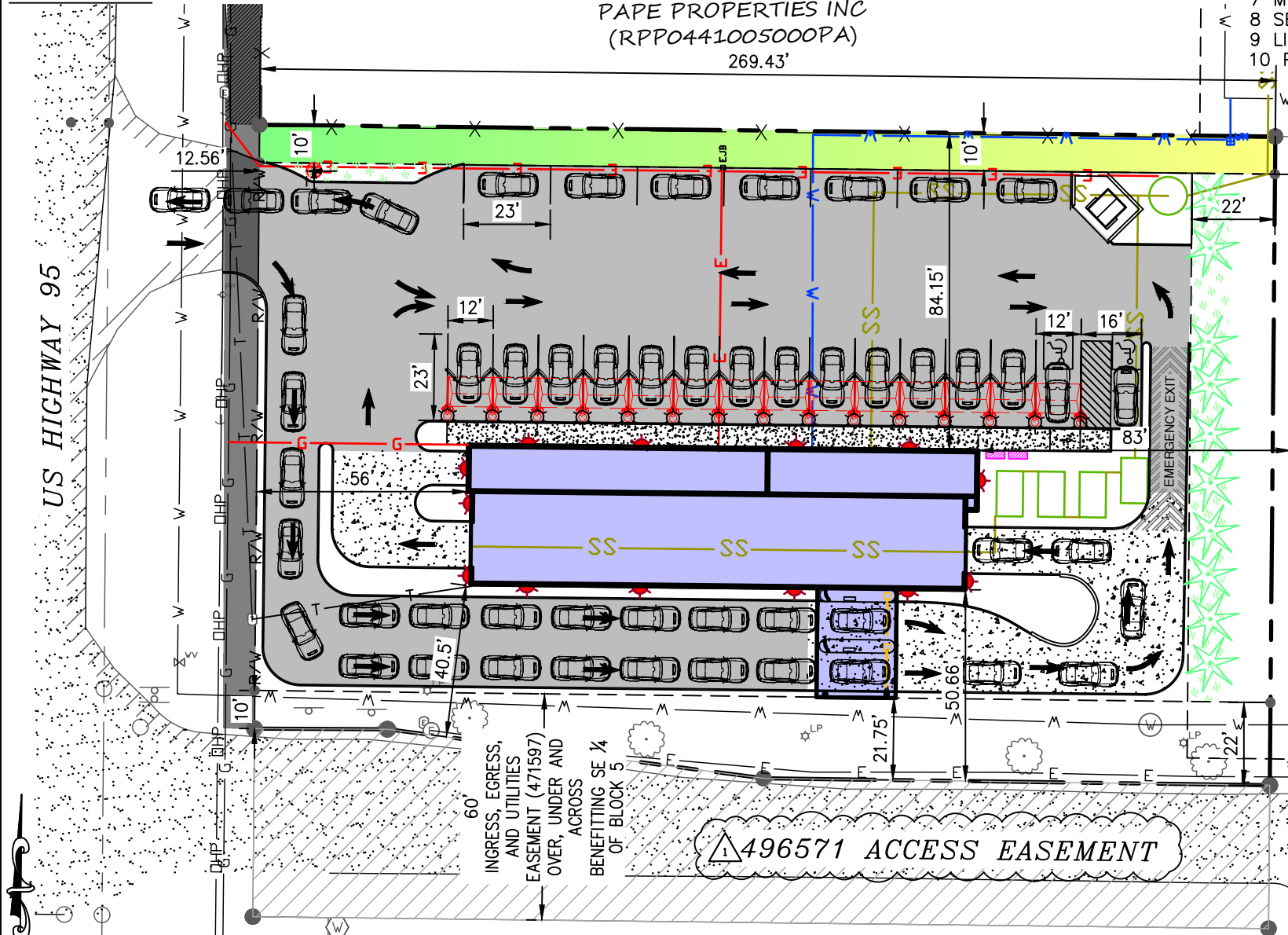


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OVERVIEW



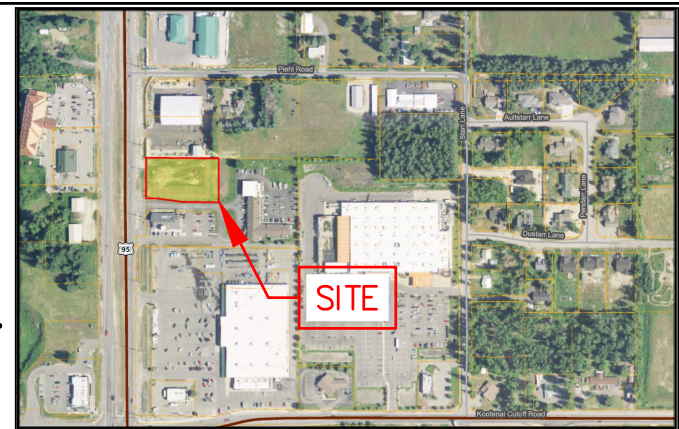
LEGEND

- ● ● ● ● PROPERTY MONUMENTS AS SHOWN ON SURVEY
- R/W — RIGHT OF WAY
- PROPOSED BUILDING
- PROPERTY PARCEL
- SETBACK LINE
- EASEMENT LINE
- DHP — OVERHEAD POWER LINES
- > — DRAINAGE DITCH/FLOW LINE
- X — FENCE
- STORM PIPE/ CULVERT
- EXISTING CULVERT
- FINISHED GRADE 5' CONTOUR
- FINISHED GRADE 1' CONTOUR
- EXISTING GRADE 5' CONTOUR
- EXISTING GRADE 1' CONTOUR
- W — EXISTING WATER MAIN
- SAN — EXISTING SEWER GRAVITY MAIN
- FM — SEWER FORCE MAIN
- SS — PROPOSED SEWER SERVICE
- E — UNDERGROUND ELECTRICAL
- PAVED PARKING LOT
- STORMWATER FACILITY
- LANDSCAPE AREA (HOLLY FERN OR EQUAL)
- HEATED CONCRETE/SIDEWALK
- ★ ★ PROPOSED EXTERIOR LIGHTING
- ★ LP EXISTING EXTERIOR LIGHTING
- TREE
- PLANT ARBORVITAE OR SIMILAR PLANTINGS, SPACED 4 FEET ZIG-ZAG.
- EXISTING SIGNAGE

- D STORM WATER INLET
- CATCH BASIN
- ⓔ ELECTRIC METER
- ⓔ ELECTRIC JUNCTION BOX
- ⓔ-PP POWER POLE
- ↓ POWER OR TELEPHONE GUY
- ⓧ TELEPHONE POLE
- ⓧ TELEPHONE JUNCTION BOX
- ⓧ PROPOSED WATER METER
- ⓧ EXISTING WATER METER
- ⓧ W WATER VALVE
- ⓧ W WATER SPIGOT

TABLE OF CONTENTS

- 1 COVER SHEET
- 2 SITE PLAN
- 3 STORMWATER AND GRADING PLAN
- 4 UTILITY PLAN
- 5 PARKING LOT SECTIONS AND DETAILS
- 6 STORMWATER SECTIONS AND DETAILS
- 7 MISCELLANEOUS DETAILS
- 8 SEWER DETAILS AND SECTIONS
- 9 LIFT STATION DETAILS AND CALCULATIONS
- 10 PRELIMINARY BUILDING PLANS



