

SITE, STORMWATER AND EROSION CONTROL PLAN FOR
BURNETT ELECTRICAL CO.
A DEVELOPMENT PERMIT FOR CONSTRUCTION FOR
RPP36990010060A AKA 505 VERMEER DRIVE
PONDERAY, BONNER COUNTY, IDAHO 83852

GENERAL NOTES

1. THESE PLANS ARE FOR THE CONSTRUCTION OF A COMMERCIAL/INDUSTRIAL MIXED USE BUILDING IN THE COMMERCIAL ZONE OF PONDERAY.
2. THE BUILDING OUTLINE AS SHOWN HEREON IS TO BE LOCATED IN THE FIELD BY A LICENSED PROFESSIONAL LAND SURVEYOR.
3. THESE PLANS ARE FOR SITE GRADING, STORMWATER AND EROSION CONTROL AS SHOWN.
4. IT IS THE CONTRACTORS RESPONSIBILITY TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF PONDERAY, AND ANY OTHER DEVELOPMENT STANDARDS.
5. ALL WORK SHALL CONFORM TO THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION," 2020 OR MOST RECENT EDITION. IN CASE OF CONFLICT, CITY OF PONDERAY STANDARDS SHALL PREVAIL.
6. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY COMPANIES PRIOR TO STARTING WORK NEAR ANY FACILITIES AND SHALL COORDINATE HIS WORK WITH COMPANY REPRESENTATIVES. ALL UTILITY SERVICES SHALL BE INSTALLED UNDERGROUND. FOR EXISTING UTILITY LOCATIONS, CONTACT CALL BEFORE YOU DIG AT 1-800-626-4950 AT LEAST 48 HOURS PRIOR TO STARTING ANY EXCAVATIONS.
7. AN APPROVED PERMIT SHALL BE OBTAINED FROM THE CITY OF PONDERAY PLANNING DEPARTMENT AND WORK SHALL NOT BEGIN UNTIL A NOTICE TO PROCEED IS RECEIVED. THE CONTRACTOR SHALL NOTIFY THE PONDERAY CITY PLANNING DEPARTMENT 48 HOURS PRIOR TO STARTING WORK.
8. THE CONTRACTOR SHALL HAVE AN APPROVED SET OF IMPROVEMENT PLANS AND APPROVAL LETTER ON THE JOB SITE AT ALL TIMES.
9. WHERE TRENCHES ARE WITHIN PUBLIC EASEMENTS, COMPACTION TEST RESULTS SHALL BE SUBMITTED TO THE ENGINEER OF RECORD BY A QUALIFIED LABORATORY AND PROPERLY CERTIFIED TECHNICIAN WHO WILL CERTIFY THAT TRENCH BACKFILL WAS COMPACTED AS REQUIRED IN ACCORDANCE WITH THE ISPWC OR PONDERAY REQUIREMENTS.
10. ALL TESTING REQUIRED WILL BE AT THE EXPENSE OF THE CONTRACTOR.
11. ALL EXISTING IMPROVEMENTS INCLUDING CURB AND GUTTERS, SIDEWALKS, ASPHALT, CONCRETE OR P.C.C. PAVING, WHICH ARE BEING JOINED OR MATCHED IN CONNECTION WITH THIS PROJECT, SHALL BE JOINED OR MATCHED IN A MANNER SATISFACTORY TO THE OWNER, INCLUDING NECESSARY SAWCUTTING, REMOVAL, REPLACEMENT AND CAPPING.
12. EXISTING DRAINAGE FEATURES WILL BE PRESERVED OR RESTORED SUCH THAT NO BLOCKAGE OF EXISTING RUNOFF WATER WILL PERMANENTLY OCCUR.
13. NO REVISIONS SHALL BE MADE TO THESE PLANS WITHOUT THE APPROVAL OF THE ENGINEER.

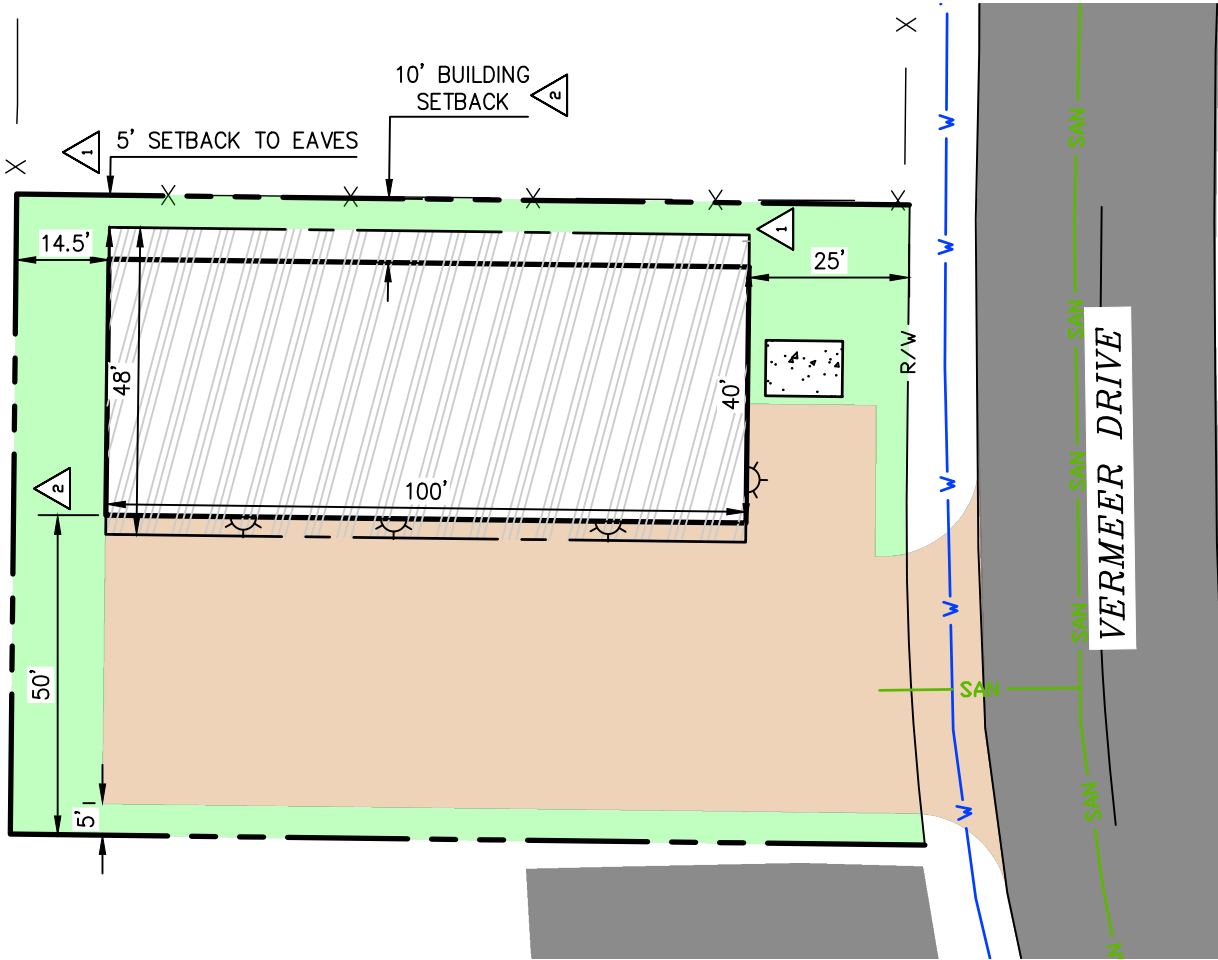
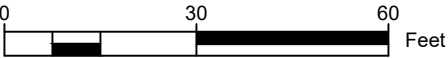


