
t. 509.456.8236

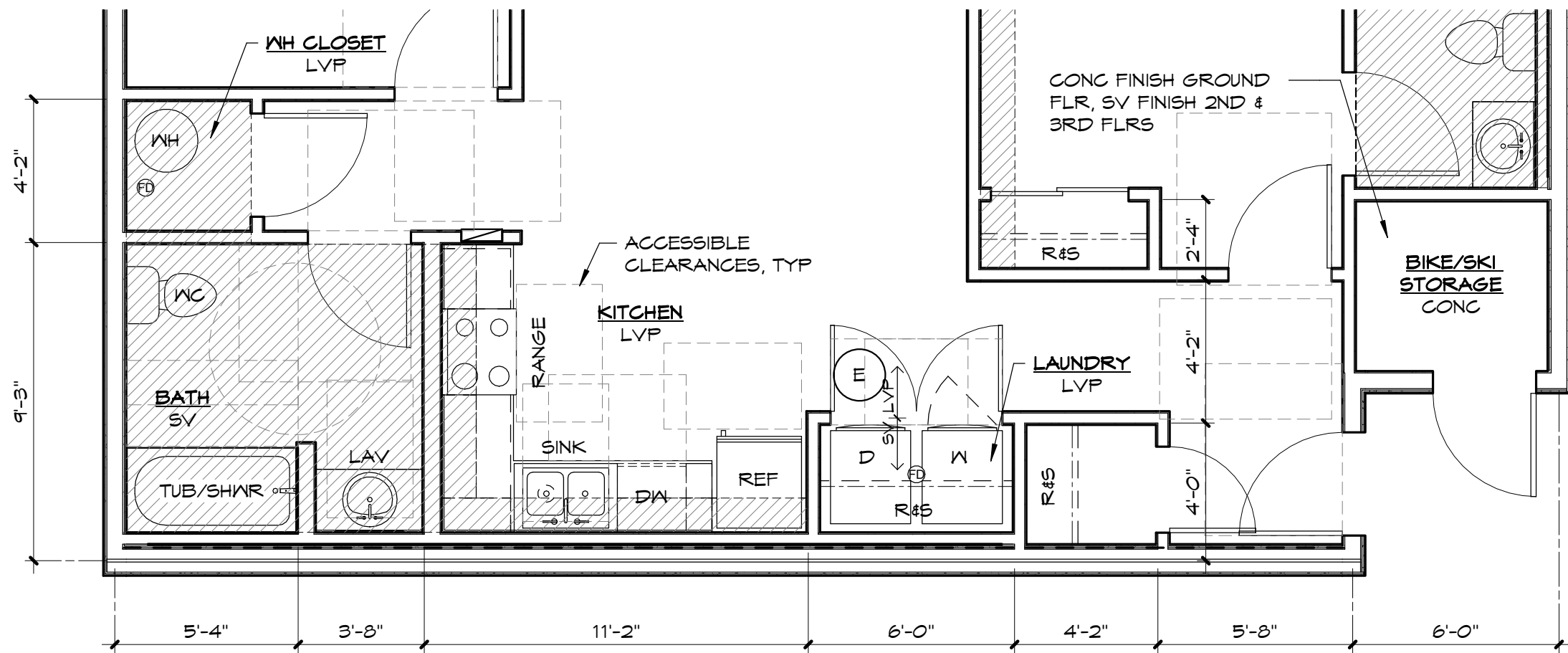
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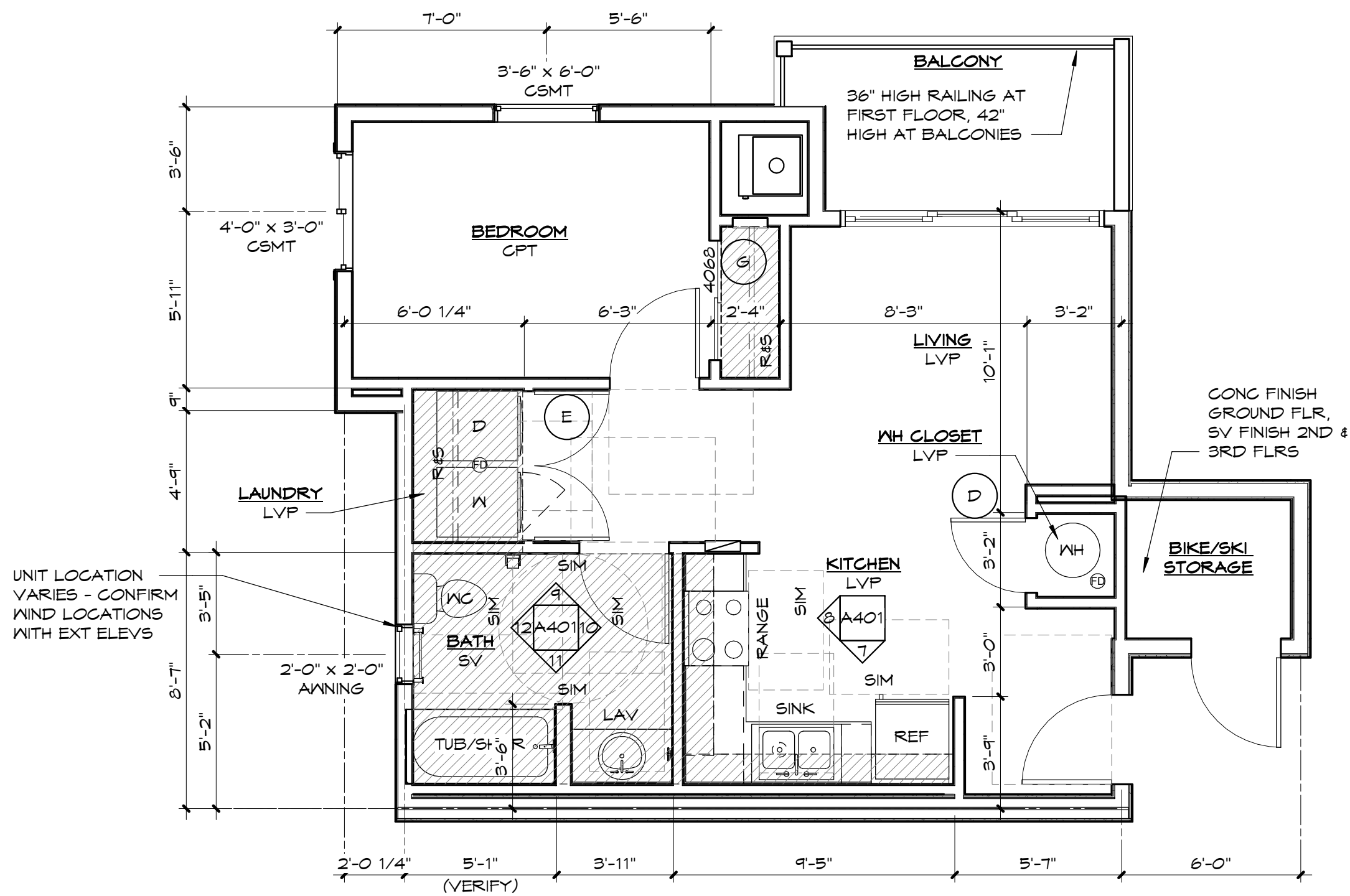
SHEET TITLE	TWO BEDROOM UNIT PLANS & INTERIOR ELEVATIONS
PROJECT TITLE	PONDERAY PLAZA APARTMENT PHASE TWO PONDERAY, IDAHO EASTMARK CAPITAL GROUP