VICINITY MAP N.T.S

GENERAL NOTES

1. THESE PLANS ARE FOR THE CONSTRUCTION OF A PROFESSIONAL CAR WASH IN THE COMMERCIAL ZONE OF PONDERAY, IDAHO.
2. THE BUILDING OUTLINE AS SHOWN HEREON IS TO BE LOCATED IN THE FIELD BY A LICENSED PROFESSIONAL LAND SURVEYOR.
3. THESE PLANS ARE FOR SITE GRADING, STORMWATER AND EROSION CONTROL AS SHOWN.
4. IT IS THE CONTRACTORS RESPONSIBILITY TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF PONDERAY, AND ANY OTHER DEVELOPMENT STANDARDS.
5. ALL WORK SHALL CONFORM TO THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION," 2020 OR MOST RECENT EDITION. IN CASE OF CONFLICT, CITY OF PONDERAY STANDARDS SHALL PREVAIL.
6. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY COMPANIES PRIOR TO STARTING WORK NEAR ANY FACILITIES AND SHALL COORDINATE HIS WORK WITH COMPANY REPRESENTATIVES. ALL UTILITY SERVICES SHALL BE INSTALLED UNDERGROUND. FOR EXISTING UTILITY LOCATIONS, CONTACT CALL BEFORE YOU DIG AT 1-800-626-4950 AT LEAST 48 HOURS PRIOR TO STARTING ANY EXCAVATIONS.
7. AN APPROVED PERMIT SHALL BE OBTAINED FROM THE CITY OF PONDERAY PLANNING DEPARTMENT AND WORK SHALL NOT BEGIN UNTIL A NOTICE TO PROCEED IS RECEIVED. THE CONTRACTOR SHALL NOTIFY THE PONDERAY CITY PLANNING DEPARTMENT 48 HOURS PRIOR TO STARTING WORK.
8. THE CONTRACTOR SHALL HAVE AN APPROVED SET OF IMPROVEMENT PLANS AND APPROVAL LETTER ON THE JOB SITE AT ALL TIMES.
9. WHERE TRENCHES ARE WITHIN PUBLIC EASEMENTS, COMPACTION TEST RESULTS SHALL BE SUBMITTED TO THE ENGINEER OF RECORD BY A QUALIFIED LABORATORY AND PROPERLY CERTIFIED TECHNICIAN WHO WILL CERTIFY THAT TRENCH BACKFILL WAS COMPACTED AS REQUIRED IN ACCORDANCE WITH THE ISPMC OR PONDERAY REQUIREMENTS.
10. ALL TESTING REQUIRED WILL BE AT THE EXPENSE OF THE CONTRACTOR.
11. ALL EXISTING IMPROVEMENTS INCLUDING CURB AND GUTTERS, SIDEWALKS, ASPHALT, CONCRETE OR P.C.C. PAVING, WHICH ARE BEING JOINED OR MATCHED IN CONNECTION WITH THIS PROJECT, SHALL BE JOINED OR MATCHED IN A MANNER SATISFACTORY TO THE OWNER, INCLUDING NECESSARY SAWCUTTING, REMOVAL, REPLACEMENT AND CAPPING.
12. EXISTING DRAINAGE FEATURES WILL BE PRESERVED OR RESTORED SUCH THAT NO BLOCKAGE OF EXISTING RUNOFF WATER WILL PERMANENTLY OCCUR.
13. ALL GREEN/LANDSCAPE SPACE TO BE GRASS, BUSHES AND TREES.
14. CONTRACTOR SHALL PROVIDE DUST CONTROL OR ABATEMENT MEASURES SUCH AS WATER SUPPRESSION, SCREENING & ENCLOSURE AND GENERAL SITE HOUSE KEEPING DURING CONSTRUCTION OF PROJECT.
15. EXISTING UTILITIES SHALL BE LOCATED, MARKED, AND PROTECTED DURING COURSE OF CONSTRUCTION. IF ANY DAMAGE TAKES PLACE, THE CONTRACTOR SHALL NOTIFY UTILITY COMPANY.
16. NO REVISIONS SHALL BE MADE TO THESE PLANS WITHOUT THE APPROVAL OF THE ENGINEER.

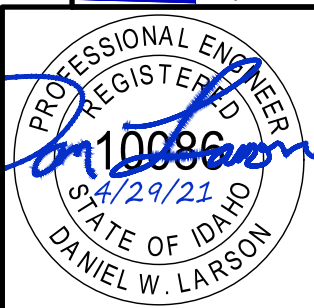
SURVEY NOTES

1. THIS PLAN WAS PREPARED BY FROM A BOUNDARY AND TOPOGRAPHIC SURVEY DONE BY GLAHE & ASSOCIATES AS WELL AS INFORMATION TAKEN FROM THE BONNER COUNTY GIS WEBSITE.
2. THIS MAP DOES NOT REPRESENT AN ACTUAL SURVEY BUT WAS ASSEMBLED FROM INFORMATION GATHERED AS NOTED. REFER TO THE RECORDS OF SURVEY BY GLAHE & ASSOCIATES FOR MORE DETAILED PROPERTY BOUNDARY, ELEVATION MONUMENTATION, AND ADDITIONAL INFORMATION.
3. ELEVATIONS SHOWN ARE BASED ON THE GLAHE SURVEY USING THE NAVD88 DATUM AS RECEIVED AND IS INTENDED TO SERVE AS A GRADING, STORMWATER, AND EROSION PLAN FOR A DEVELOPMENT PERMIT.
4. EXISTING PROPERTY CORNERS AND SURVEY MONUMENTS SHALL BE LOCATED, MARKED, AND PROTECTED DURING THE COURSE OF CONSTRUCTION. ANY DAMAGE OR OBLITERATED CORNERS OR MONUMENTS SHALL BE RE-ESTABLISHED AT THE CONTRACTORS EXPENSE BY A PROFESSIONAL LAND SURVEYOR, LICENSED IN THE STATE OF IDAHO, PRIOR TO FINAL ACCEPTANCE.

REVISION #	DATE	DESCRIPTION
1	4/20/21	REPLACES SHEET 1 WITH CHANGES
2	4/29/21	REPLACES SHEET 1A WITH CHANGES

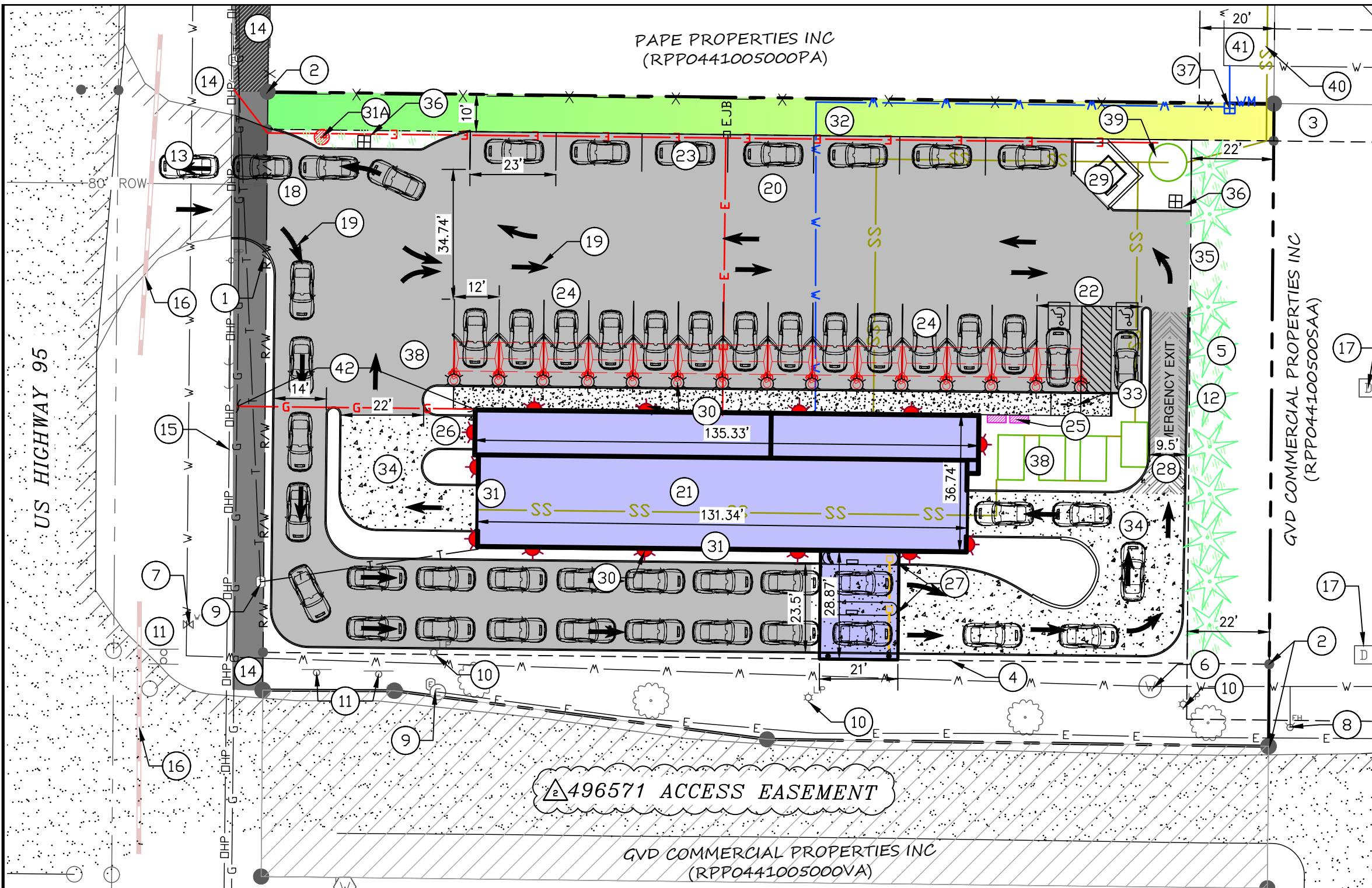
SHEET TITLE	COVER SHEET
OWNER	95 EXPRESS LLC
PROJECT	95 EXPRESS PONDERAY, IDAHO

ENGINEERING
414 CHURCH STREET, SUITE 20511
SANDPOINT, IDAHO 83864
(208) 263-0623
info@7BEngineering.com