TABLE OF CONTENTS

- 1 COVER SHEET
- 2 SITE AND STORMWATER MANAGEMENT PLAN
- 3 GRADING AND EROSION CONTROL PLAN
- 4 BUILDING PLAN AND ELEVATION
- 5 APPROACH AND PARKING LOT DETAILS
- 6 EROSION CONTROL DETAILS
- 7 STORMWATER SECTIONS AND DETAILS

SURVEY NOTES

1. THIS PLAN WAS PREPARED BY FROM A BOUNDARY AND TOPOGRAPHIC SURVEY DONE BY GLAHE & ASSOCIATES AS WELL AS INFORMATION TAKEN FROM THE BONNER COUNTY GIS WEBSITE.
2. THIS MAP DOES NOT REPRESENT AN ACTUAL SURVEY BUT WAS ASSEMBLED FROM INFORMATION GATHERED AS NOTED. REFER TO THE RECORDS OF SURVEY BY GLAHE & ASSOCIATES FOR MORE DETAILED PROPERTY BOUNDARY, ELEVATION MONUMENTATION, AND ADDITIONAL INFORMATION.
3. ELEVATIONS SHOWN ARE BASED ON THE GLAHE SURVEY USING THE NAVD88 DATUM AS RECEIVED AND IS INTENDED TO SERVE AS A GRADING, STORMWATER, AND EROSION PLAN FOR A DEVELOPMENT PERMIT.
4. EXISTING PROPERTY CORNERS AND SURVEY MONUMENTS SHALL BE LOCATED, MARKED, AND PROTECTED DURING THE COURSE OF CONSTRUCTION. ANY DAMAGE OR OBLITERATED CORNERS OR MONUMENTS SHALL BE RE-ESTABLISHED AT THE CONTRACTORS EXPENSE BY A PROFESSIONAL LAND SURVEYOR, LICENSED IN THE STATE OF IDAHO, PRIOR TO FINAL ACCEPTANCE.



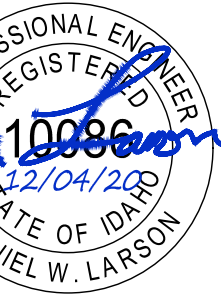
VICINITY MAP
LEGEND

- CATCH BASIN
- ELECTRIC JUNCTION BOX
- ELECTRIC METER
- FIBER OPTIC JUNCTION BOX
- FOUND 5/8" REBAR & CAP BY PLS 5713
- SET PK NAIL OR SPIKE
- BUILDING OUTLINE
- SANITARY SEWER LINE
- EXISTING EDGE OF RIGHT-OF-WAY
- EXISTING AVISTA ELECTRICAL LINE
- EXISTING WATER LINE
- EXISTING FIBER OPTIC LINE
- EXISTING AVISTA GAS LINE
- PROJECT BOUNDARY
- APPARENT CENTERLINE OF ROADWAY
- EXISTING FENCE LINE
- FINISHED GRADE 5' CONTOUR (TYPICAL)
- FINISHED GRADE 1' CONTOUR (TYPICAL)
- EXISTING GROUND 5' CONTOUR (TYPICAL)
- EXISTING GROUND 1' CONTOUR (TYPICAL)
- PROPOSED STORMWATER PIPE
- STORMWATER TREATMENT & DETENTION AREA
- PROPOSED GRAVEL PARKING AREA
- PROPOSED STRUCTURE ROOF AREA
- EXISTING STORMWATER FACILITY
- FIBER ROLL, COMPOST BERM, OR SILT FENCE
- PROPOSED BUILDING LIGHTING
- PROPOSED GREENSPACE

COVER SHEET

SHEET TITLE

ENGINEERING
414 CHURCH STREET, SUITE 2051
SANDPOINT, IDAHO 83864
(208)263-0623
info@7Bengineering.com



PROJECT NO: 2046
DRAWN BY: ICE
CHECKED BY: DWL
SCALE: 1"=30' (11"x17" ONLY)

SHEET 1B OF 7

SITE PLANNING DATA		
TOTAL FLOOR SPACE 4,000 SF		
COMMERCIAL 510 SF	INDUSTRIAL 3,490 SF	
OPEN SPACE 65%	GREEN SPACE 19%	PARKING LOT 6,470 SF

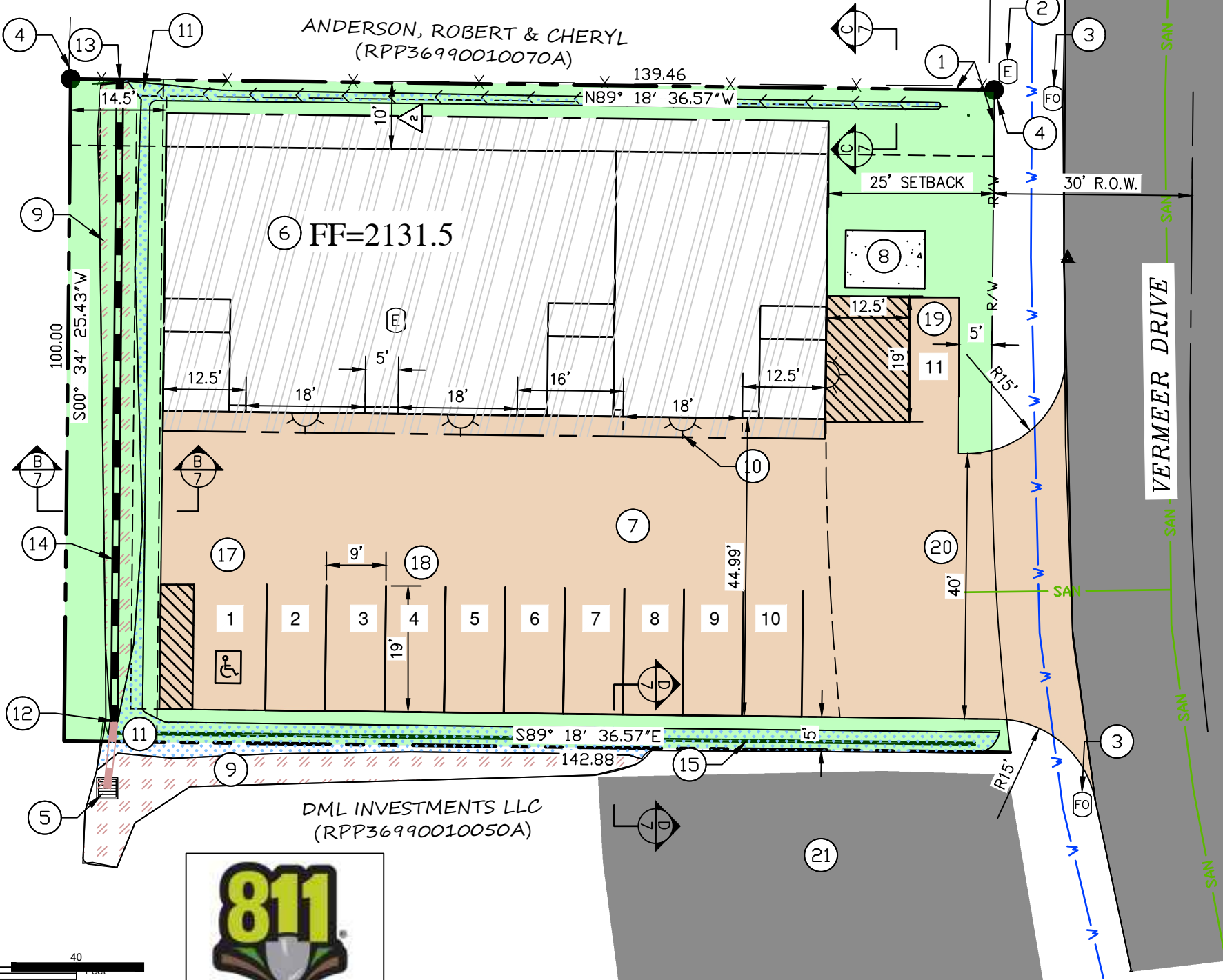
DRAINAGE NOTES

TOTAL IMPERVIOUS AREA: 11,370 SF
ASSUMED INFILTRATION RATE: 2 IN/HR

TOTAL LOT SIZE: 0.322 ACRES
TOTAL GREEN/LANDSCAPE SPACE: 2,656 SF
TOTAL OPEN SPACE AREA: 9,126 SF
TOTAL BUILDING AREA/ROOF SHED: 4,900 SF
TOTAL PARKING LOT AREA: 6,470 SF

