

SITE IMPROVEMENT PLAN FOR ANOTHER SCREW MACHINE PRODUCTS

A PORTION OF SECTION 11, T57N, R2W, B.M., CITY OF PONDERAY, BONNER COUNTY, IDAHO

NO BOUNDARY SURVEY

PROPERTY LINES SHOWN ARE APPROXIMATE. THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY BY ACE SOLUTIONS.

DATUM: NSRS 2011 IDAHO STATE PLANES, WEST ZONE
CONTOUR INTERVAL: 1 FOOT MAJOR, 0.5 FOOT MINOR

ACE SOLUTIONS
Advanced Consulting and Engineering Solutions

609 N. Calgary Court, Suite 7,
Post Falls, Idaho 83854
PHONE: (208) 777-1854
FAX: (208) 777-2128
www.acesolutions.pro



VICINITY MAP
N.T.S.

OWNER INFORMATION:

DONALD F. BLAESE JR.
ANOTHER SCREW MACHINE PRODUCTS
147 EMERALD INDUSTRIAL PARK RD.
PONDERAY, ID 83852

LEGAL DESCRIPTION:

PARCEL NO: RPP3745000010A
LEGAL DESCRIPTION: 11-57N-2W BLAESE SUB LOT 1
ANOTHER SCREW MACHINE

SHEET INDEX

- C1 SITE PLAN
- C2 GRADING & DETAILS

SNOW REMOVAL PLAN

THE ROOF OF THE NEW BUILDING SLOPES TO THE NORTHWEST, ALLOWING THE SNOW TO FALL OFF / DRAIN INTO THE SWALE.
THE SOUTH CURB LINE IS A DROP CURB FOR SNOW REMOVAL. THIS ALLOWS THE SNOW THAT COLLECTS ON THE ASPHALT TO BE CONTAINED AND TREATED.

VEHICLE CIRCULATION PLAN

THE VEHICLES PARKED IN THE 60' STALLS CAN BACK OUT INTO THE ACCESS EASEMENT AND TURN AROUND THERE BECAUSE THERE IS PLENTY OF SPACE. THERE IS ALSO THE OPTION OF USING THE PARKING LOT IN THE PARCEL BEHIND THE SITE TO TURN AROUND.

PROJECT DESCRIPTION

SITE DEVELOPMENTS TO THIS 0.6493 ACRE PARCEL INCLUDE A 4500 SQ FT BUILDING WITH MOUNTED LIGHTING, NEW DRAINAGE SWALES AND PARKING AREAS. A CULVERT WILL RUN BETWEEN THE TWO SWALES AND UNDERNEATH THE PARKING AREA. SITE DISTURBANCE COUNTERMEASURES WILL ALSO BE INCLUDED.

CURRENT SITE CONDITIONS

THE CURRENT SITE CONTAINS AN EXISTING BUILDING WITH AN ACCESS EASEMENT FOR THE LOT TO THE NORTHEAST. THERE IS MINIMAL ELEVATION CHANGE AND AN EXISTING DRAINAGE SWALE WITH AN 8" CULVERT STORMWATER OUTFALL TO THE SOUTH.

INSPECTION REQUIREMENTS

A DESIGN PROFESSIONAL AND OR THEIR INSPECTION REPRESENTATIVE SHALL MAKE AT LEAST THREE REQUIRED INSPECTIONS DURING THE PROCESS OF THIS PROJECT. THE MINIMUM REQUIRED INSPECTIONS ARE AS FOLLOWS:

- 1) PRIOR TO EXCAVATION TO VERIFY THAT EROSION CONTROL MEASURES AND BEST MANAGEMENT PRACTICES ARE IN PLACE AND PROPERLY INSTALLED.
- 2) DURING CONSTRUCTION TO VERIFY EROSION CONTROL MEASURES AND B.M.P.S ARE UTILIZED PROPERLY.
- 3) AT PROJECT COMPLETION TO VERIFY PERMANENT EROSION CONTROL MEASURES AND B.M.P.S ARE INSTALLED PROPERLY.