PROJECT NO: 2107
DRAWN BY: ICE/DWL
CHECKED BY: DWL
SCALE: 1"=40' (11"x17" ONLY)

z:\engineering\2107 ponderay car wash\dwg\c-base 2107 ponderay carwash.dwg



KEYNOTES

- | | | |
|--|--|---|
| 1 RIGHT-OF-WAY/PROPERTY BOUNDARY | 9 EXISTING UTILITIES (TEL, ELECTRICAL) | 18 PROPOSED COMMERCIAL ENTRANCE |
| 2 RETAIN & PROTECT EXISTING SURVEY MONUMENTS AS NOTED | 10 EXISTING LIGHTING (RUBY HOTEL) | 19 PROPOSED TRAFFIC ROUTE |
| 3 EXISTING 10' STORMWATER EASEMENT (INSTRUMENT NO 359937) | 11 RETAIN & PROTECT EXISTING SIGNAGE (RUBY HOTEL) | 20 PROPOSED PARKING LOT |
| 4 NORTHLINE OF 60' WIDE INGRESS, EGRESS & UTILITY EASEMENT | 12 PROPOSED ARBORVITAE OR SIMILAR PLANTINGS | 21 PROPOSED BUILDING/CAR WASH TUNNEL (SEE FLOOR PLANS BY OTHERS) |
| 5 EXISTING STORMWATER EASEMENT | 13 EXISTING US-95 ACCESS (TO BE RETAINED) | 22 PROPOSED VAN ACCESSIBLE PARKING SPOT AND ACCESSIBLE VACUUM SPOT WITH 96" ACCESS AISLE (SEE DETAIL) |
| 6 EXISTING WATER METER (NORTHSIDE) | 14 PROPOSED 8' WIDE BIKE PATH (CONNECT TO EXISTING BIKE PATH, SW CONNER OF PAPE MACHINERY) | 23 PROPOSED EMPLOYEE PARKING |
| 7 EXISTING WATER VALVE (NORTHSIDE) | 15 RETAIN & PROTECT EXISTING OVERHEAD POWER LINES | 24 PROPOSED VACUUM STALLS (SEE PLANS BY OTHERS) |
| 8 EXISTING FIRE HYDRANT LOCATION (SANDPOINT WATER) | 16 18" EXISTING STORM CULVERTS | 25 MAT WASHERS (SEE PLANS BY OTHERS) |
| | 17 RETAIN AND PROTECT EXISTING STORM PIPE AND STORMWATER STRUCTURE | 26 PROPOSED LOADING ZONE |
| | | 27 PROPOSED PAY TOLLS/GATES (SEE PLANS BY OTHERS) |
| | | 28 PROPOSED ESCAPE |
| | | 29 PROPOSED TRASH ENCLOSURE |
| | | 30 PROPOSED LIGHTING |
| | | 31 PROPOSED SIGNAGE |
| | | 31A POLE MOUNTED SIGN (BY OTHERS) |
| | | 32 PROPOSED STORMWATER TREATMENT & RETENTION AREA (SEE SHEET 3) |
| | | 33 PROPOSED ADA RAMPS (SEE DETAIL B/5) |
| | | 34 HEATED CONCRETE DRIVE |
| | | 35 PROPOSED CURB OPENING FOR SNOW REMOVAL (SEE DETAIL B/7) |
| | | 36 PROPOSED BOLLARDS (SEE DETAIL C/7) |
| | | 37 PROPOSED 2" WATER SERVICE CONNECTION TO SANDPOINT WATER |
| | | 38 PROPOSED WATER RECLAIMING AND OIL SEPARATOR TANKS (SEE DETAIL A/8) |
| | | 39 PROPOSED LIFT STATION (SEE PAGE 9) |
| | | 40 PROPOSED 3" PRESSURE LATERAL |
| | | 41 20' UTILITY EASEMENT TO BENEFIT CITY OF SANDPOINT AND 95 EXPRESS, LLC UPON SITE PLAN AND UTILITY APPROVAL. |
| | | 42 PROPOSED GAS CONNECTION |

SITE PLANNING DATA

TOTAL LOT SIZE
45,278 SF

ACCESS EASEMENT
4,856 SF

LOT SIZE (USED)
40,422 SF

ROOF SHED/ BUILDING AREA
5,526 SF

BUILDING
4,920 SF

PAY TOLLS
606 SF

TOTAL FLOOR SPACE
4,748.5 SF

INDUSTRIAL FLOOR SPACE
4,068 SF

TUNNEL
130 FT X 24 FT

EQUIPMENT
79 FT X 12 FT

COMMERCIAL FLOOR SPACE
680.5 SF

BATH, OFFICE AND OPERATIONS
55 FT X 12± FT

PARKING LOT
24,067 SF

PARKING SPOTS REQUIRED

4,068 SF / 1,000 SF = 4.07 SPOTS

681 SF / 200 SF = 3.41 SPOTS

7.48 ~ 8 TOTAL

PARKING SPOTS PROPOSED

7 EMPLOYEE SPOTS

1 VAN ACCESSIBLE SPOT

14 VACUUM STALLS

22 TOTAL

OPEN SPACE 35,091 SF 87%	GREEN SPACE 6,060 SF 15%
24,067 SF-PARKING	LANDSCAPING 3,361 SF
1,056 SF-SIDEWALKS	STORMWATER 2,699 SF
3,302 SF - MISC.	
6,060 SF - GREEN	

496571 ACCESS EASEMENT

US HIGHWAY 95

PAPE PROPERTIES INC
(RPP0441005000PA)

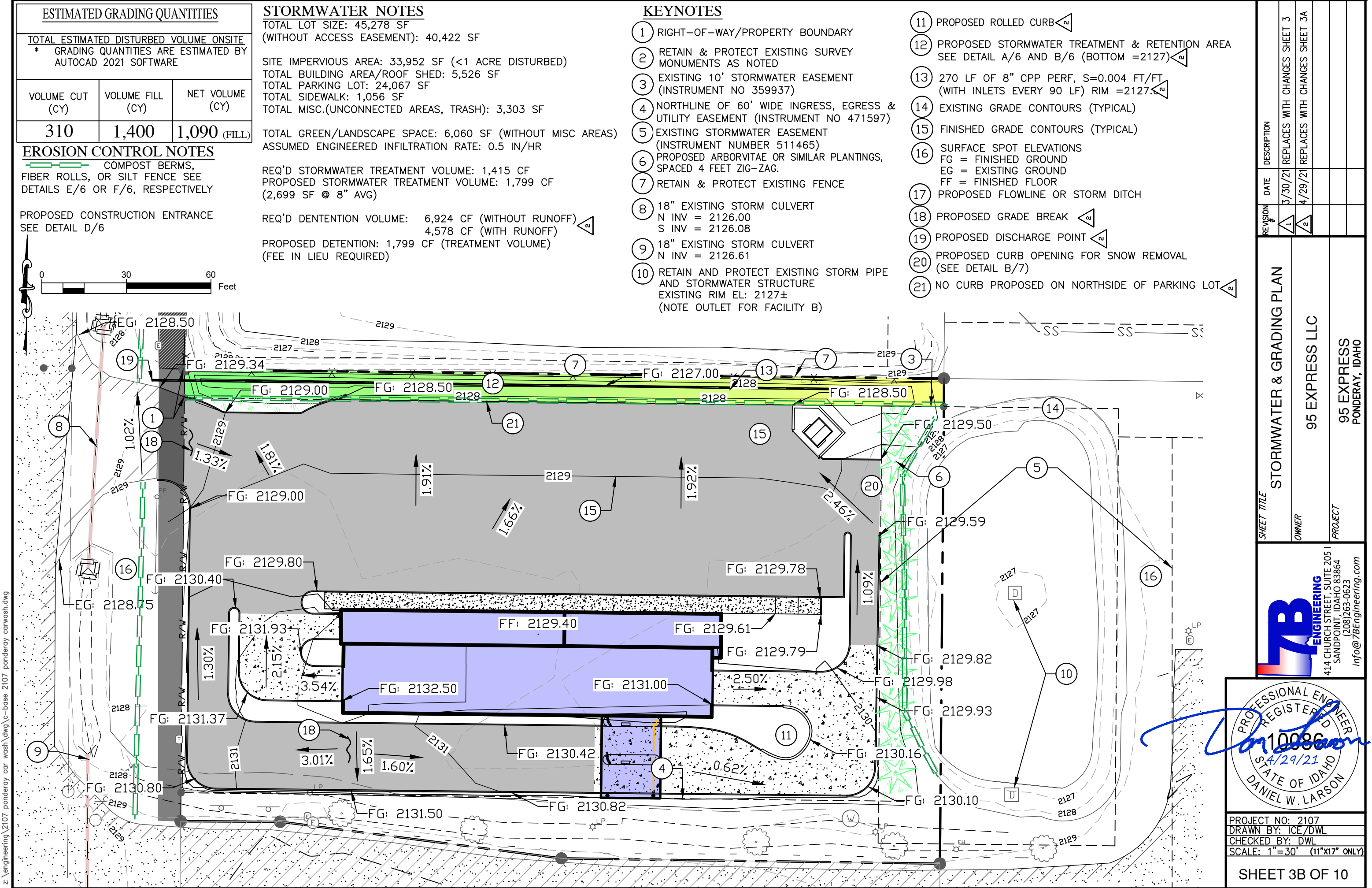
GVD COMMERCIAL PROPERTIES INC
(RPP0441005000AA)

GVD COMMERCIAL PROPERTIES INC
(RPP0441005000AA)

