

LEW'S INDUSTRIAL PARK PRELIMINARY PLAT

SECTION 11, TWP. 57N., RNG. 2W., BOISE MERIDIAN, CITY OF PONDERAY, BONNER COUNTY, IDAHO

OWNER'S CERTIFICATE

THIS IS TO CERTIFY THAT PONDERAY INDUSTRIAL PARK, LLC., AN IDAHO LIMITED LIABILITY COMPANY, IS THE RECORD OWNER OF THE REAL PROPERTY DESCRIBED IN THIS CERTIFICATE AND HAS CAUSED THE SAME TO BE DIVIDED INTO LOTS TO BE KNOWN AS "LEW'S INDUSTRIAL PARK," LOCATED IN A PORTION OF SECTION 11, TOWNSHIP 57 NORTH, RANGE 2 WEST, BOISE MERIDIAN, CITY OF PONDERAY, BONNER COUNTY, IDAHO, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

PARCEL 1:

LOT 1, OF PONDERAY PLACE, ACCORDING TO THE PLAT THEREOF, RECORDED IN BOOK 11 OF PLATS, PAGE 20, RECORDS OF BONNER COUNTY, IDAHO.

EXCEPTING THEREFROM THAT PORTION DEEDED TO THE CITY OF PONDERAY ACCORDING TO INSTRUMENT NO. 908713, RECORDED ON JULY 26, 2017, RECORDS OF BONNER COUNTY, IDAHO.

PARCEL 2:

LOT 2, OF PONDERAY PLACE, ACCORDING TO THE PLAT THEREOF, RECORDED IN BOOK 11 OF PLATS, PAGE 20, RECORDS OF BONNER COUNTY, IDAHO.

THE 80' WIDE STRIP OF LAND ALONG THE NORTH BOUNDARY OF LOTS 1 AND 2, BLOCK 3, AS SHOWN HEREON, IS HEREBY DEDICATED TO THE CITY OF PONDERAY FOR PUBLIC RIGHT OF WAY.

LEWIS PATRICK, MANAGER,
PONDERAY INDUSTRIAL PARK, LLC.,
AN IDAHO LIMITED LIABILITY COMPANY

ACKNOWLEDGMENT

STATE OF _____
COUNTY OF _____

ON THIS _____ DAY OF _____, 2020, BEFORE ME PERSONALLY APPEARED LEWIS PATRICK, MANAGER OF THE PONDERAY INDUSTRIAL PARK, LLC., AN IDAHO LIMITED LIABILITY COMPANY, WHOSE NAME IS SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME ON BEHALF OF SAID LIMITED LIABILITY COMPANY AND ACKNOWLEDGED TO ME THAT SAID LIMITED LIABILITY COMPANY EXECUTED THE SAME.

I HAVE HEREUNTO SET MY HAND AND SEAL THE DATE LAST ABOVE WRITTEN.

NOTARY PUBLIC FOR THE STATE OF _____

RESIDING AT: _____

MY COMMISSION EXPIRES: _____

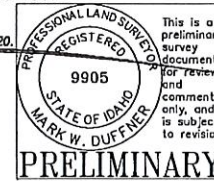
NOTARY PUBLIC

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED ON AN ACTUAL SURVEY LOCATED IN SECTION 11, TOWNSHIP 57 NORTH, RANGE 2 WEST, BOISE MERIDIAN, CITY OF PONDERAY, BONNER COUNTY, IDAHO, THAT THE DISTANCES, COURSES AND ANGLES ARE SHOWN CORRECTLY HEREON AND THE MONUMENTS HAVE BEEN PLACED AND ALL LOT AND BLOCK CORNERS PROPERLY SET AND THAT THE SURVEY IS IN COMPLIANCE WITH ALL PROVISIONS OF APPLICABLE STATE LAW AND LOCAL ORDINANCES.

DATED THIS 19TH DAY OF AUGUST, 2020.

MARK DUFFNER, PLS 9905



COUNTY SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT I HAVE EXAMINED THE HEREIN PLAT OF "LEW'S INDUSTRIAL PARK" AND CHECKED THE PLAT AND COMPUTATIONS THEREON AND HAVE DETERMINED THAT THE REQUIREMENTS OF THE IDAHO STATE CODE PERTAINING TO PLATS AND SURVEYS HAVE BEEN MET.

DATED THIS _____ DAY OF _____, 2020.

BONNER COUNTY SURVEYOR

CITY ENGINEER CERTIFICATE

THIS PLAT HAS BEEN EXAMINED AND APPROVED THIS _____ DAY OF _____, 2020.