SAID DESIGN PROFESSIONAL SHALL PROVIDE WRITTEN VERIFICATION OF THE INSPECTIONS TO THE CITY OF PONDERAY. ADDITIONAL INSPECTIONS MAY BE REQUIRED IF WINTERIZATION OF THE SITE IS REQUIRED.

SOIL CLASSIFICATION

THE PROJECT SITE CONTAINS THE FOLLOWING SOIL TYPE:

31 MISSION SILT LOAM
SLOPE: 0 TO 2 PERCENT
DEPTH TO RESTRICTIVE FEATURE: 10 TO 20 INCHES
DRAINAGE CLASS: SOMEWHAT POORLY DRAINED.

(INFORMATION BASED ON THE SOIL SURVEY FROM USDA WEB SOIL SURVEY.)

GENERAL NOTES:

1. THE PURPOSE OF THIS PLAN IS TO IDENTIFY SITE DISTURBANCE AND BEST MANAGEMENT PRACTICES FOR THE PROPOSED SITE AS SHOWN. THIS PLAN IS BASED UPON THE TOPOGRAPHIC SURVEY BY ACE SOLUTIONS, LLC. THIS PLAN DOES NOT INCLUDE ANY FOUNDATION DESIGN OR RETAINING WALL DESIGN, UNLESS OTHERWISE SHOWN HEREON.
2. GROUNDWATER IS ANTICIPATED ON THIS SITE.
3. WINTERIZATION REQUIREMENTS ARE NOT ANTICIPATED ON THIS SITE. ALL SITE DISTURBANCE ACTIVITIES SHOULD BE COMPLETED PRIOR TO SNOW ACCUMULATION. SHOULD WINTERIZATION OF THE SITE BE REQUIRED, CONTRACTOR SHALL NOTIFY ENGINEER OF RECORD. ENGINEER SHALL PROVIDE CONFIRMATION LETTER TO KOOTENAI COUNTY THAT ALL EROSION CONTROL MEASURES ARE IN-PLACE.
4. ANY STOCKPILED DIRT AND/OR OTHER MATERIAL SHALL BE PLACED IN THE DESIGNATED STOCKPILE AREA OR BE COMPLETELY REMOVED FROM THE SITE. IT IS ANTICIPATED THAT LESS THAN 50 CY OF DIRT WILL BE MOVED AND/OR STOCKPILED DURING CONSTRUCTION. ANY EXPOSED SOIL SHALL BE RELOCATED ON-SITE TO A LOCATION WHICH MAKES TRANSPORTATION OF SILT AND/OR STORM RUNOFF TO ANY BODY OF WATER IMPOSSIBLE.
5. CONSTRUCTION SCHEDULE : START CONSTRUCTION SUMMER 2021; COMPLETION OF CONSTRUCTION BY FALL, 2021 (WEATHER PERMITTING).
6. OPERATION AND MAINTENANCE OF EROSION CONTROL MEASURES WILL BE BY THE CLIENTS CONTRACTOR, AND/OR HIS REPRESENTATIVE, WHO WILL MAKE DAILY INSPECTIONS OF ALL FACILITIES. EROSION CONTROL MEASURES ARE TO REMAIN IN PLACE UNTIL REVEGETATION IS WELL ESTABLISHED. AT THE END OF EACH WORK DAY, THE SITE SHALL BE INSPECTED TO ENSURE THAT THE NECESSARY EROSION CONTROL MEASURES ARE IN PLACE AND FUNCTIONING PROPERLY.
7. CONSTRUCTION TRAFFIC SHALL ENTER THE PROJECT SITE FROM EMERALD INDUSTRIAL PARK DR. THIS ROAD IS TO REMAIN FREE FROM ANY CONSTRUCTION DEBRIS. THIS ROAD SHALL BE CLEANED AS NECESSARY TO PREVENT MUD, DEBRIS AND OTHER MATERIALS FROM BECOMING A NUISANCE TO OR OBSTRUCTING DAILY TRAFFIC.
8. A BOUNDARY SURVEY WAS NOT PERFORMED FOR THIS SITE.
9. ALL PROPOSED CUT OR FILL SLOPES ARE SHOWN HEREON AND ARE 2:1 OR LESS.
10. PRIOR TO CONSTRUCTION, INSTALLATION OF THE SILT FENCE SHALL BE CONSTRUCTED PER B.M.P. #65.