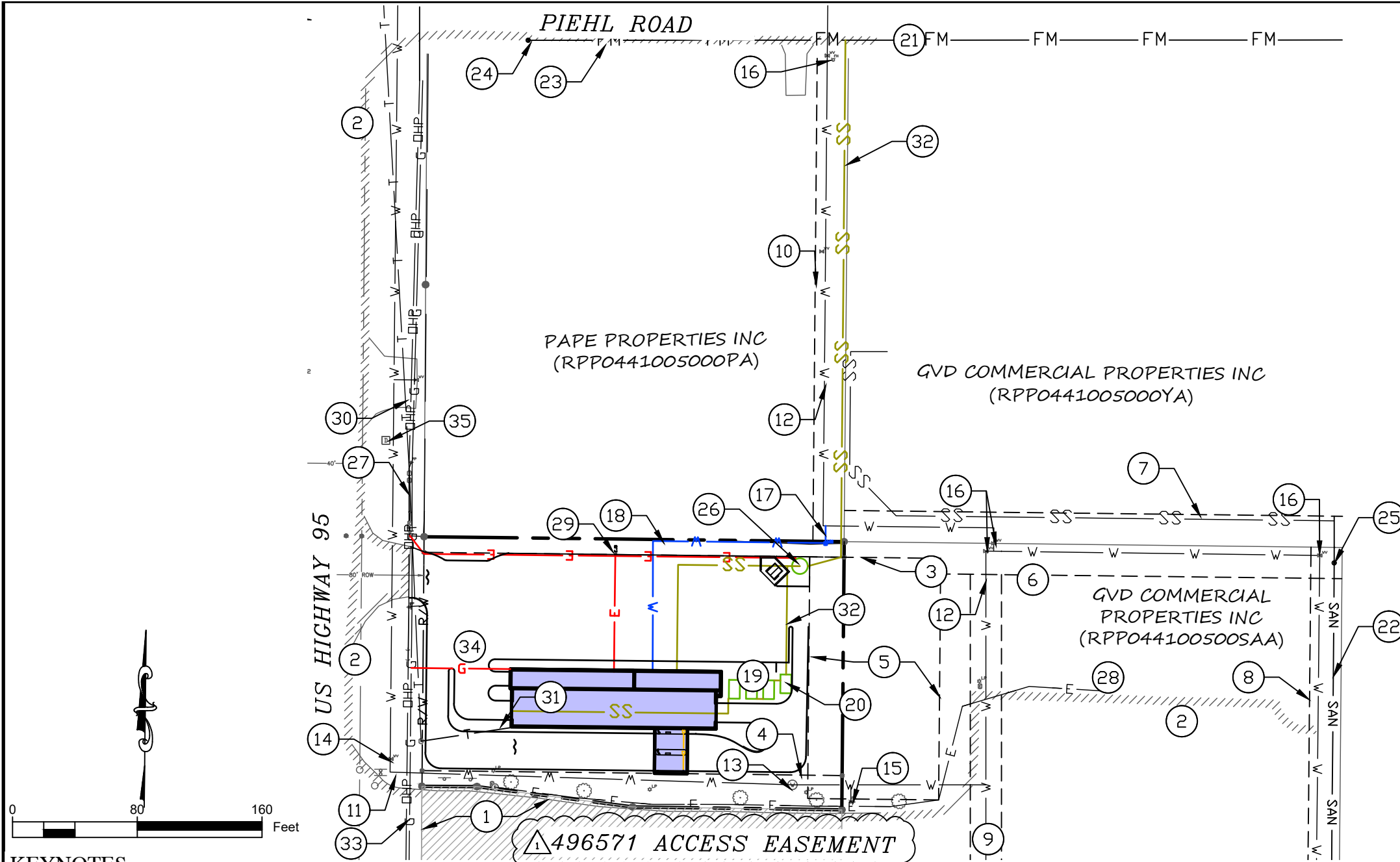
414 CHURCH STREET, SUITE 2051
SANDPOINT, IDAHO 83864
(208)263-0623
info@7BEngineering.com

PROJECT NO: 2107
DRAWN BY: DWL/ICE
CHECKED BY: DWL
SCALE: 1"=30' (11"x17" ONLY)

SHEET 2B OF 10



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KEYNOTES

- | | | | |
|--|--|---|--------------------------------------|
| ① RIGHT-OF-WAY/PROPERTY BOUNDARY | ⑪ APPROXIMATE LOCATION OF EXISTING 6" WATER MAIN (NORTHSIDE) | ②② APPROXIMATE LOCATION OF EXISTING 8" GRAVITY SEWER MAIN (KOOTENAI/PONDERAY) | ③③ EXISTING UNDERGROUND GAS (AVISTA) |
| ② EDGE OF PAVEMENT | ⑫ APPROXIMATE LOCATION OF EXISTING 8" WATER MAIN (SANDPOINT) | ②③ EXISTING PRESSURE SEWER CLEANOUT | ③④ PROPOSED GAS CONNECTION |
| ③ EXISTING 10' STORMWATER EASEMENT (INSTRUMENT NO 359937) | ⑬ EXISTING WATER METER (NORTHSIDE) & NORTHSIDE'S CONNECTION SANDPOINT WATER. | ②④ EXISTING PRESSURE SEWER MANHOLE RIM: 2129.79± INV: 2125.79± | ③⑤ EXISTING STORMWATER INLET |
| ④ NORTHLINE OF 60' WIDE INGRESS, EGRESS & UTILITY EASEMENT (INSTRUMENT NO 471597) | ⑭ EXISTING WATER VALVE (NORTHSIDE) | ②⑤ EXISTING SEWER MANHOLE (#PC044) RIM: 2130.08± INV: 2125.00± | |
| ⑤ EXISTING STORMWATER EASEMENT (INSTRUMENT NO 511465) | ⑮ EXISTING FIRE HYDRANT LOCATION (SANDPOINT WATER) | ②⑥ PROPOSED LIFT STATION (SEE DETAIL A/9) | |
| ⑥ EXISTING SANDPOINT WATER UTILITY EASEMENT (INSTRUMENT NO 50714) | ⑯ EXISTING WATER VALVE (SANDPOINT) | ②⑦ OVERHEAD POWER LINES (AVISTA) | |
| ⑦ EXISTING 20' WIDE SANDPOINT WATER UTILITY EASEMENT (INSTRUMENT NO 50717). | ⑰ PROPOSED 2" WATER SERVICE CONNECTION AND METER TO SANDPOINT WATER SYSTEM | ②⑧ EXISTING UNDERGROUND POWER (RUBY HOTEL) | |
| ⑧ EXISTING UTILITY EASEMENT (INSTRUMENT NO 499687) | ⑱ PROPOSED 3" WATER SERVICE LINE | ②⑨ PROPOSED POWER CONNECTION (3 PHASE) | |
| ⑨ EXISTING 20' UTILITY EASEMENT (CITY OF SANDPOINT). (INSTRUMENT NO 506032) | ⑲ PROPOSED WATER RECLAIMING TANKS (2,000 GAL EACH) (3 TOTAL) SEE DETAIL A/8 | ③⑦ EXISTING MISC UTILITIES LINE (TELEPHONE/FIBER) | |
| ⑩ EXISTING UTILITY EASEMENT (CITY OF SANDPOINT) UNLABELED/UNCONFIRMED. PROPOSED TO BE REVISED TO INCLUDE BOTH WATER AND SEWER. | ⑳ PROPOSED WATER/OIL SEPARATOR TANK (1 TOTAL) (DETAIL A/8) | ③① PROPOSED MISC UTILITIES LINE (TELEPHONE/FIBER) | |
| | ㉑ APPROXIMATE LOCATION OF EXISTING 6" FORCE MAIN (KOOTENAI/PONDERAY) | ③② PROPOSED 3" PRESSURE LATERAL | |

REVISION #	DATE	DESCRIPTION
1	4/20/21	REPLACES SHEET 4 WITH CHANGES
2	4/29/21	REPLACES SHEET 4A WITH CHANGES

UTILITY PLAN	OWNER	PROJECT
	95 EXPRESS LLC	95 EXPRESS PONDERAY, IDAHO

ENGINEERING

414 CHURCH STREET, SUITE 205
SANDPOINT, IDAHO 83864
(208) 263-0623
info@7BEngineering.com

PROFESSIONAL ENGINEER
REGISTERED
4/29/21
STATE OF IDAHO
DANIEL W. LARSON

PROJECT NO: 2107
DRAWN BY: DWL/ICE
CHECKED BY: DWL
SCALE: 1"=80' (11"x17" ONLY)

SHEET 4B OF 10

1. ALL STRIPING FOR ACCESSIBLE PARKING SHALL BE BLUE AND 6" IN WIDTH.
2. CROSSHATCH STRIPING FOR ACCESS AISLE SHALL BE ON 24" CENTERS AND AT 45° TO THE LONG AXIS.
3. VAN ACCESSIBLE ACCESS AISLES SHALL BE A MINIMUM OF 8', ALL OTHER ACCESS AISLES SHALL BE A MINIMUM OF 5'.
4. EACH STALL SHALL BE IDENTIFIED WITH AN 42" WIDE X 48.75" TALL WHITE ACCESSIBILITY SYMBOL WITHIN A 60" X 60" BLUE BOX BACKGROUND (COLUMBIA PAINT 17-213-21 INSTANT DRY ACRYLIC TRAFFIC PAINT "HANDICAP BLUE" OR EQUIVALENT). THE SYMBOL SHALL BE CENTERED WITHIN AND NO MORE THAN 1' FROM THE ENTRANCE OF THE STALL.
5. ALL STRIPING DIMENSIONS PROVIDED ARE MINIMUM AND SHALL BE MEASURED ON CENTER(S).
6. EVERY PARKING STALL SHALL BE IDENTIFIED BY A SIGN.
7. THE SIGN SHALL BE CLEARLY VISIBLE AT ALL TIMES, FIXED TO A POST OR PERMANENT STRUCTURE, AND LOCATED AS CLOSE TO EACH STALL AS POSSIBLE BUT SHALL NOT BLOCK ANY DISABLED ACCESS ROUTE OR VEHICLE OVERHANG AND IN NO CASE SHALL BE GREATER THAN 8' FROM THE RESPECTIVE STALL.
8. THE SIGN SHALL FACE PERPENDICULAR TO THE LONG AXIS OF THE STALL.
9. ANGLE PARKING SHALL MEET THE INTENT OF THESE STANDARDS.
10. SIGN POSTS SHALL BE SCHEDULE 40 HOT DIP GALVANIZED PIPE MEETING ASTM A-53A & THREADED AT BOTH ENDS. POSTS SHALL BE PLUMB.