PROJECT NO.	2134.01
DRAWN:	TWG
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DATE:	05/27/2022
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A404



A TWO BEDROOM TYPE 'B' UNIT
1/4" = 1'-0" AT 1ST FLOOR TYPE 'B' UNITS, SEE A403/A404 FOR FULL TWO BEDROOM DIMENSIONS & ANNOTATIONS



B ONE BEDROOM TYPE 'B' LAUNDRY
1/4" = 1'-0" AT 1ST FLOOR TYPE 'B' UNITS, SEE ALSO A401/A402 FOR FULL ONE BEDROOM DIMENSIONS & ANNOTATIONS

UNIT PLAN NOTES

- ALL WATER PIPING TO RUN IN INTERIOR WALLS OR JOIST SPACE BETWEEN UNITS. NO PIPING SHALL BE INSTALLED IN ATTIC EXTERIOR WALLS OR UNDER-SLAB EXCEPT FOR UNDER-SLAB SERVICE LINE, AND INSULATED FIRE SPRINKLER PIPING IN ATTIC AS NECESSARY.
- FIRST FLOOR UNITS ONLY, PROVIDE 2x SOLID BLOCKING (SHOWN SHADED, TYP) FOR FUTURE INSTALLTION OF GRAB BARS, AS SHOWN AT TYPE 'B' BATHROOM ELEVATIONS.
- CLOSET FINISHES SAME AS ADJACENT ROOM.
- AT FLOOR PLANS, FD = FLOOR DRAIN, SV = SHEET VINYL, CPT = CARPET, LVP = LUXURY VINYL PLANK, CONG = CONCRETE
- AT INTERIOR ELEVATIONS, SF = REMOVABLE SINK FRONT, SB = SINK BASE CABINET, D = DRAWER, T = TRAY CABINET, B = BLIND CORNER CABINET
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- PROVIDE LEVER STYLE DOOR HARDWARE AT ALL GROUND FLOOR UNITS.
- ALL EXHAUST FANS, RANGE HOODS, & CLOTHES DRYERS SHALL EXHAUST TO THE EXTERIOR & SHALL TERMINATE IN OUTLET CAPS/LOUVERS. OUTLET CAPS/LOUVERS SHALL BE LOCATED AT LEAST 3 FEET FROM OPERABLE WINDOW SASHES & DOORS.
- SEE SHEET A406 FOR FINISH SCHEDULE AND DOOR SCHEDULE
- SEE SHEET A405 FOR OPTIONAL AND/OR ALTERNATE LAYOUTS

CEILING LEGEND

- 9'-0" GYP BD CEILING
- 8'-0" GYP BD CEILING PROVIDE CHASE FOR MECHANICAL

ELEVATION LEGEND

- 2x BLOCKING REQUIRED AT TYPE 'B' UNITS ONLY (FIRST FLOOR)