EROSION CONTROL NOTES:

1. REFER TO THE STATE OF IDAHO CATALOG OF STORM WATER BEST MANAGEMENT PRACTICES FOR CONSTRUCTION AND PERMANENT BMPs RELATING TO SLOPE PROTECTION, EROSION, & REVEGETATION. THE FOLLOWING BMP'S FROM THE ABOVE MENTIONED CATALOG ARE HEREBY MADE A PART OF THIS PLAN:

- BMP #23: VEGETATION RESTORATION
- BMP #31: TOP SOILING
- BMP #32: LANDSCAPING
- BMP #36: CONSTRUCTION TIMING
- BMP #38: PRESERVE TOPSOIL AND VEGETATION
- BMP #41: STABILIZED CONSTRUCTION ROADS AND STAGING AREAS
- BMP #42: EROSION PREVENTION ON CONSTRUCTION ROADS
- BMP #57: PIPE SLOPE DRAIN
- BMP #65: SILT FENCE

2. EXISTING VEGETATION TO REMAIN IN PLACE OR BE SALVAGED IF POSSIBLE TO BE REPLACED AFTER CONSTRUCTION IS COMPLETED. ANY VEGETATION THAT IS REMOVED AND/OR DESTROYED MUST BE REPLACED IN KIND AT THE OWNER'S EXPENSE. HYDROSEED ALL DISTURBED AREA AS SHOWN WITH A NATIVE DRYLAND SEED MIX AT A RATE OF 120 LBS/ACRE. BEFORE ANY FERTILIZER IS APPLIED, A SOIL STUDY/ANALYSIS SHOULD BE PERFORMED TO DETERMINE THE APPROPRIATE QUANTITIES OF FERTILIZER REQUIRED, IF ANY.
3. EROSION CONTROL MEASURES ARE TO REMAIN IN PLACE UNTIL IT IS APPARENT THAT REVEGETATION IS WELL ESTABLISHED.