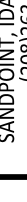


1. EXCAVATE TO SUBGRADE: 1.5' MINIMUM
2. INSTALL SUBGRADE SEPARATION GEOTEXTILE (ISPCW TYPE II)
3. SUBBASE: 0.5' MINIMUM OF CRUSHED AGGREGATE (ISPCW TYPE II)
4. BASE COURSE: 0.33' CRUSHED AGGREGATE BASE (ISPCW TYPE I)
5. CONCRETE: 0.50' CONCRETE SHALL MEET ISPCW SECTION 703.
6. INCREASE BOTH AGGREGATE SUBBASE (TYPE II) IN NON-POROUS SOIL CONDITIONS (LOAMS OR CLAYS).




1. EXCAVATE TO SUBGRADE: 1.5' MINIMUM
2. INSTALL SUBGRADE SEPARATION GEOTEXTILE (ISPCW TYPE II)
3. CULVERT TO BE ADS OR HDPE. USE CMP, DIP, OR CONCRETE FOR SHALLOW INSTALL (LESS THAN 12" COVER).
4. SUBBASE: 1.50' MINIMUM OF CRUSHED AGGREGATE (ISPCW TYPE II)
5. BASE COURSE: 0.50' CRUSHED AGGREGATE BASE (ISPCW TYPE I)
6. PAVEMENT: 0.25' OF HMA (OPTIONAL)
7. CULVERT ENDS TO BE CLEAR AND PIPE LAID TO GRADE.
8. AGGREGATE SUBBASE (TYPE II) IN TRENCH BENEATH PIPE TO BE USED IN NON-POROUS SOIL CONDITIONS (LOAMS OR CLAYS).

SHEET TITLE	REVISION #	DATE	DESCRIPTION
PARKING LOT DETAILS			
OWNER 95 EXPRESS LLC			
PROJECT 95 EXPRESS7 PONDERAY, IDAHO			



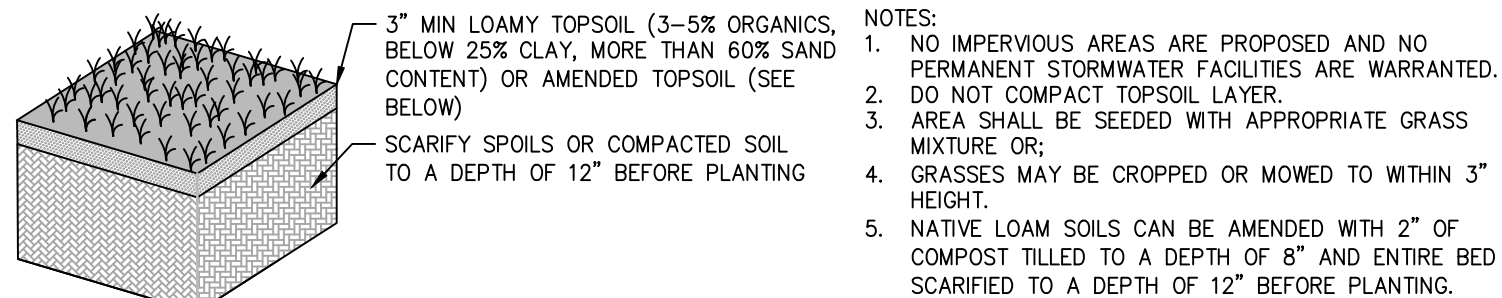
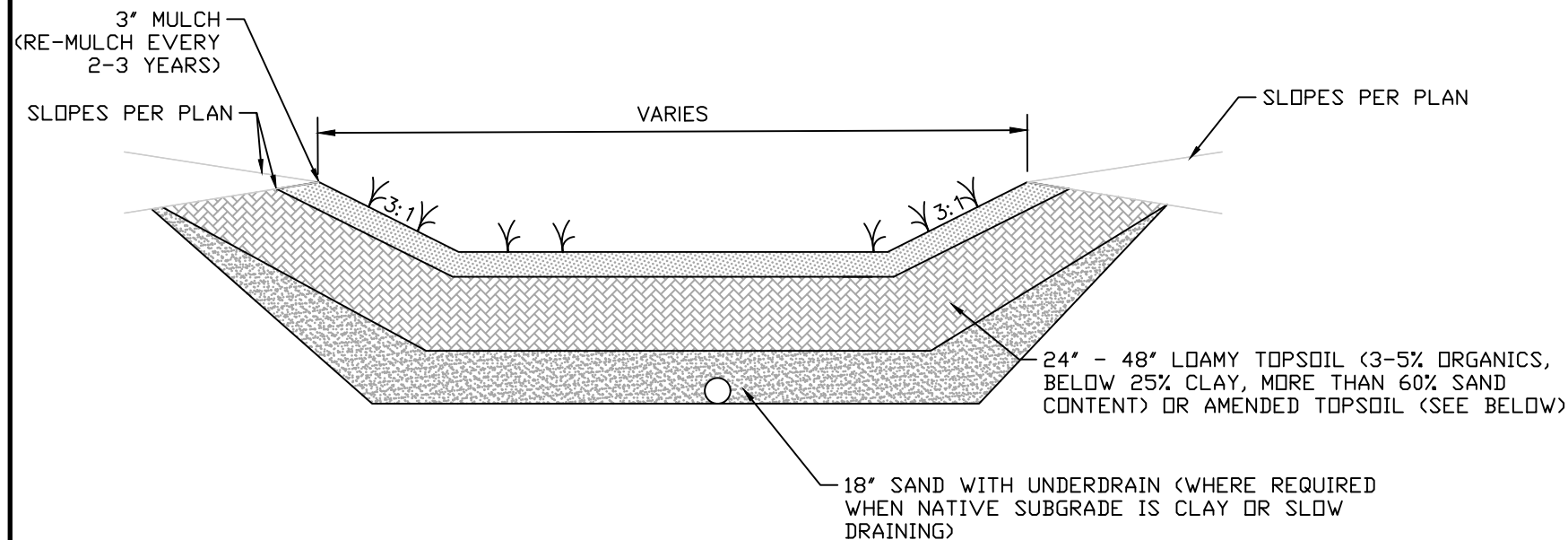
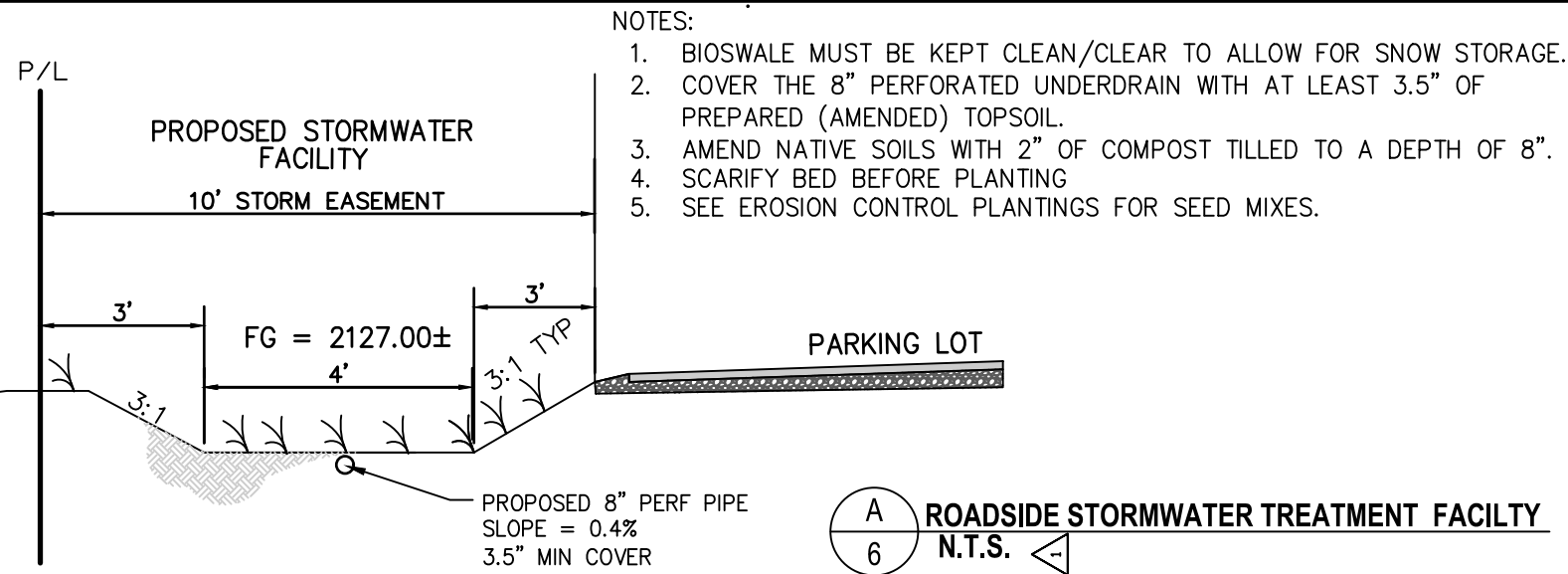
LB ENGINEERING
 414 CHURCH STREET, SUITE 205 I
 SANDPOINT, IDAHO 83864
 (208)263-0623
info@7BEngineering.com