ADDITIONAL REQ'D STORMWATER TREATMENT VOLUME: 473.75 CF (710 SF @ 8" DEPTH)
EXISTING STORMWATER TREATMENT VOLUME: 482 CF (964 SF @ 6" DEPTH)
PROPOSED STORMWATER TREATMENT VOLUME: 1,200 CF (836 SF NEW) (1,800 SF TOTAL @ 8" DEPTH)

NOTE: A RECIPROCAL MAINTENANCE AGREEMENT FOR MUTUAL STORMWATER FACILITIES TO BE RECORDED WITH BONNERY COUNTY BETWEEN THE PROJECT PROPERTY AND THE DML INVESTMENTS LLC PROPERTY IS STRONGLY ENCOURAGED.



KEYNOTES

- 1 RIGHT-OF-WAY/PROPERTY BOUNDARY
- 2 EXISTING ELECTRICAL TRANSFORMER
- 3 EXISTING FIBER OPTIC PEDESTAL
- 4 PROTECT EXISTING SURVEY MONUMENTS
- 5 RETAIN AND PROTECT EXISTING STORM PIPE AND STORMWATER STRUCTURE. RIM EL: 2129.92±
- 6 PROPOSED BUILDING (SEE SHEET 4)
- 7 PROPOSED GRAVEL PARKING LOT
- 8 PROPOSED 8.5'x12' TRASH ENCLOSURE
- 9 EXISTING STORMWATER TREATMENT AREA
- 10 PROPOSED EXTERIOR LIGHTING
- 11 PROPOSED STORMWATER TREATMENT EXPANSION (SEE DETAILS SHEET 7)
- 12 CONNECT NEW 8" PERF PIPE TO EXISTING 8" CPP IE: 2128.23
- 13 8" PERFORATED PIPE IE IN: 2129.49
- 14 97 LF 8" CPP PERF, S=0.0027 FT/FT
- 15 4" CPP PERF UNDERDRAIN
- 16 LOADING ZONE 12' X 19'
- 17 PROPOSED HANDICAP CAP PARKING SPOT (SEE DETAIL A/5)
- 18 TYPICAL PARKING SPOT (9 TOTAL) 9' X 19'. (PARKING LOT WILL NOT BE STRIPED)
- 19 COMPACT PARKING SPOT (1 TOTAL) 7.5' X 15'.
- 20 PROPOSED 40' APPROACH ACCEPTABLE PER THE URBAN AREA TRANSPORTATION PLAN
- 21 EXISTING NEIGHBORING CONCRETE DRIVEWAY INCLUDED IN STORMWATER CALCUATIONS

REVISION	DATE	DESCRIPTION
1	11/17/20	REPLACES WITH CHANGES SHEET 1
2	12/4/20	REPLACES WITH CHANGES SHEET 1

SHEET TITLE	OWNER	PROJECT
SITE AND STORMWATER MANAGEMENT PLAN	BURNETT ELECTRIC, INC.	BURNETT SITE PLAN PONDERAY, IDAHO

7B ENGINEERING
414 CHURCH STREET, SUITE 2051
SANDPOINT, IDAHO 83864
(208)263-0623
info@7Bengineering.com



PROJECT NO: 2046
DRAWN BY: ICE
CHECKED BY: DWL
SCALE: 1"=20' (11"x17" ONLY)

ESTIMATED GRADING QUANTITIES

TOTAL ESTIMATED DISTURBED VOLUME ONSITE
* GRADING QUANTITIES ARE ESTIMATED BY
AUTOCAD 2021 SOFTWARE

VOLUME CUT (CY)	VOLUME FILL (CY)	NET VOLUME (CY)
205	410	210 (FILL)

KEYNOTES

- 1 RIGHT-OF-WAY/PROPERTY BOUNDARY
- 2 EXISTING BUILDING TO BE REMOVED
- 3 EXISTING GROUND CONTOUR (TYPICAL)
- 4 EXISTING ELECTRICAL SERVICE JUNCTION
- 5 EXISTING ELECTRICAL SERVICE TRANSFORMER
- 6 EXISTING FIBER OPTIC PEDESTAL
- 7 PROTECT EXISTING UTILITY LINES
- 8 PROTECT EXISTING SURVEY MONUMENTS AS NOTED
- 9 RETAIN AND PROTECT EXISTING STORM PIPE AND STORMWATER STRUCTURE RIM EL: 2129.92±
- 10 PROPOSED BUILDING (SEE SHEET 3)
- 11 PROPOSED GRAVEL PARKING LOT (SEE SECTION C, SHEET 5)
- 12 PROPOSED EXTERIOR LIGHTING
- 13 8.5'x12' TRASH ENCLOSURE
- 14 FINISHED GRADE CONTOURS (TYPICAL)
- 15 SURFACE SPOT ELEVATIONS
FG = FINISHED GROUND
EG = EXISTING GROUND
- 16 APPROXIMATE SEWER LATERAL LOCATION
- 17 APPROXIMATE WATER SERVICE LOCATION **

REVISION	DATE	DESCRIPTION
1	12/04/20	REPLACES WITH CHANGES SHEET 3A

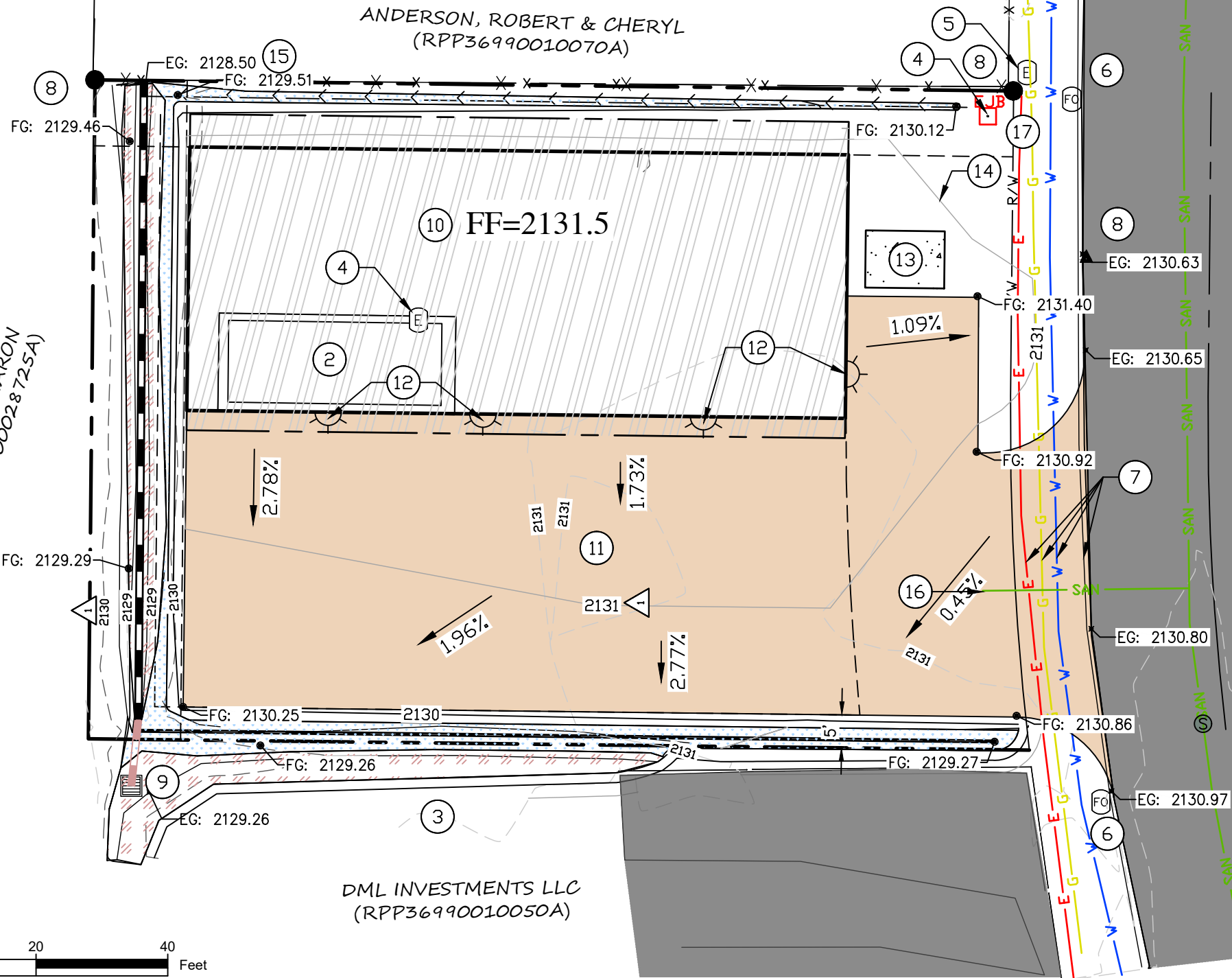
SHEET TITLE	OWNER	PROJECT
GRADING AND EROSION CONTROL PLAN	BURNETT ELECTRIC, INC.	BURNETT SITE PLAN PONDERAY, IDAHO