CITY OF PONDERAY ENGINEER

CITY PLANNING CERTIFICATE

THIS PLAT HAS BEEN EXAMINED AND APPROVED THIS _____ DAY OF _____, 2020.

CITY OF PONDERAY PLANNING DIRECTOR

KOOTENAI-PONDERAY SEWER DISTRICT

THIS PLAT HAS BEEN EXAMINED AND APPROVED THIS _____ DAY OF _____, 2020.

KOOTENAI-PONDERAY SEWER DISTRICT

PANHANDLE HEALTH DISTRICT 1

TO BE DETERMINED BY THE PANHANDLE HEALTH DISTRICT.

COUNTY TREASURER'S CERTIFICATE

I HEREBY CERTIFY THAT THE REQUIRED TAXES ON THE ABOVE DESCRIBED PROPERTY HAVE BEEN FULLY PAID UP TO AND INCLUDING THE YEAR 20____, APPROVED THIS _____ DAY OF _____, 2020.

BONNER COUNTY TREASURER

APPROVAL OF THE CITY OF PONDERAY

THIS PLAT HAS BEEN ACCEPTED AND APPROVED BY THE PONDERAY CITY COUNCIL THIS _____ DAY OF _____, 2020. THE STREETS, ALLEYS, EASEMENTS, PARK LAND, AND RIGHTS OF WAY OFFERED FOR DEDICATION TO THE PUBLIC, AS SHOWN HEREON, ARE HEREBY ACCEPTED AND CONFIRMED BY THE CITY COUNCIL. A STORMWATER MANAGEMENT PLAN HAS BEEN DEVELOPED FOR THIS PLAT AND IS ON FILE WITH THE CITY OF PONDERAY.

MAYOR OF PONDERAY

CITY OF PONDERAY CLERK

RECORDER'S CERTIFICATE

FILED THIS _____ DAY OF _____, 2020, AT _____ M., AT THE REQUEST OF SAWTOOTH LAND SURVEYING, LLC.

INSTRUMENT No. _____ FEE: _____

BONNER COUNTY RECORDER

RECORDER'S
CERTIFICATE

James A. Sewell and Associates, LLC
1319 NORTH DIVISION AVENUE
SANDPOINT, IDAHO 83864, (208) 263-4160

S.11, T.57N., R.2W., B.M.	PLAT NAME:	LEW'S INDUSTRIAL PARK	DATE:	8-19-2020
		560 W. CANFIELD AVE., STE. 200 COEUR D'ALENE, IDAHO 83815 (208) 714 - 4544 WWW.SAWTOOTHLS.COM	SCALE:	NONE
			DRAWN:	LEW/CMA
			CHECKED:	MWD/MET
			PROJ. NO.:	220007
			CAD FILE:	SHELL/PLAT/POND
				SHT 1 OF 5