PROJECT NO: 2107
DRAWN BY: DWL/JCE
CHECKED BY: DWL
SCALE: NTS (11"x17" ONLY)

SHEET 5 OF 10

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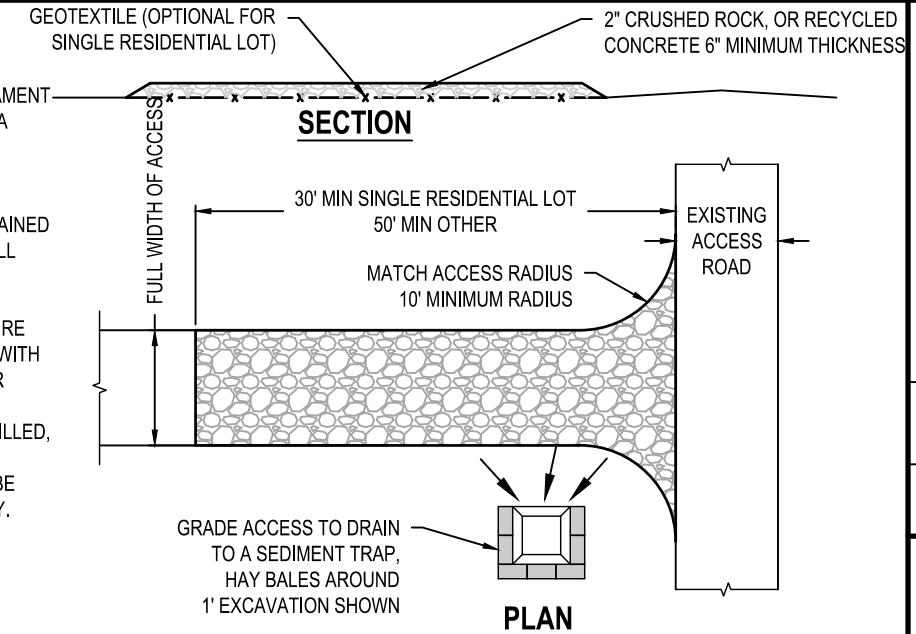
SUGGESTED SEEDING MIXES:	
GRASSED INFILTRATION AREA:	PERMANENT EROSION CONTROL SEED MIX:
IDAHO FESCUE (60#/AC)	SPRING WHEAT (60#/AC)
BEAKED SEDGE (60#/AC),	BARLEY (80#/AC)
SMOOTH BROME (80#/AC).	OATS (60#/AC).

C
6

EROSION CONTROL PLANTINGS
N.T.S. DISTURBED AREA REPLANTING

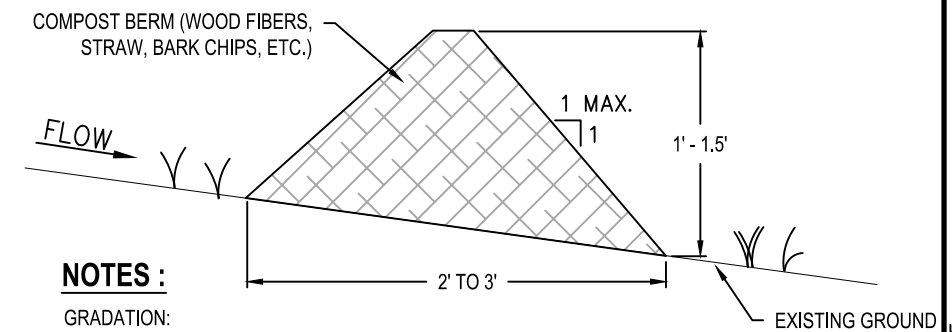
NOTES:

- GEOTEXTILE MAY BE NONWOVEN OR MONOFILAMENT WOVEN AND SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 200 LBS IN EITHER DIRECTION.
- THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT OFFSITE. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL ROCK AND/OR CLEANOUT OF SEDIMENT TRAPS. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED OFFSITE MUST BE CLEANED UP IMMEDIATELY.



D
6

STABILIZED CONSTRUCTION ENTRANCE
N.T.S.



NOTES :

GRADATION:
3" - 100% PASSING
1" - 90% TO 100% PASSING
3/4" - 70% TO 100% PASSING
1/4" - 30% TO 75% PASSING

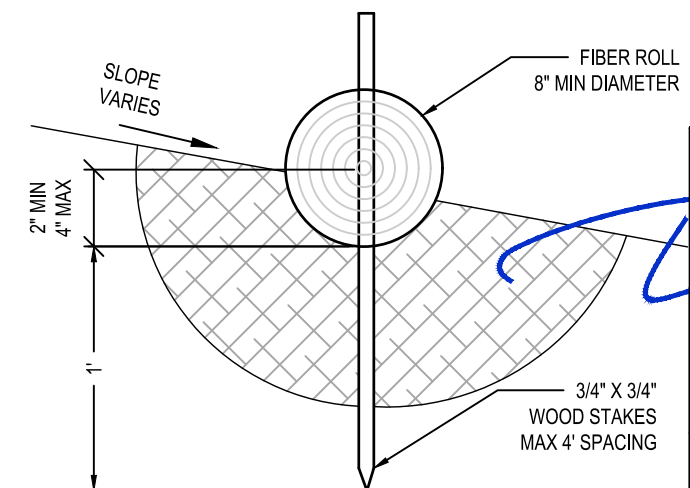
NOTHING LONGER THAN 6" SHALL BE USED.
CONSTRUCT WITH 25% TO 100% ORGANIC MATTER (WOOD FIBER, STRAW, COMPOST, ETC.)

E
6

TEMPORARY BERM (COMPOST)
N.T.S.

NOTES:

- FIBER ROLLS SHALL BE PLACED ALONG A LEVEL CONTOUR UNLESS OTHERWISE SHOWN.
- TURN THE ENDS OF THE FIBER ROLL UP SLOPE TO PREVENT RUNOFF FROM GOING AROUND THE ROLL.
- IF MORE THAN ONE FIBER ROLL IS PLACED IN A ROW, THE ROLLS SHALL BE OVERLAPPED A MINIMUM OF 12".
- SEDIMENT SHALL BE REMOVED WHEN SEDIMENT ACCUMULATION REACHES ONE-HALF OF THE EXPOSED HEIGHT OF THE FIBER ROLL.



F
6

FIBER ROLLS
N.T.S.

REVISION #	DATE	DESCRIPTION
1	4/29/21	REPLACES SHEET 6 WITH CHANGES

STORMWATER DETAILS	
OWNER	95 EXPRESS LLC
PROJECT	95 EXPRESS PONDERAY, IDAHO

SHEET TITLE	
ENGINEERING	
414 CHURCH STREET, SUITE 20511 SANDPOINT, IDAHO 83864 (208) 263-0623 info@7BEngineering.com	

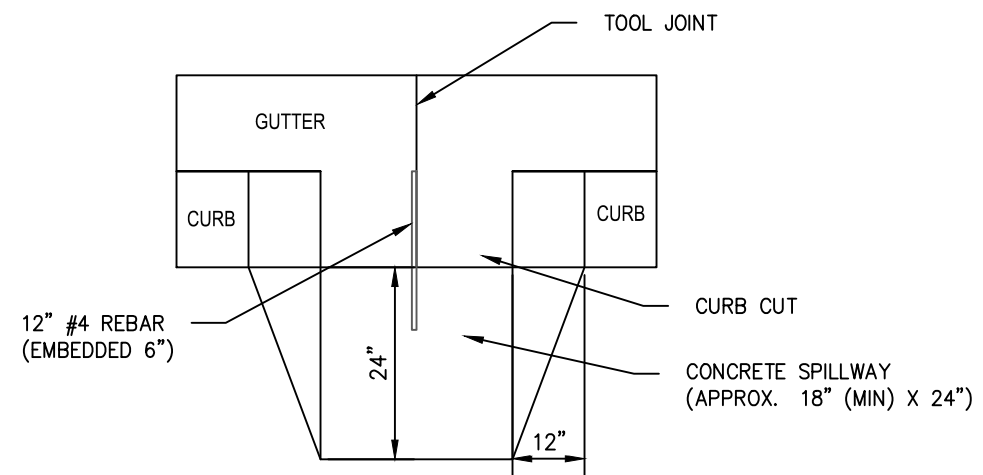
PROFESSIONAL ENGINEER REGISTERED STATE OF IDAHO DANIEL W. LARSON	
PROJECT NO: 2107 DRAWN BY: DWL/ICE CHECKED BY: DWL SCALE: NTS (11"x17" ONLY)	
SHEET 6A OF 10	



CURB CUT SNOW REMOVAL

NOTES :

1. CONCRETE SPILLWAYS SHALL BE CONSTRUCTED WITH A 4" DROP OR AT THE SLOPE OF THE ADJACENT GROUND, WHICHEVER IS GREATER.
2. AT THE SPILLWAY DISCHARGE, THE FINISHED ELEVATION SHALL BE 1"-2" BELOW THE SPILLWAY DISCHARGE TO ACCOMMODATE SOD GROWTH.