SHEET TITLE
ONE AND TWO BEDROOM UNITS TYPE 'B' LAUNDRY

PROJECT TITLE
PONDERAY PLAZA APARTMENTS -
PHASE TWO
PONDERAY, IDAHO
EASTMARK CAPITAL GROUP

PROJECT NO. 2134.01

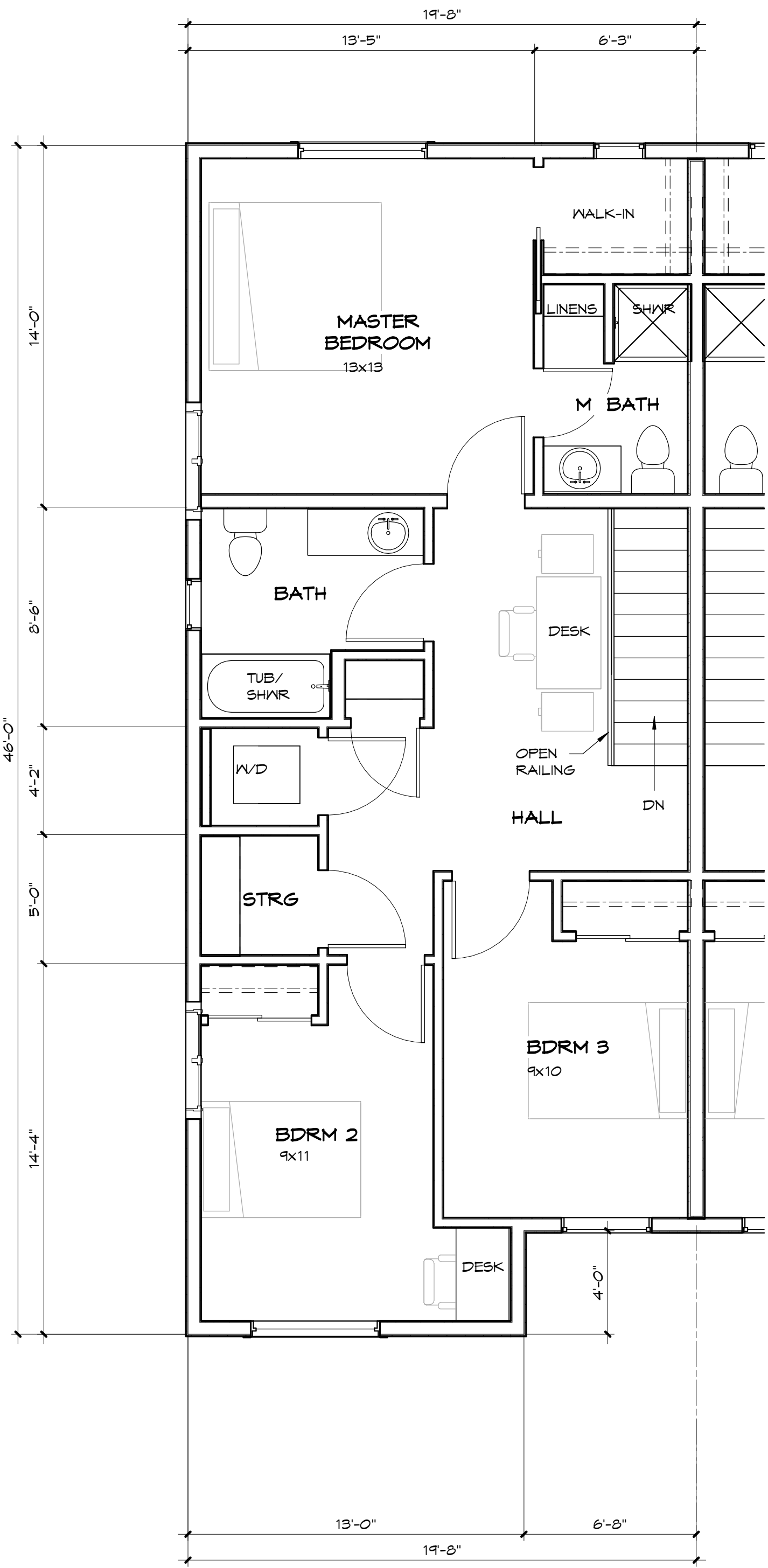
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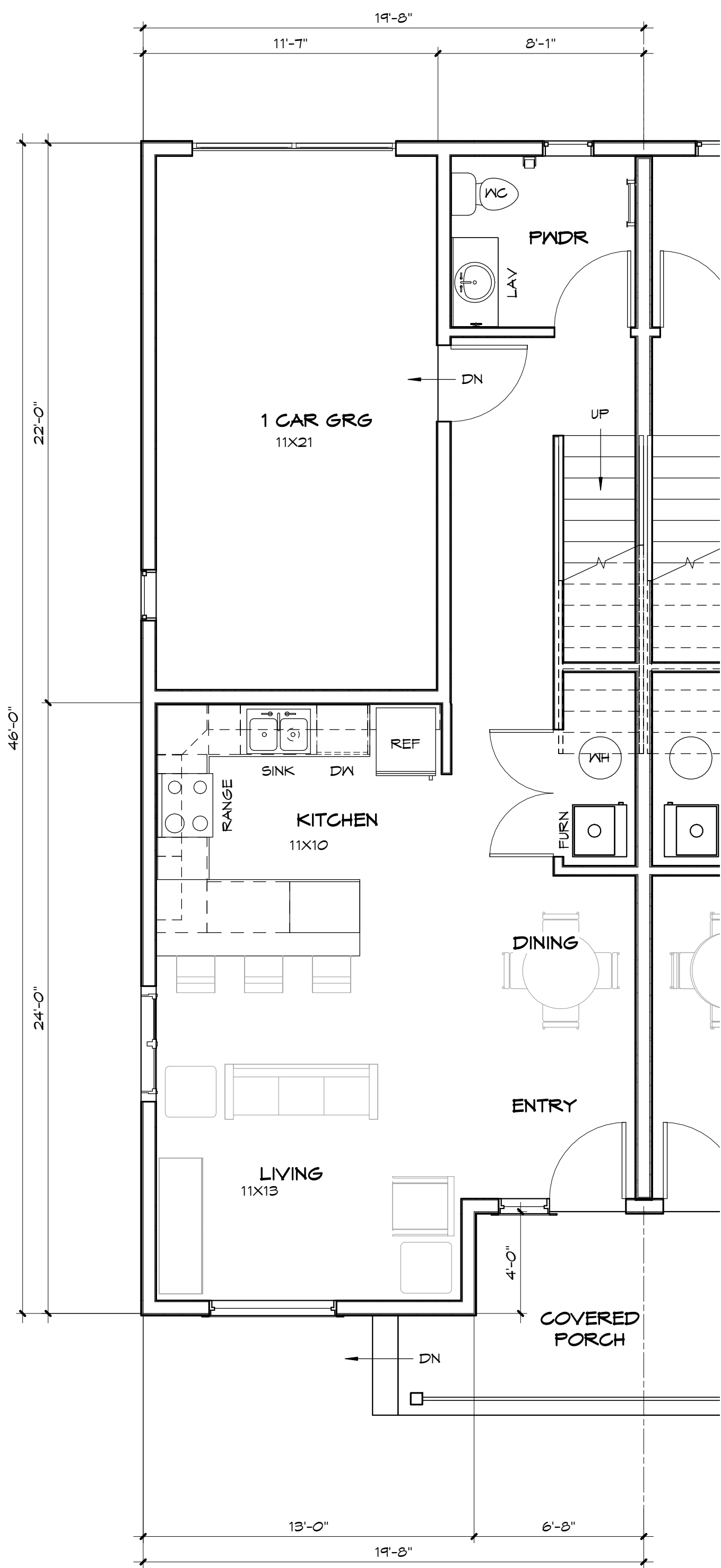
DATE: 05/27/2022