DUST ABATEMENT STATEMENT

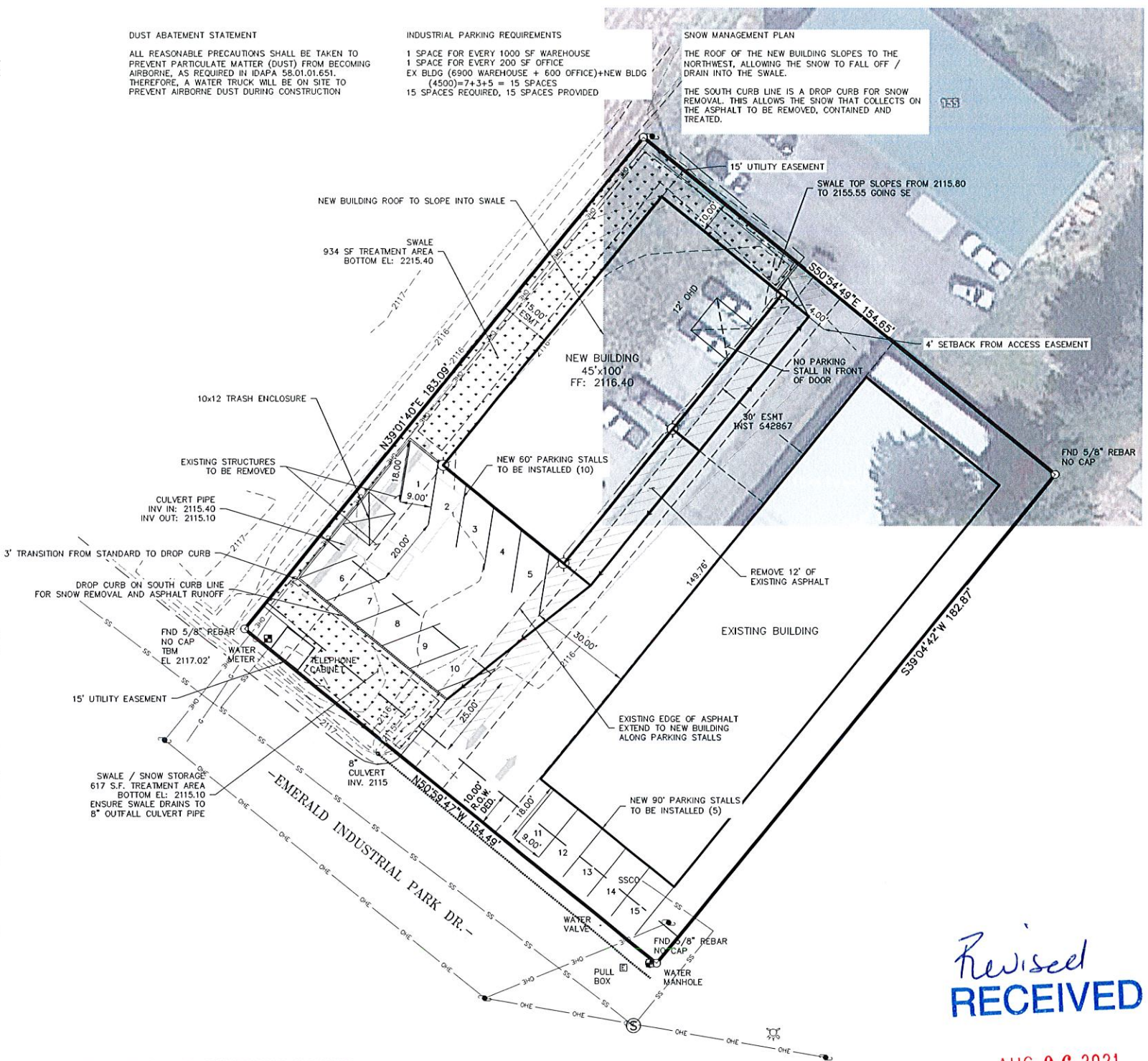
ALL REASONABLE PRECAUTIONS SHALL BE TAKEN TO PREVENT PARTICULATE MATTER (DUST) FROM BECOMING AIRBORNE, AS REQUIRED IN IDAPA 58.01.01.651. THEREFORE, A WATER TRUCK WILL BE ON SITE TO PREVENT AIRBORNE DUST DURING CONSTRUCTION

INDUSTRIAL PARKING REQUIREMENTS

1 SPACE FOR EVERY 1000 SF WAREHOUSE
1 SPACE FOR EVERY 200 SF OFFICE
EX BLDG (6900 WAREHOUSE + 600 OFFICE)+NEW BLDG (4500)=7+3+5 = 15 SPACES
15 SPACES REQUIRED, 15 SPACES PROVIDED

SNOW MANAGEMENT PLAN

THE ROOF OF THE NEW BUILDING SLOPES TO THE NORTHWEST, ALLOWING THE SNOW TO FALL OFF / DRAIN INTO THE SWALE.
THE SOUTH CURB LINE IS A DROP CURB FOR SNOW REMOVAL. THIS ALLOWS THE SNOW THAT COLLECTS ON THE ASPHALT TO BE REMOVED, CONTAINED AND TREATED.