18" APRON TOP VIEW FOR DRAINAGE



MISCELLANEOUS DETAILS

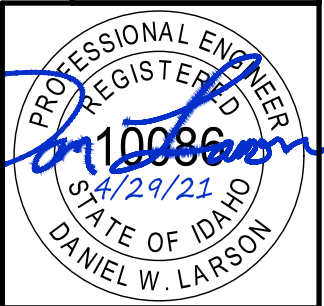
95 EXPRESS LLC

95 EXPRESS
PONDERAY, IDAHO

SHEET TITLE

OWNER

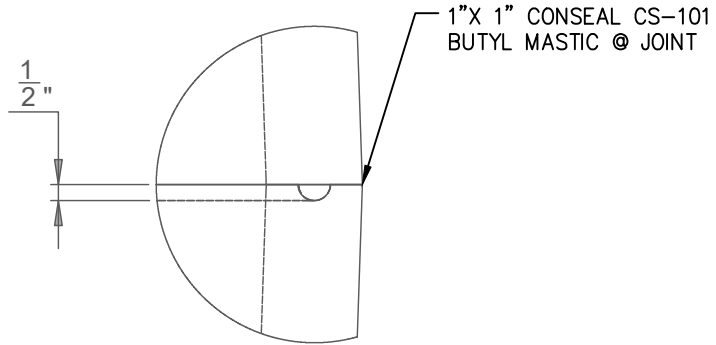
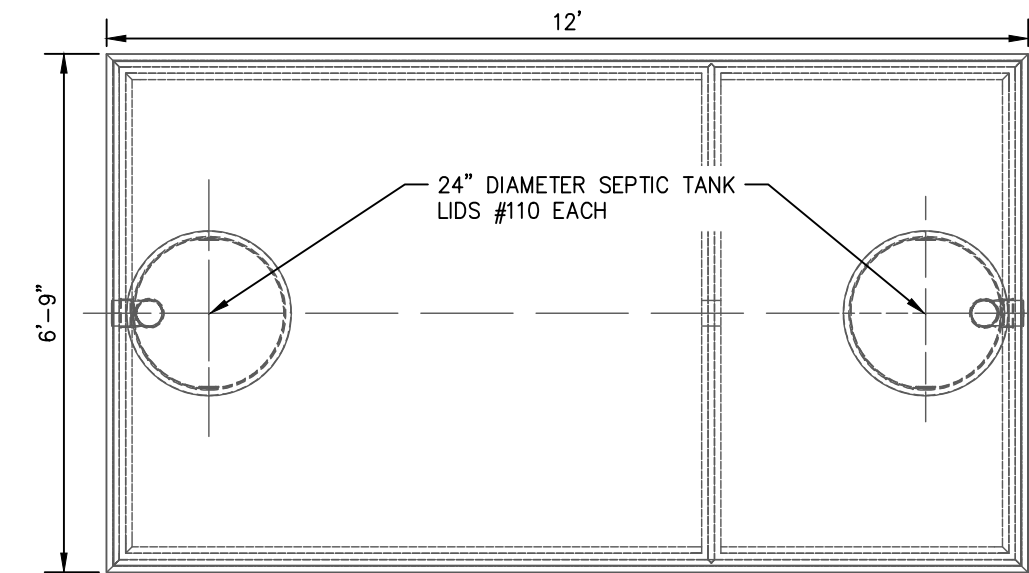
PROJECT



PROJECT NO: 2107
DRAWN BY: DWL/ICE
CHECKED BY: DWL
SCALE: NTS (11"x17" ONLY)

SHEET 7A OF 10

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JOINT DETAIL A

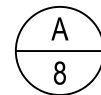
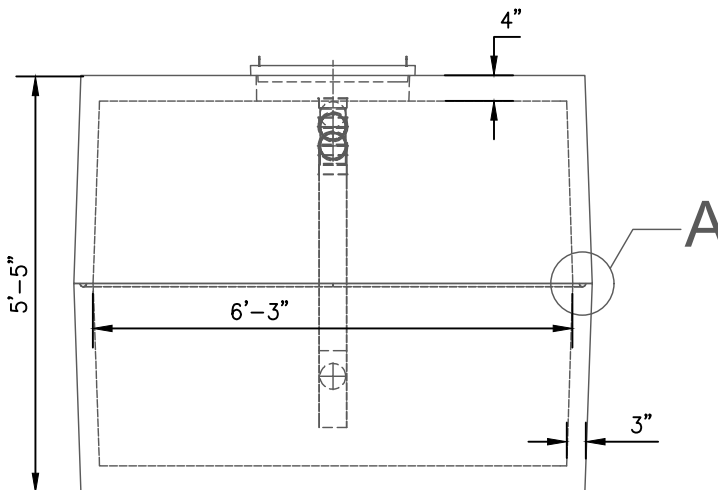
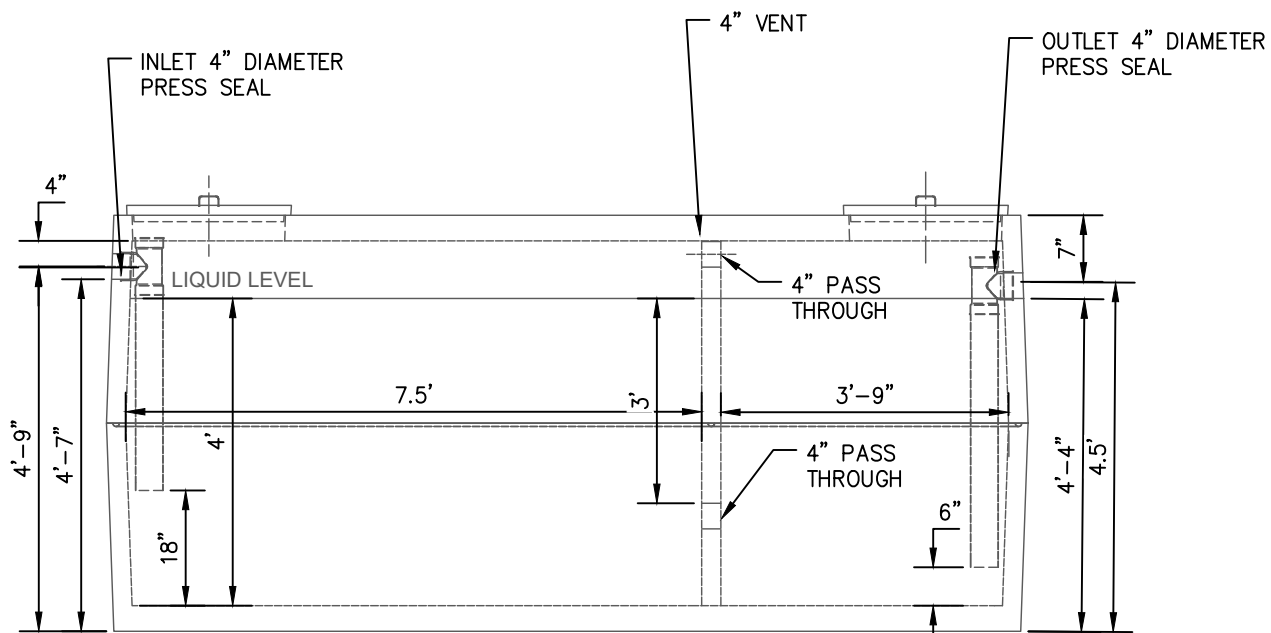
TANK:
WILBERT PRECAST # 16380W OR APPROVED EQUAL.
2000 GAL DOUBLE COMPARTMENT, 2-PIECE OIL WATER SEPARATOR

CONCRETE:
TANK CONSTRUCTION UTILIZES 4000 PSI CONCRETE AND GRADE 60 REBAR.

RISERS:
PVC: DIAMETER 24" @ FIB COVER TO GRADE
CONCRETE: DIAMETER 24" X 8" OR 12"(6" BELOW GRADE)

EXCAVATION:
12" LARGER EACH WAY THAN TANK DIM.
MAX COVER ON TOP 3'.

GALLON CALCULATIONS:
6'-3" W X 7.5' L X 4' H x 7.48 = 1402 GALLONS
6'-3" W X 3'-9" L X 4' H x 7.48 = 701 GALLONS

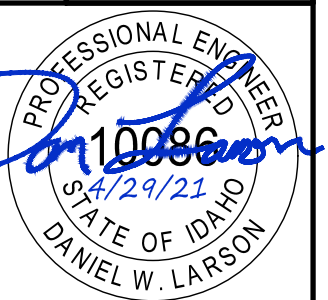


PROPOSED RECLAIM WATER AND OIL SEPERATOR TANKS
N.T.S.