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A405



B TOWNHOME SECOND FLOOR UNIT PLAN
1/4" = 1'-0"



A TOWNHOME FIRST FLOOR UNIT PLAN
1/4" = 1'-0"

BUILDING PLAN NOTES

1. SEE UNIT PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL WINDOW AND DOOR SIZES, WALL TYPES, CALLOUTS AND ADDITIONAL INFORMATION
2. **PARTY WALLS** - NO PIPING, DUCTS, WASHER BOXES, OR OTHER ITEMS OTHER THAN WIRING AND APPROVED ELECTRICAL BOXES SHALL BE INSTALLED IN PARTY WALLS.
3. **PLUMBING** - ALL WATER PIPING SHALL BE RUN IN INTERIOR WALLS AND JOIST SPACE BETWEEN FLOORS, NO PIPING SHALL BE INSTALLED IN EXTERIOR WALLS OR ATTIC SPACE, INCLUDING FIRE SPRINKLER PIPING.
4. 5/8" TYPE "X" GYP BD SHALL BE CONTINUOUS BEHIND TUB/SHOWER UNITS AT RATED WALLS, SEE DETAIL 4/A511.
5. GRID LINES AT PARTY WALLS ARE CENTERLINE OF WALL. GRID LINES AT EXTERIOR WALLS ARE FACE OF STUDS UNLESS NOTED OTHERWISE.