7B ENGINEERING
414 CHURCH STREET, SUITE 2051
SANDPOINT, IDAHO 83864
(208) 263-0623
info@7Bengineering.com

PROFESSIONAL ENGINEER
REGISTERED
STATE OF IDAHO
DANIEL W. LARSON
10086
12/04/20

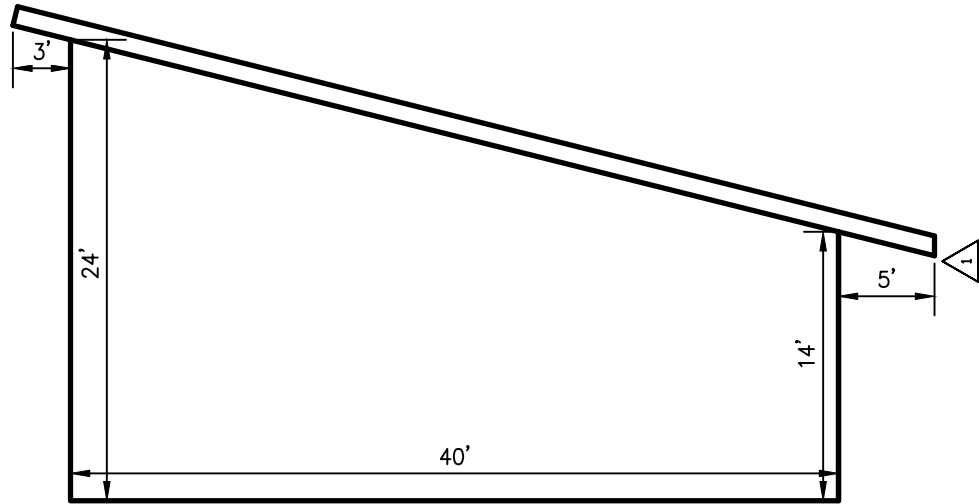
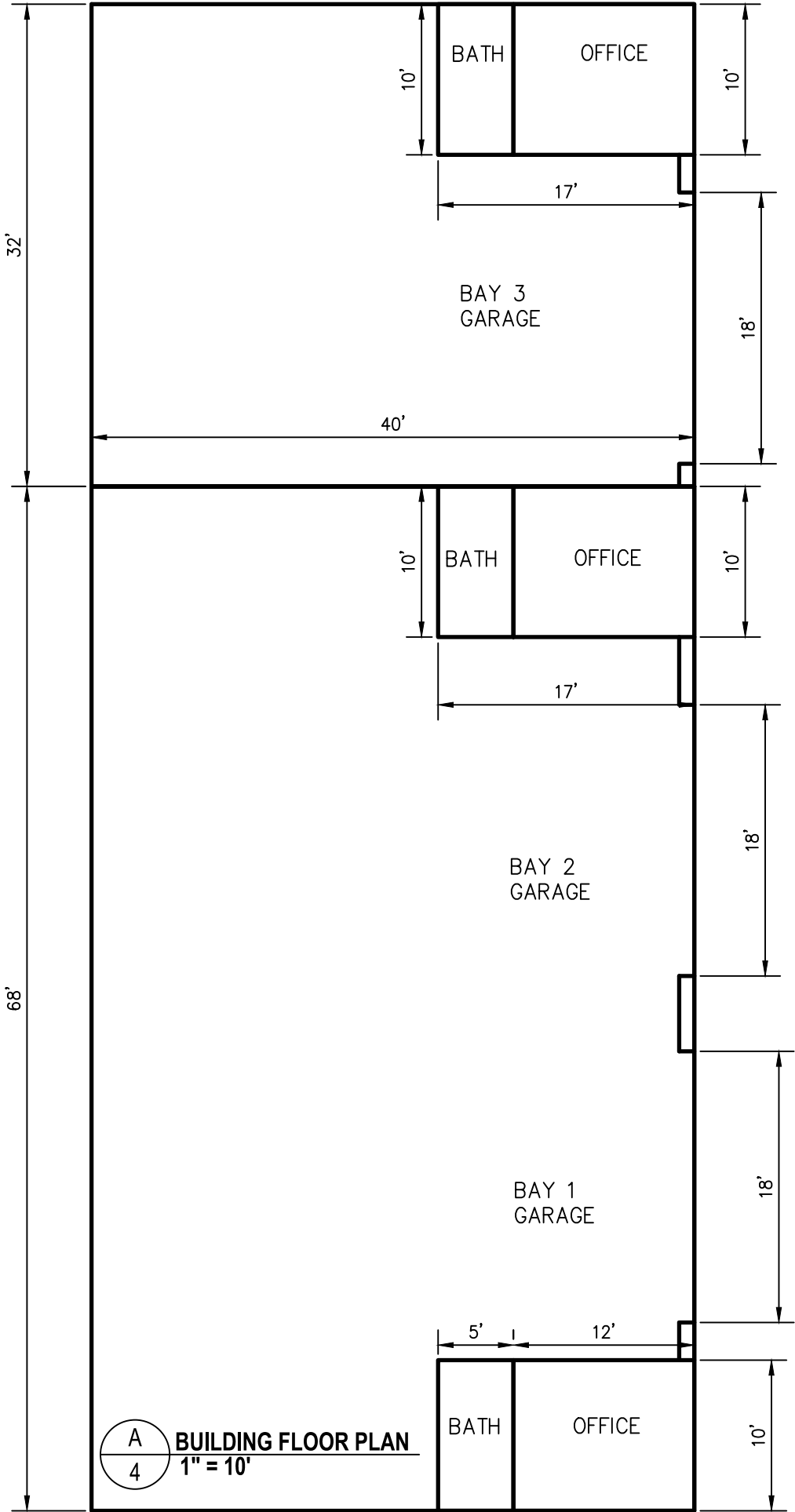
PROJECT NO: 2046
DRAWN BY: ICE
CHECKED BY: DWL
SCALE: 1"=20' (11"x17" ONLY)