REVISION #	DATE	DESCRIPTION

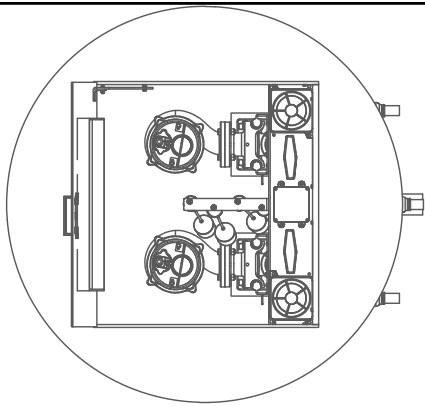
SHEET TITLE	SEWER DETAILS AND SECTIONS
OWNER	95 EXPRESS LLC
PROJECT	95 EXPRESS PONDERAY, IDAHO

LB ENGINEERING
414 CHURCH STREET, SUITE 205 I
SANDPOINT, IDAHO 83864
(208)263-0623
info@7BEngineering.com

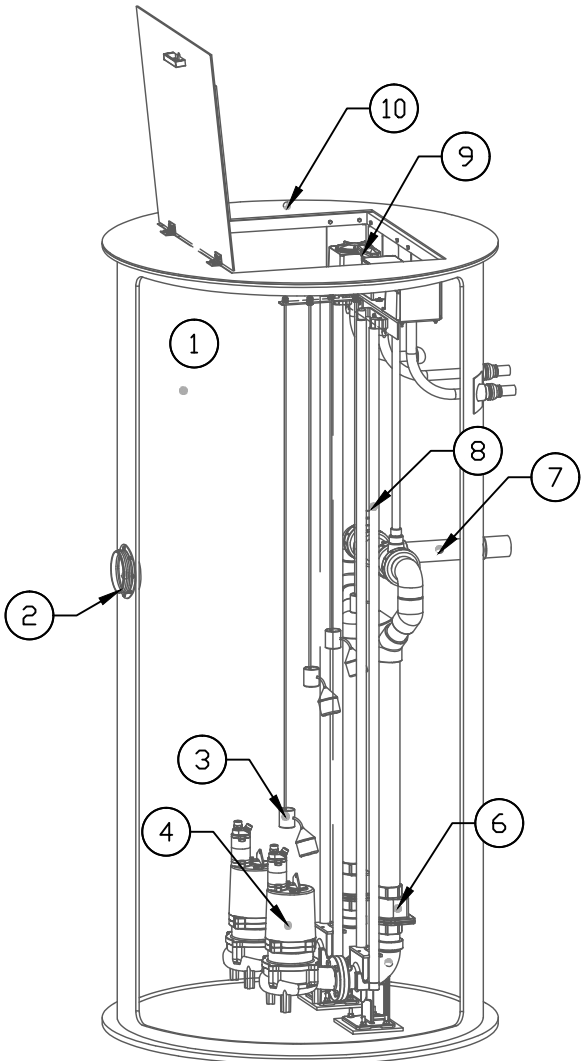


PROJECT NO: 2107
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SCALE: NTS (11"x17" ONLY)

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TOP VIEW



SIDEVIEW

A
9 AFS PACKAGE LIFT STATION
N.T.S.

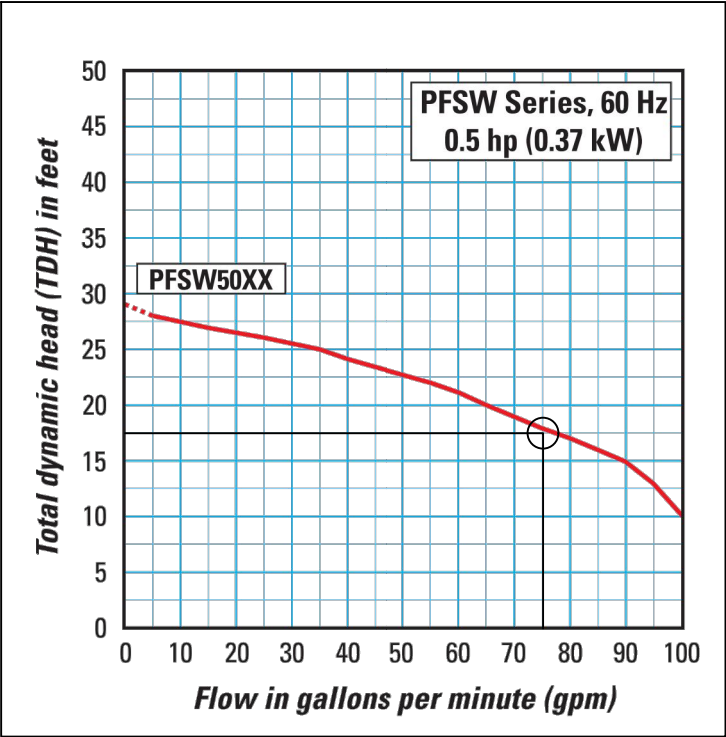
DESIGN NOTES

PUMPING RATE/ FLOWS	FORCE MAIN
AVERAGE DAILY FLOW 5, 125 GPD = 4 GPM PEAK FLOW 64 GPM DESIGNED PUMPING RATE 75 GPM	DESIGNED PUMPING RATE 68 GPM PIPE SIZE 3 IN VELOCITY 3.4 FT/S TOTAL EQUIVALENT LENGTH 450 FT 11.6 FT OF LOSS TOTAL DYNAMIC HEAD 11.6 FT + 6 FT =18 FT
WET WELL DESIGN	WET WELL INVERT & FLOAT ELEVATIONS
WET WELL REQUIRED VOLUME FOR ADF 51 GAL WET WELL DIAMETER 6.0 FT WET WELL CYCLE 1.0 VERT FT VOLUME IN CYCLE 211 GAL CYCLES PER HOUR DURING ADF 4.0 =15 MINS CYCLES DURING PEAK HOUR 2.0 = 30 MINS	TOP ELEVATION 2129.50 GRID ELEVATION 2129.00 SS INVERT 2123.00 ALARM 2121.00 LAG ON 2120.50 LEAD ON 2120.00 PUMP OFF 2119.00 BOTTOM INVERT 2117.00

KEYNOTES DETAIL A/9

- 60 IN x 144 IN WET WELL
- INLET HUB FOR 6 IN SDR35 PVC
- LEVEL SWITCHES
- SEWAGE PUMPS PFSW50 OR ENGINEER APPROVE ALTERNATIVE
- 3 IN DISCHARGE ELBOW ASSEMBLY
- 3 IN CHECK VALVE
- 3 IN SCHEDULE 80 PVC DISCHARGE
- STAINLESS STEEL SLIDE RAILS
- OPERATION DECK- JUNCTION BOX- VALVE OPERATORS
- 300 PSF ALUMINUM HATCH

PUMP CURVE



SHEET TITLE	OWNER	PROJECT	REVISION #	DATE	DESCRIPTION
LIFT STATION DETAILS AND CALCULATIONS	95 EXPRESS LLC	95 EXPRESS PONDERAY, IDAHO	1	4/29/21	REPLACES SHEET 9 WITH CHANGES

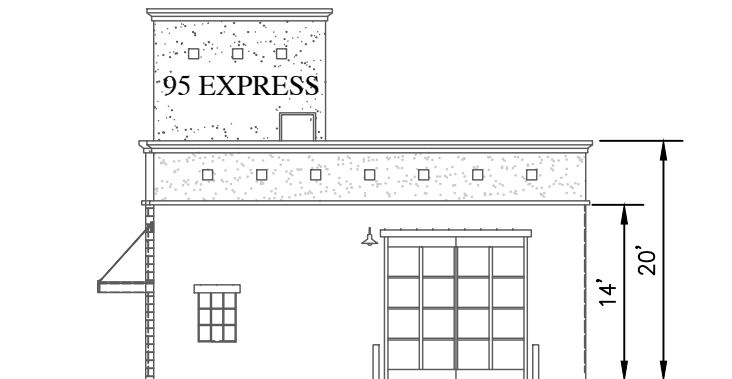
RB ENGINEERING, INC.
414 CHURCH STREET, SUITE 2051
SANDPOINT, IDAHO 83864
(208) 263-0623
info@7BEngineering.com

PROJECT NO: 2107
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SHEET 9A OF 10

Architectural elevation drawing of a building facade. The drawing shows a long, low building with a flat roof and a decorative cornice. The facade is divided into sections by vertical pilasters. From left to right, there is a carport area with a car, a section with two windows, a section with two trash enclosures, a section with two windows, and a section with a door and a window. Dimensions are indicated on the left and right sides. The total height is 30 feet, with a 20-foot section above the main facade and a 10-foot section below. The main facade height is 20 feet, with a 7.5-foot section above the door and a 14-foot section below. The carport height is 12 feet. The text "95 EXPRESS" is written on the upper part of the facade.

SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION

A circular professional engineer seal for the State of Idaho. The outer ring contains the text "PROFESSIONAL ENGINEER" at the top and "DANIEL W. LARSON" at the bottom. The inner ring contains "REGISTERED" at the top and "STATE OF IDAHO" at the bottom. In the center, the license number "10086" is printed, with the expiration date "4/29/21" written below it. A blue ink signature, "D. Larson", is written across the seal, overlapping the license number and the expiration date.

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