NO.	DATE	BY

TOWNHOUSE UNIT PLANS	PROJECT TITLE
PONDERAY PLAZA APARTMENTS - PHASE TWO	PROJECT TITLE
PONDERAY, IDAHO	PROJECT TITLE
EASTMARK CAPITAL GROUP	PROJECT TITLE

PROJECT NO.	2134.01
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DATE:	05/27/2022
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A406

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PHASE 2 - SITE PERSPECTIVES

SHEET TITLE

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PROJECT NO.	2134.01
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A901

PROJECT TITLE
PONDERAY PLAZA APARTMENTS --
PHASE TWO
PONDERAY, IDAHO
EASTMARK CAPITAL GROUP



PARCEL B - ARCHITECTURAL SITE PLAN

1" = 10'-0"

PARCEL B INFORMATION

PROPERTY INFORMATION
SITE ADDRESS: TBD

PARCELS: PARCEL B

LOT AREA: 6.07 ACRES (264,835 SF)

ZONING CLASSIFICATION: COMMERCIAL
SPECIAL USES WITH SPECIAL USE PERMIT
-MULTIPLE-FAMILY DWELLINGS HAVING 6
OR MORE TOTAL RESIDENTIAL UNITS.

REQUIRED PARKING

PARKING STANDARDS:
STALL SIZE: 9'X19'
DRIVE ISLE: 25'
1 SPACE PER 600SF (DWELLING UNITS
SMALLER THAN 600SF SHALL BE
CONSIDERED 600SF)

BUILDING AREAS:
BLDG D: 26,712 SF
BLDG E: 17,488 SF
BLDG F: 26,712 SF
BLDG G: 10,568 SF
BLDG H: 10,568 SF
BLDG J: 10,568 SF
COMMUNITY: 3,435 SF

TOTAL AREA: 106,551 SF

PARKING REQUIRED = 106,551/600 = 178
SPACES

PARKING PROVIDED = 223 SPACES
187 9'X19' STALLS
18 PRIVATE GARAGE
18 PRIVATE DRIVES

8 ACCESSIBLE
STALLS (2 VAN)

BUILDING LOT COVERAGE

BUILDING FOOT PRINTS
BLDG D = 8,904 SF
BLDG E = 5,996 SF
BLDG F = 8,904 SF
BLDG G = 5,284 SF
BLDG H = 5,284 SF
BLDG J = 5,284 SF
COMM = 3,435 SF
TOTAL = 43,091 SF

BLDG FOOT PRINTS /LOT AREA
43,091 / 264,835 = 0.162 OR 17%

BUILDING KEY

1 = 1 BEDROOM UNIT, 3RD FLOOR
1 = 1 BEDROOM UNIT, 2ND FLOOR
1 = 1 BEDROOM UNIT, 1ST FLOOR

2 = 2 BEDROOM UNIT, 3RD FLOOR
2 = 2 BEDROOM UNIT, 2ND FLOOR
2 = 2 BEDROOM UNIT, 1ST FLOOR

3TH = 3 BEDROOM TOWNHOUSE

A = ACCESSIBLE TYPE 'A' UNIT
B = TYPE 'B' UNIT (GROUND FLOOR)
FR = FIRE RISER
M/E = MAINTENANCE/ELECTRICAL
E = ELECTRICAL

UNIT COUNT

BLDG D
1 BEDROOM UNITS 18 (2 ACCESSIBLE)
2 BEDROOM UNITS 18 (2 ACCESSIBLE)
TOTAL UNITS 36

BLDG E
1 BEDROOM UNITS 12 (1 ACCESSIBLE)
2 BEDROOM UNITS 12 (1 ACCESSIBLE)
TOTAL UNITS 24

BLDG F
1 BEDROOM UNITS 18
2 BEDROOM UNITS 18
TOTAL UNITS 36

BLDG G (TOWNHOUSE)
3 BEDROOM UNIT 6

BLDG H (TOWNHOUSE)
3 BEDROOM UNIT 6

BLDG J (OWNHOUSE)
3 BEDROOM UNIT 6

TOTAL UNITS 114

ZBA ARCHITECTURE
421 W. RIVERSIDE, SUITE 860
SPOKANE, WA 99201
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SHEET TITLE
PHASE 2 - PARCEL B ARCHITECTURAL SITE PLAN