NOTE: THERE IS NO SIGNAGE CONSIDERED FOR THIS PROJECT

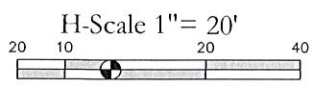
Revised
RECEIVED

AUG 06 2021

PLANNING OFFICE
CITY OF PONDERAY

LEGEND

- FOUND 5/8" REBAR WITH YELLOW PLASTIC CAP MARKED 5289, OR AS NOTED
- PROPERTY BOUNDARY
- - - ADJACENT PROPERTY LINES
- RIGHT-OF-WAY
- MAJOR CONTOUR
- MINOR CONTOUR
- OVERHEAD ELECTRIC LINE
- SANITARY SEWER
- BURIED NATURAL GAS LINE
- CULVERT
- POWER POLE
- FIRE HYDRANT
- WATER METER
- GRASS



**ANOTHER SCREW MACHINE PRODUCTS
SITE PLAN
PONDERAY, BONNER COUNTY, IDAHO**

MARK	DATE	DESCRIPTION

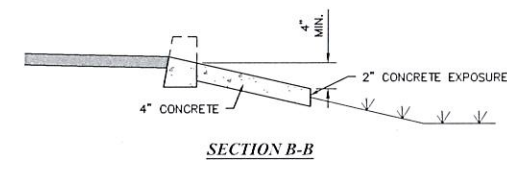
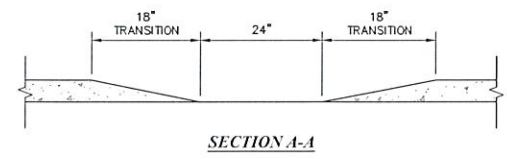
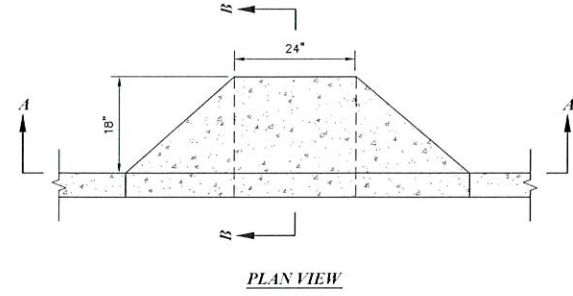
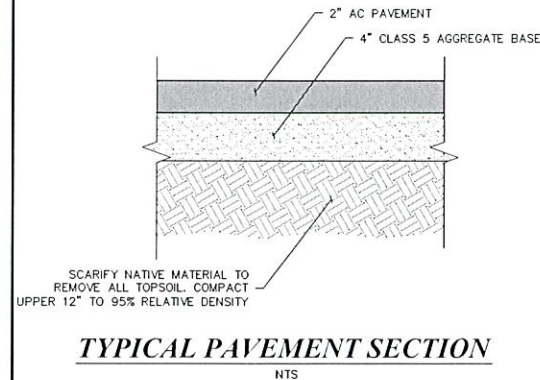
ISSUE DATE: 7/16/2021
PLOT DATE: 8/6/21
DRAWN BY: JM
CHECKED BY: RJG
DWG FILE: 21-041 SIP
PROJ. # 21-041
SHEET TITLE:
SITE PLAN

SITE IMPROVEMENT PLAN FOR ANOTHER SCREW MACHINE PRODUCTS

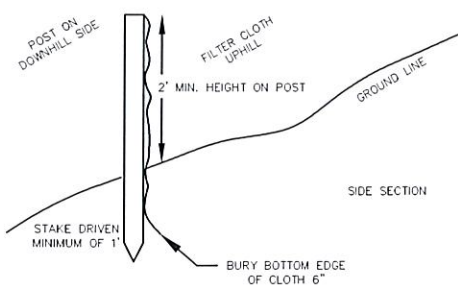
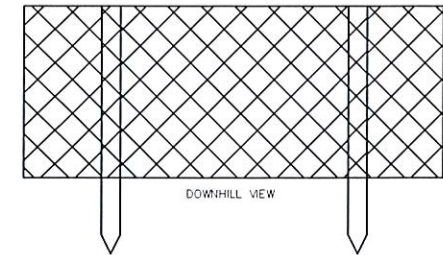
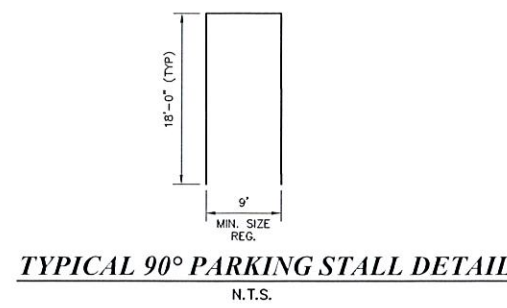
A PORTION OF SECTION 11, T57N, R2W, B.M., CITY OF PONDERAY, BONNER COUNTY, IDAHO