SHEET 3A OF 7



** LOCATION NOT POSITIVELY IDENTIFIED


z:\engineering\2046 burnett site plan\dwg\burnett c-base.dwg




BUILDING ELEVATION: SIDE VIEW
1" = 10'

B
4

SHEET TITLE		REVISION #	DATE	DESCRIPTION
BUILDING PLAN AND ELEVATION		1	12/04/20	REPLACES WITH CHANGES SHEET 4
OWNER				
PROJECT				
BURNETT ELECTRIC, INC.				
BURNETT SITE PLAN PONDERAY, IDAHO				



7B ENGINEERING
414 CHURCH STREET, SUITE 2051
SANDPOINT, IDAHO 83864
(208)263-0623
info@7Bengineering.com

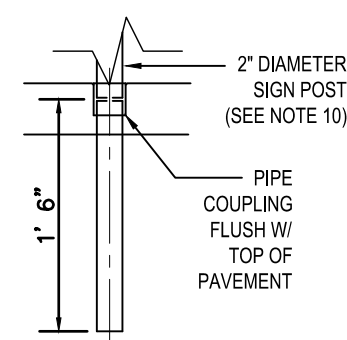
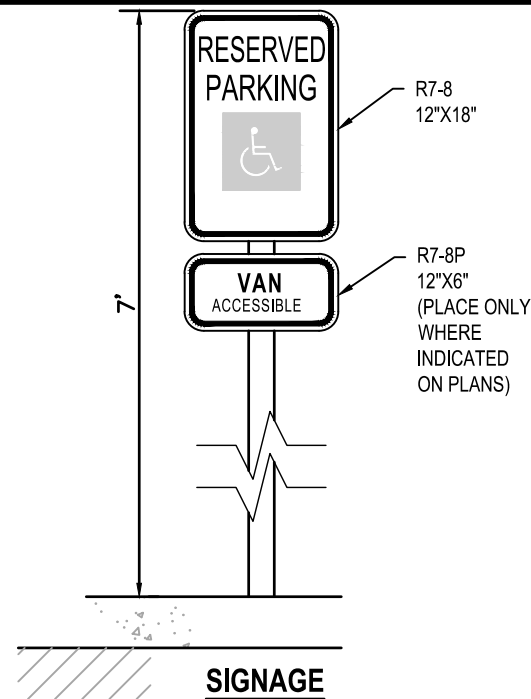
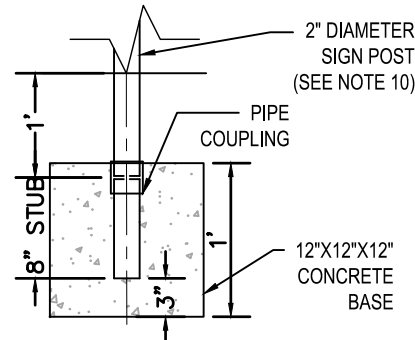


PROFESSIONAL ENGINEER
REGISTERED
10086
11/06/20
STATE OF IDAHO
DANIEL W. LARSON

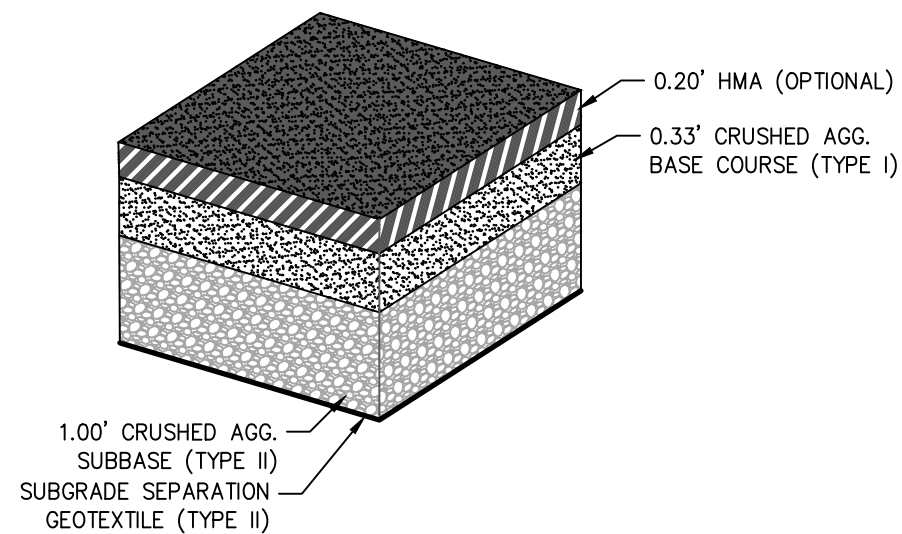
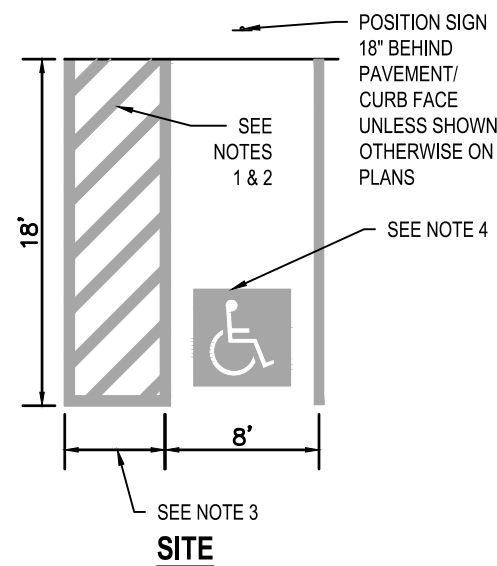
PROJECT NO: 2046
DRAWN BY: DWL
CHECKED BY: DWL
SCALE: 1"=10' (11"x17" ONLY)

SHEET 4A OF 7

1. ALL STRIPING FOR ACCESSIBLE PARKING SHALL BE BLUE AND 6" IN WIDTH.
2. CROSSHATCH STRIPING FOR ACCESS AISLE SHALL BE ON 24" CENTERS AND AT 45° TO THE LONG AXIS.
3. VAN ACCESSIBLE ACCESS AISLES SHALL BE A MINIMUM OF 8', ALL OTHER ACCESS AISLES SHALL BE A MINIMUM OF 5'.
4. EACH STALL SHALL BE IDENTIFIED WITH AN 42" WIDE X 48.75" TALL WHITE ACCESSIBILITY SYMBOL WITHIN A 60" X 60" BLUE BOX BACKGROUND (COLUMBIA PAINT 17-213-21 INSTANT DRY ACRYLIC TRAFFIC PAINT "HANDICAP BLUE" OR EQUIVALENT). THE SYMBOL SHALL BE CENTERED WITHIN AND NO MORE THAN 1' FROM THE ENTRANCE OF THE STALL.
5. ALL STRIPING DIMENSIONS PROVIDED ARE MINIMUM AND SHALL BE MEASURED ON CENTER(S).
6. EVERY PARKING STALL SHALL BE IDENTIFIED BY A SIGN.
7. THE SIGN SHALL BE CLEARLY VISIBLE AT ALL TIMES, FIXED TO A POST OR PERMANENT STRUCTURE, AND LOCATED AS CLOSE TO EACH STALL AS POSSIBLE BUT SHALL NOT BLOCK ANY DISABLED ACCESS ROUTE OR VEHICLE OVERHANG AND IN NO CASE SHALL BE GREATER THAN 8' FROM THE RESPECTIVE STALL.
8. THE SIGN SHALL FACE PERPENDICULAR TO THE LONG AXIS OF THE STALL.
9. ANGLE PARKING SHALL MEET THE INTENT OF THESE STANDARDS.
10. SIGN POSTS SHALL BE SCHEDULE 40 HOT DIP GALVANIZED PIPE MEETING ASTM A-53A & THREADED AT BOTH ENDS. POSTS SHALL BE PLUMB.