PROJECT TITLE
PONDERAY PLAZA APARTMENTS -
PHASE TWO
PONDERAY, IDAHO
EASTMARK CAPITAL GROUP

SEAL

PROJECT NO.	2134.01
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A902



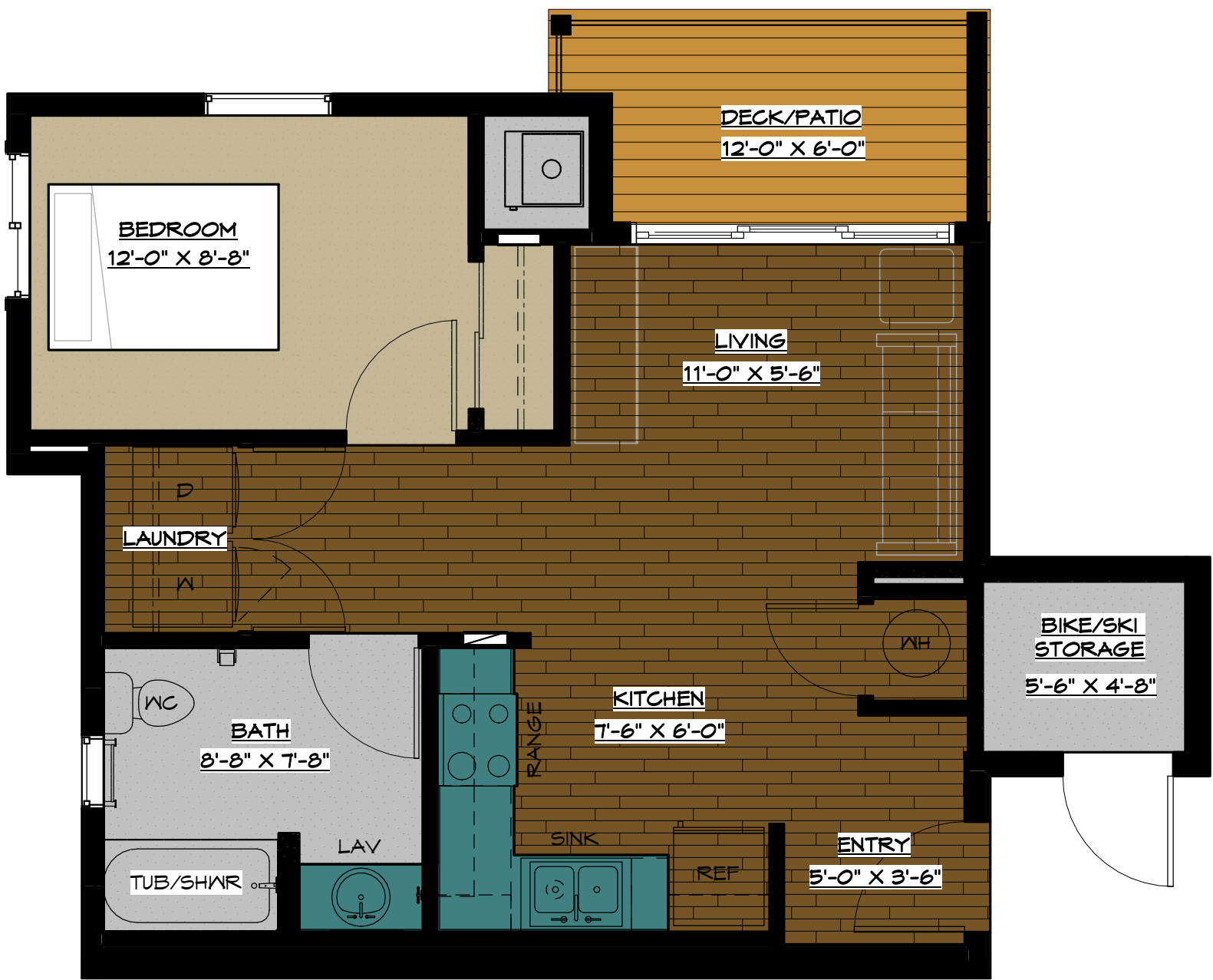
ONE BEDROOM TYPE A & B UNIT GROUND FLOOR AREA: 529 SF