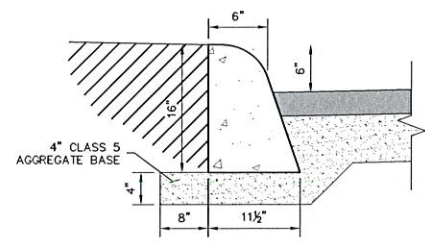
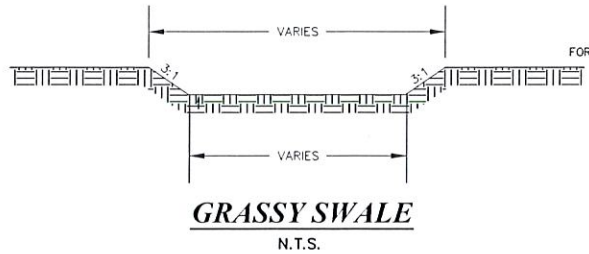
ANOTHER SCREW MACHINE PRODUCTS
SITE PLAN
PONDERAY, BONNER COUNTY, IDAHO



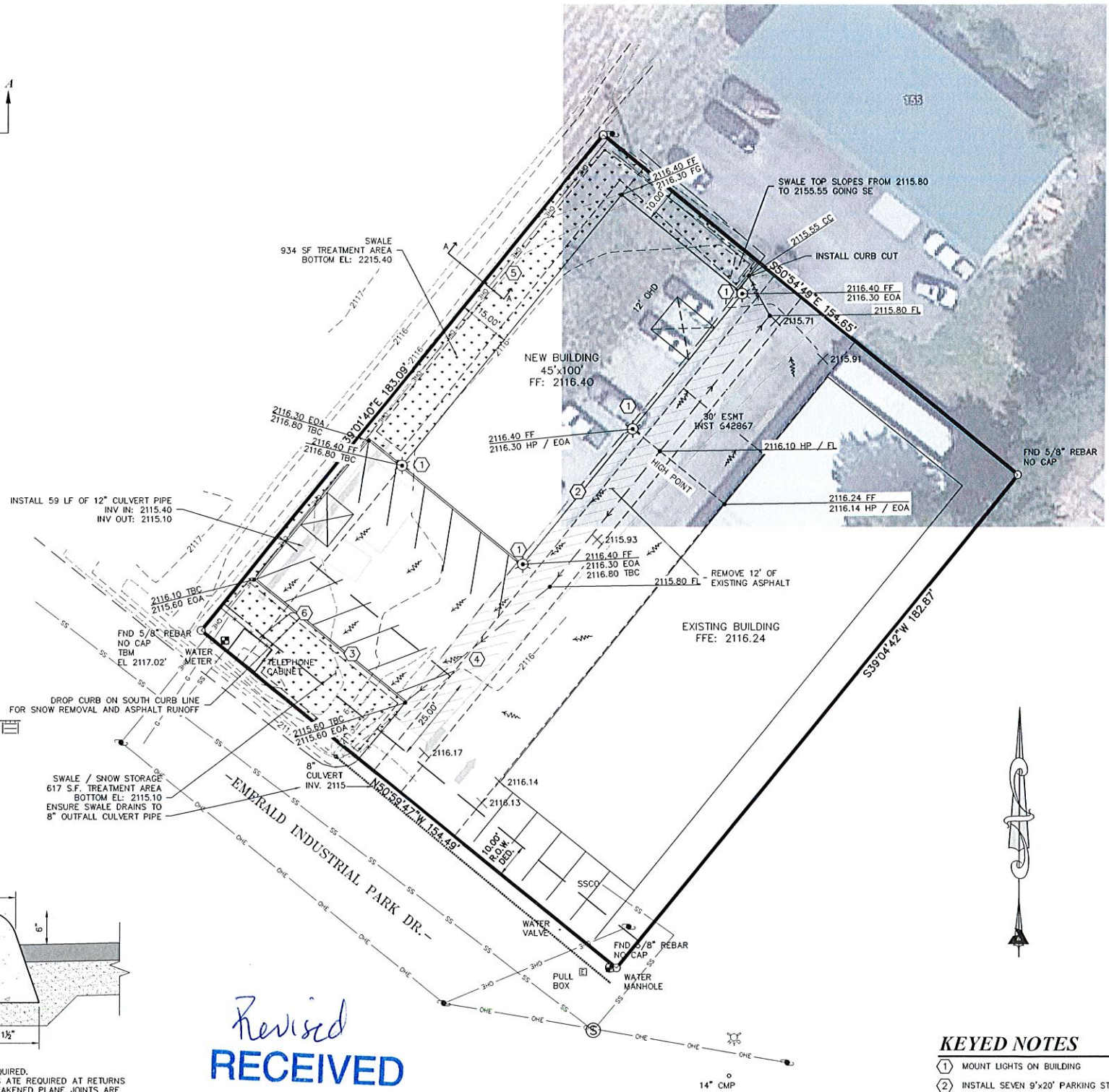
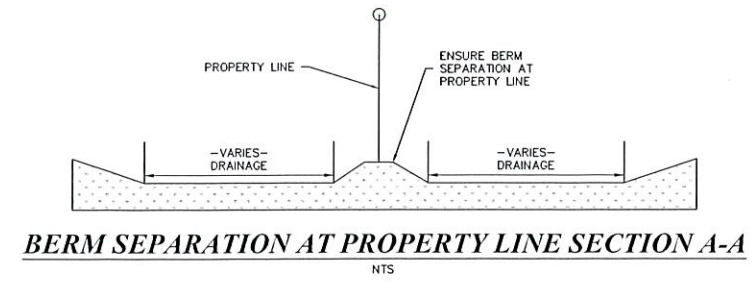
F **DI** DRAINAGE CURB CUT
SCALE: NTS



SILT FENCE DETAIL
N.T.S.



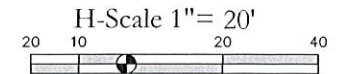
- NOTES:
1. A BROOM FINISH IS REQUIRED.
2. FELT EXPANSION JOINTS ARE REQUIRED AT RETURNS AND CATCH BASINS. WEAKENED PLANE JOINTS ARE REQUIRED EVERY TEN FEET (10').
3. FILLET ALL EXPOSED CORNERS WITH A 1/2" RADIUS.



Revised
RECEIVED

AUG 06 2021

**PLANNING OFFICE
CITY OF PONDERAY**



KEYED NOTES

- ① MOUNT LIGHTS ON BUILDING
- ② INSTALL SEVEN 9'x20' PARKING STALLS
- ③ INSTALL 600 S.F. GRASSY TREATMENT AREA
- ④ REMOVE & REPLACE 1920 S.F. OF ASPHALT
- ⑤ ENSURE BERM SEPARATION AT PROPERTY LINE
- ⑥ INSTALL 88 L.F. OF SILT FENCE

MARK	DATE	DESCRIPTION

ISSUE DATE: 7/16/2021
PLOT DATE: 8/6/21
DRAWN BY: JM
CHECKED BY: RRG
DWG FILE: 21-041 SIP
PROJ # 60 21-041
SHEET TITLE:
GRADING & DETAILS