**PAVEMENT/SIDEWALK**

UNPAVED




APPROACH AND PARKING LOT SPECIFICATIONS:

1. EXCAVATE TO SUBGRADE: 1.5' MINIMUM
2. INSTALL SUBGRADE SEPARATION GEOTEXTILE (ISPCW TYPE II)
3. SUBBASE: 1.00' MINIMUM OF CRUSHED AGGREGATE (ISPCW TYPE II)
4. BASE COURSE: 0.33' CRUSHED AGGREGATE BASE (ISPCW TYPE I)
5. PAVEMENT: 0.20' OF HMA (OPTIONAL)




SHEET TITLE	REVISION #	DATE	DESCRIPTION
APPROACH AND PARKING LOT DETAILS			
OWNER			
PROJECT			
BURNETT ELECTRIC, INC.			
BURNETT SITE PLAN PONDERAY, IDAHO			



LB
ENGINEERING

414 CHURCH STREET, SUITE 2051
SANDPOINT, IDAHO 83864
(208)263-0623
info@7BEngineering.com



PROJECT NO: 2046

DRAWN BY: DWL

CHECKED BY: DWL

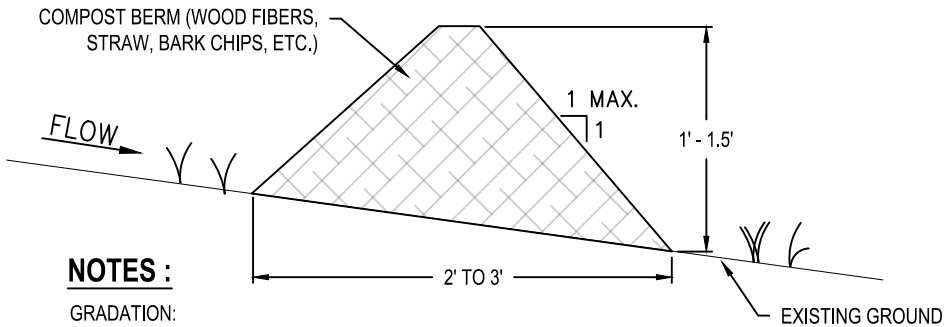
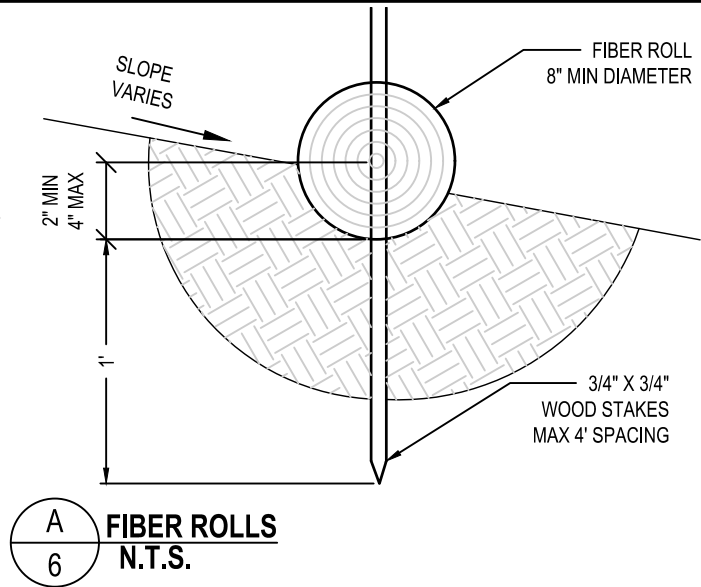
SCALE: N.T.S. (11"x17" ONLY)

SHEET 5 OF 7

z:\engineering\2046 burnett site plan\dwg\burnett c-base.dwg

NOTES:

- FIBER ROLLS SHALL BE PLACED ALONG A LEVEL CONTOUR UNLESS OTHERWISE SHOWN.
- TURN THE ENDS OF THE FIBER ROLL UP SLOPE TO PREVENT RUNOFF FROM GOING AROUND THE ROLL.
- IF MORE THAN ONE FIBER ROLL IS PLACED IN A ROW, THE ROLLS SHALL BE OVERLAPPED A MINIMUM OF 12".
- SEDIMENT SHALL BE REMOVED WHEN SEDIMENT ACCUMULATION REACHES ONE-HALF OF THE EXPOSED HEIGHT OF THE FIBER ROLL.



NOTES :

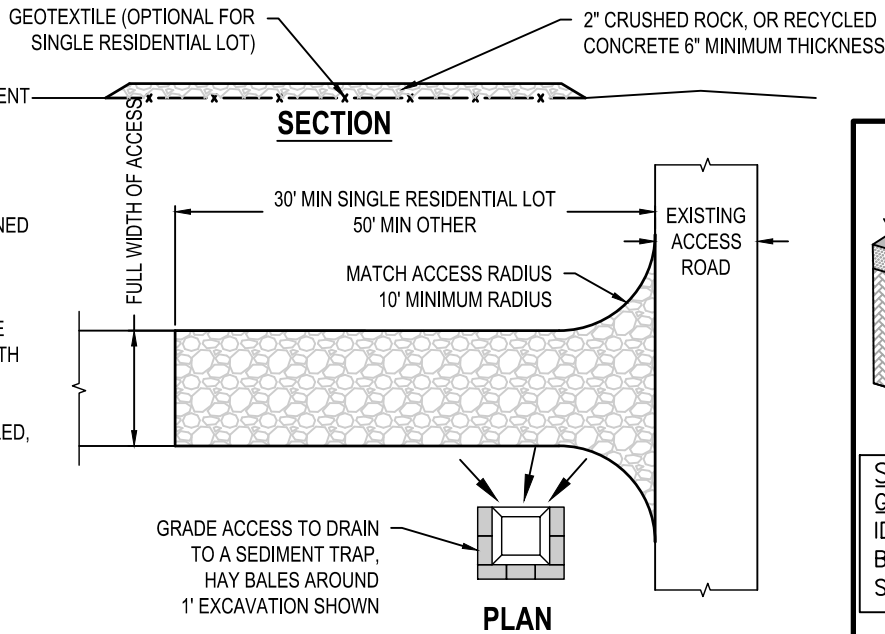
GRADATION:
3" - 100% PASSING
1" - 90% TO 100% PASSING
3/4" - 70% TO 100% PASSING
1/4" - 30% TO 75% PASSING

NOTHING LONGER THAN 6" SHALL BE USED.
CONSTRUCT WITH 25% TO 100% ORGANIC MATTER (WOOD FIBER, STRAW, COMPOST, ETC.)

B
6 **TEMPORARY BERM (COMPOST)**
N.T.S.

NOTES:

- GEOTEXTILE MAY BE NONWOVEN OR MONOFILAMENT WOVEN AND SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 200 LBS IN EITHER DIRECTION.
- THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT OFFSITE. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL ROCK AND/OR CLEANOUT OF SEDIMENT TRAPS. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED OFFSITE MUST BE CLEANED UP IMMEDIATELY.



C
6 **STABILIZED CONSTRUCTION ENTRANCE**
N.T.S.

CONSTRUCTION GEOTEXTILES NOTES:

- DRAINAGE GEOTEXTILES**
 - NONWOVEN OR MONOFILAMENT WOVEN GEOTEXTILES MEETING THE FOLLOWING TABLE ARE ACCEPTABLE BY ISPMC FOR DRAINAGE APPLICATIONS.
 - SLIT FILM OR SLIT TAPE GEOTEXTILES ARE NOT PERMITTED FOR DRAINAGE APPLICATIONS.