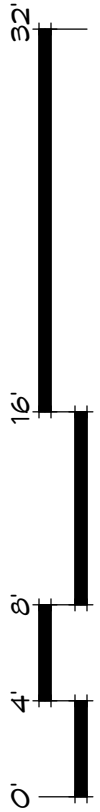
ONE BEDROOM 2ND & 3RD FLOOR UNITS AREA: 529 SF



ONE BEDROOM END UNIT - 1 AREA: 586 SF



ONE BEDROOM END UNIT - 2 AREA: 606 SF



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NO.	DATE	BY

1 BEDROOM UNITS	PROJECT TITLE PONDERAY PLAZA APARTMENTS - PHASE TWO PONDERAY, IDAHO EASTMARK CAPITAL GROUP
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A903

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TWO BEDROOM END UNIT

AREA: 833 SF



TWO BEDROOM REAR UNIT

AREA: 934 SF



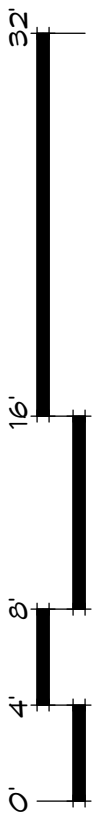
TWO BEDROOM 2ND & 3RD FLOOR UNIT

AREA: 824 SF



TWO BEDROOM TYPE A & B UNIT GROUND FLOOR

AREA: 824 SF



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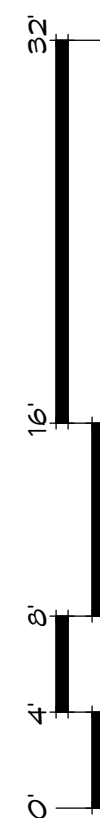
TOWNHOUSE UNIT SECOND FLOOR PLAN

AREA: 813 SF



TOWNHOUSE UNIT FIRST FLOOR PLAN

AREA: 815 SF



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TOWNHOUSE UNIT PLANS

SHEET TITLE

SEAL

PROJECT TITLE

PONDERAY PLAZA APARTMENTS -
PHASE TWO
PONDERAY, IDAHO
EASTMARK CAPITAL GROUP

PROJECT NO.	2134.01
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1 BUILDINGS D & F
N.T.S.



2 BUILDINGS D & F
N.T.S.



3 BUILDINGS D & F
N.T.S.



4 BUILDINGS D & F
N.T.S.

NO.	DATE	BY
REVISIONS		

SHEET TITLE
BUILDINGS D & F PERSPECTIVES

PROJECT TITLE
PONDERAY PLAZA APARTMENTS -
PHASE TWO
PONDERAY, IDAHO
EASTMARK CAPITAL GROUP

PROJECT NO. 2134.01

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DATE: 05/27/2022

DRAWING NO.

A906



1 BUILDING E
N.T.S.



2 BUILDING E
N.T.S.



3 BUILDING E
N.T.S.

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REVISIONS		

SHEET TITLE	BUILDING E PERSPECTIVES
PROJECT TITLE	PONDERAY PLAZA APARTMENTS - PHASE TWO PONDERAY, IDAHO EASTMARK CAPITAL GROUP

PROJECT NO.	2134.01
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