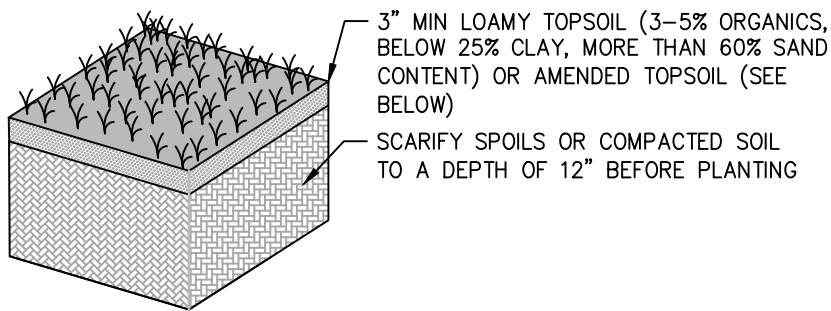
GEOTEXTILE PROPERTY	TEST METHOD	MINIMUM AVERAGE ROLL VALUES (IN EITHER PRINCIPAL DIRECTION)	
		TYPE I*	TYPE II*
GRAB TENSILE STRENGTH-lb	ASTM D 4632	80	180
GRAB ELONGATION (%)	ASTM D 4632	NA	NA
PUNCTURE STRENGTH -lb	ASTM D 4833	35	80
APPARENT OPENING SIZE (AOS) (Std. Sieve)	ASTM D 4751	#70 OR FINER	
PERMITTIVITY (sec-1)	ASTM D 4491	0.7	0.7

(*) TYPE I REFERS TO PROTECTED CONDITIONS. TYPE II REFERS TO UNPROTECTED CONDITIONS, PROTECTED CONDITIONS INCLUDE: TRENCH DEPTH 10FT: ROUNDED AGGREGATE LESS THAN 4 IN. SIZE AND RELATIVELY SMOOTH TRENCH WALLS. ALL OTHER CONDITIONS ARE UNPROTECTED.

- RIPRAP/EROSION CONTROL**
 - NONWOVEN OR MONOFILAMENT WOVEN GEOTEXTILES MEETING THE FOLLOWING TABLE ARE ACCEPTABLE BY ISPMC FOR EROSION CONTROL APPLICATIONS

GEOTEXTILE PROPERTY	TEST METHOD	MINIMUM AVERAGE ROLL VALUES (IN EITHER PRINCIPAL DIRECTION)	
		TYPE I**	TYPE II**
GRAB TENSILE STRENGTH-lb	ASTM D 4632	130	200
GRAB ELONGATION (%)	ASTM D 4632	15	15
PUNCTURE STRENGTH -lb	ASTM D 4833	60	80
TRAPEZOIDAL TEAR -lb	ASTM D 4533	40	50
APPARENT OPENING SIZE (AOS) (Std. Sieve)	ASTM D 4751	#50 OR FINER	
PERMITTIVITY (sec-1)	ASTM D 4491	0.5	0.5
ULTRAVIOLET (UV) RADIATION STABILITY	ASTM D 4355	70% RETAINED STRENGTH@150 HRS.	

(**) LOW TO MODERATE SURVIVABILITY GEOTEXTILES (TYPE 1) MAY BE USED BEHIND GABIONS LESS THAN 10 FT HIGH WITHOUT AGGREGATE CUSHION. IN SEVERE CONDITIONS, WHERE STONES WILL BE LARGER THAN 240 LB, OR DROP HEIGHT CANNOT BE PRACTICALLY REDUCED, A HIGHER SURVIVABILITY FABRIC (TYPE II) WILL BE NECESSARY.



SUGGESTED SEEDING MIXES:
GRASSED INFILTRATION AREA: IDAHO FESCUE (60#/AC), BEAKED SEDGE (60#/AC), SMOOTH BROME (80#/AC).
PERMANENT EROSION CONTROL SEED MIX: SPRING WHEAT (60#/AC), BARLEY (80#/AC), OATS (60#/AC).

D
6 **EROSION CONTROL PLANTINGS**
N.T.S. DISTURBED AREA REPLANTING

NOTES:

- NO IMPERVIOUS AREAS ARE PROPOSED AND NO PERMANENT STORMWATER FACILITIES ARE WARRANTED.
- DO NOT COMPACT TOPSOIL LAYER.
- AREA SHALL BE SEEDED WITH APPROPRIATE GRASS MIXTURE OR;
- GRASSES MAY BE CROPPED OR MOWED TO WITHIN 3" HEIGHT.
- NATIVE LOAM SOILS CAN BE AMENDED WITH 2" OF COMPOST TILLED TO A DEPTH OF 8" AND ENTIRE BED SCARIFIED TO A DEPTH OF 12" BEFORE PLANTING.

REVISION #

DATE

DESCRIPTION

EROSION CONTROL DETAILS

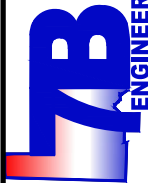
BURNETT ELECTRIC, INC.

BURNETT SITE PLAN
PONDERAY, IDAHO

SHEET TITLE

OWNER

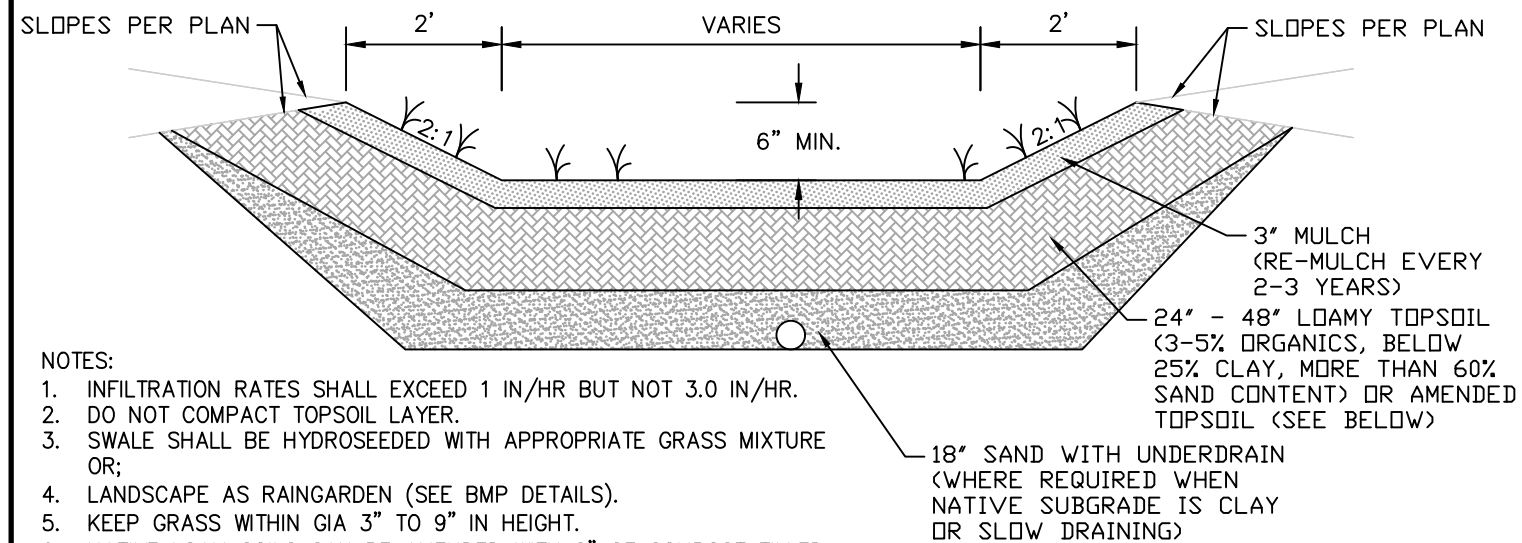
PROJECT



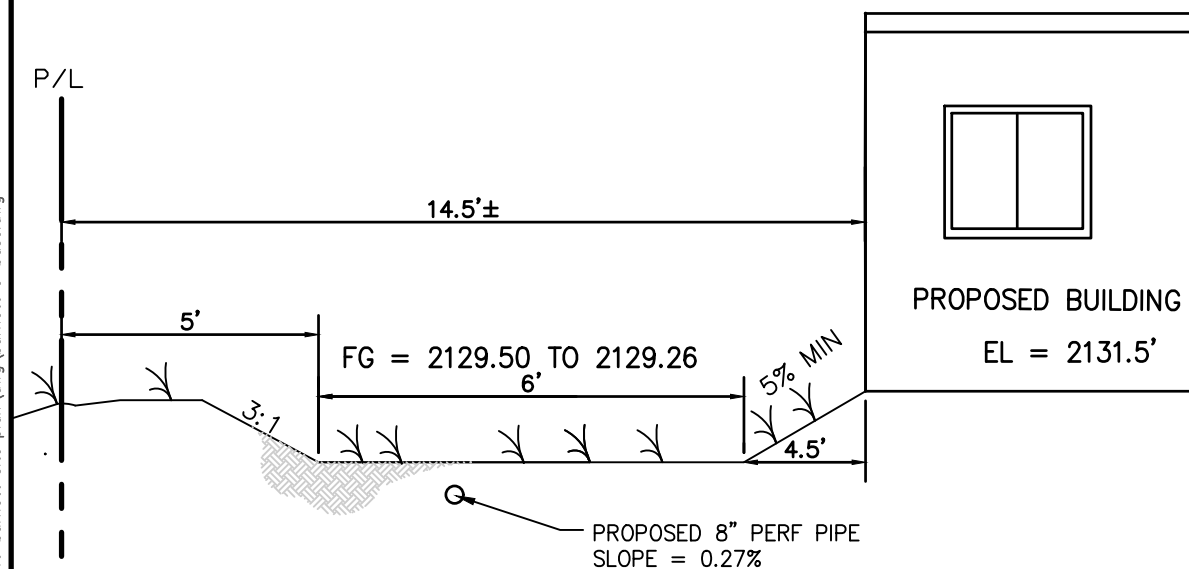
BURNETT ENGINEERING
414 CHURCH STREET, SUITE 2051
SANDPOINT, IDAHO 83864
(208) 263-0623
info@burnettengineering.com



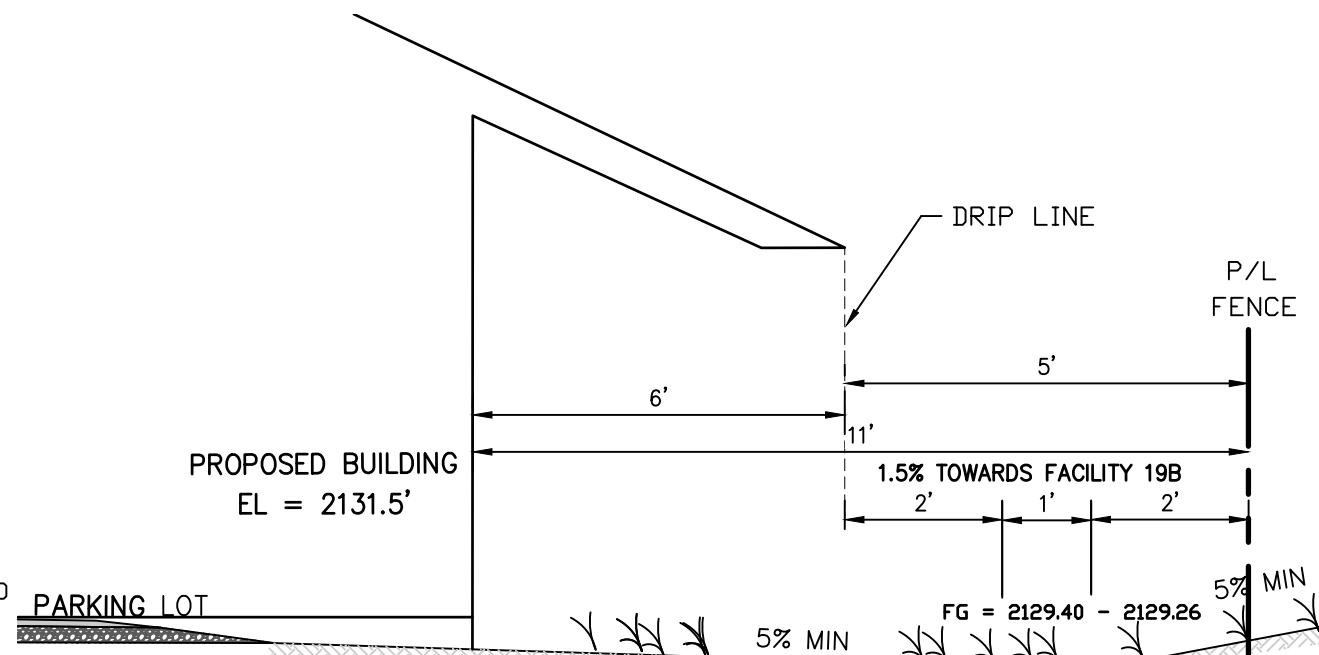
PROJECT NO: 2046
DRAWN BY: DWL
CHECKED BY: DWL
SCALE: NTS (11"x17" ONLY)



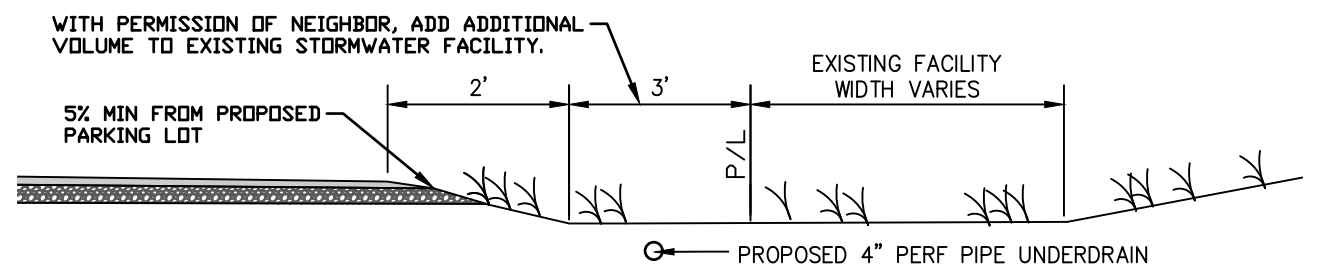

TYPICAL GRASSY INFILTRATION AREA
N.T.S.
 BIOFILTRATION /BIORETENTION AREAS



PROPOSED STORMWATER TREATMENT AREA CROSS SECTION
N.T.S.



STORMWATER DITCH & TREATMENT AREA
N.T.S.




JOINT STORMWATER TREATMENT AREA
N.T.S.

- NOTES:
1. EXPAND EXISTING SWALE TO ABOUT 4' FROM PROPOSED BUILDING
 2. BIOSWALE MUST BE KEPT CLEAN/CLEAR TO ALLOW FOR SNOW STORAGE.
 3. COVER THE 8" PERFORATED UNDERDRAIN WITH AT LEAST 4" OF PREPARED (AMENDED) TOPSOIL.
 4. AMEND NATIVE SOILS WITH 2" OF COMPOST TILLED TO A DEPTH OF 8".
 5. SCARIFY BED BEFORE PLANTING

puz: \engineering\2046 burnett site plan\dwg\burnett c-base.dwg

REVISION	DATE	DESCRIPTION
----------	------	-------------

STORMWATER SECTIONS AND DETAILS

BURNETT ELECTRIC, INC.

BURNETT SITE PLAN
PONDERAY, IDAHO

SHEET TITLE

OWNER

PROJECT



PROJECT NO: 2046
DRAWN BY: ICE
CHECKED BY: DWL
SCALE: NTS (11"x17" ONLY)

SHEET 7 OF 7