RECEIVED

AUG 24 2020

PLANNING OFFICE
CITY OF PONDERAY

LEW'S INDUSTRIAL PARK

PRELIMINARY PLAT

SECTION 11, TWP. 57N., RNG. 2W.,
BOISE MERIDIAN, CITY OF PONDERAY,
BONNER COUNTY, IDAHO

SURVEY NARRATIVE

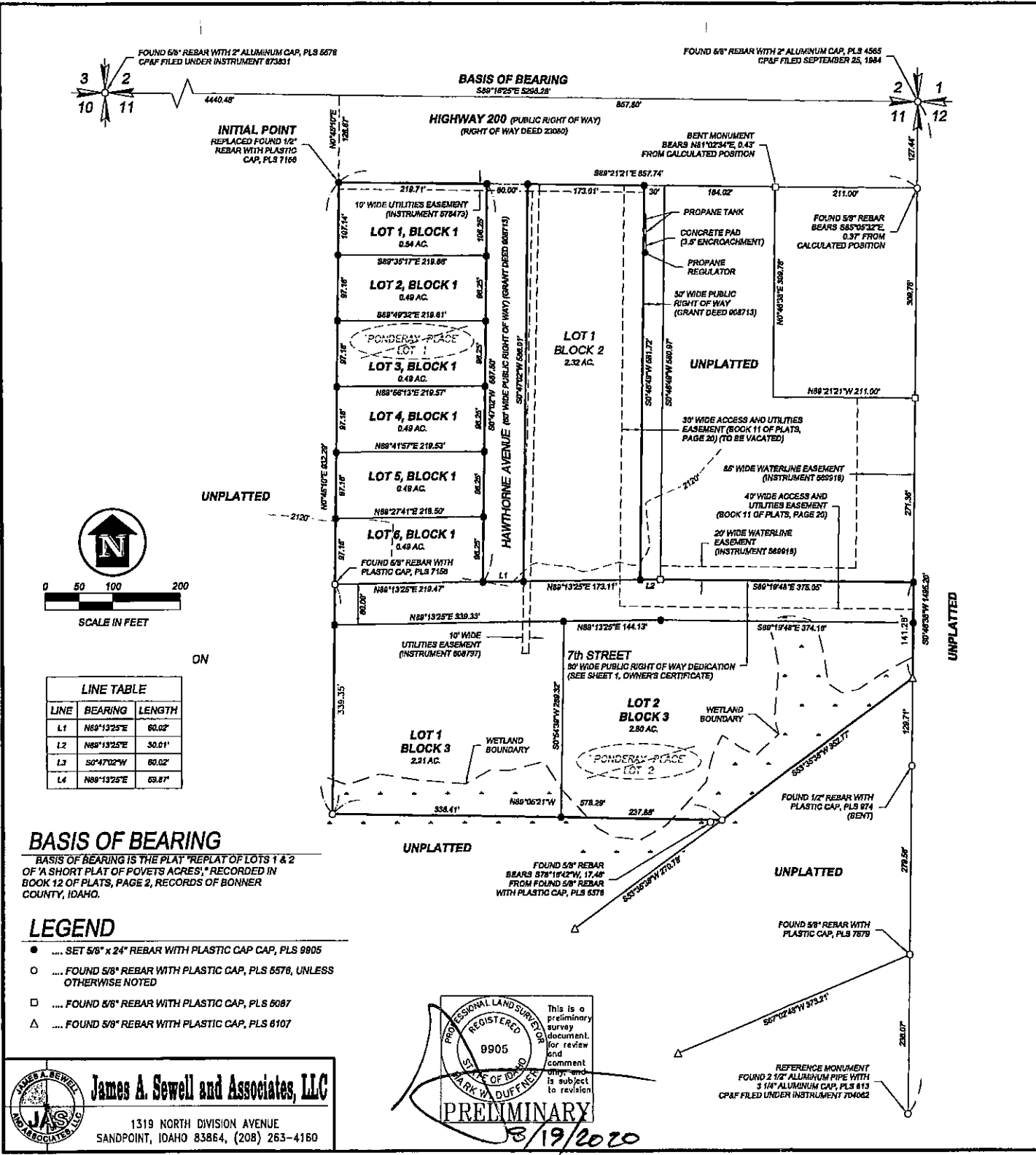
THE PURPOSE OF THIS PLAT SURVEY IS TO REPLAT LOTS 1 & 2 OF "PONDERAY PLACE" AS SHOWN HEREON.
THE MONUMENTED LINES DEPICTED HEREON ARE BASED ON THE FOUND AND HELD MONUMENTS DESCRIBED AS SHOWN. UN-MONUMENTED LINES DEPICTED HEREON ARE BASED ON CALCULATED POSITIONS AND ARE SHOWN FOR REFERENCE ONLY. CORNER MONUMENTATION WAS PLACED AS SHOWN.
THIS SURVEY WAS PERFORMED USING A 3 SECOND TOTAL STATION AND REAL TIME KINEMATIC (RTK) GLOBAL POSITIONING SYSTEM (GPS) EQUIPMENT. THE LINEAR ERROR OF CLOSURE MEETS OR EXCEEDS REQUIREMENTS OF THE STATE OF IDAHO.

SURVEY REFERENCES

- (PER RECORDS OF BONNER COUNTY, IDAHO UNLESS OTHERWISE NOTED)
1. THE PLAT "REPLAT OF LOTS 1 & 2 OF A SHORT PLAT OF POKETS ACRES," RECORDED IN BOOK 12 OF PLATS, PAGE 2.
 2. THE PLAT "PONDERAY PLACE," RECORDED IN BOOK 11 OF PLATS, PAGE 20.
 3. RECORD OF SURVEY RECORDED UNDER INSTRUMENT 858051.
 4. RECORD OF SURVEY RECORDED UNDER INSTRUMENT 688458.
 5. RECORD OF SURVEY RECORDED UNDER INSTRUMENT 647470.
 6. RECORD OF SURVEY RECORDED UNDER INSTRUMENT 484822.
 7. RECORD OF SURVEY RECORDED UNDER INSTRUMENT 485481.
 8. RECORD OF SURVEY RECORDED UNDER INSTRUMENT 243138.

NOTES

1. WATER IS TO BE PROVIDED BY THE CITY OF SANDPOINT MUNICIPAL WATER SYSTEM.
2. SEWAGE DISPOSAL IS TO BE PROVIDED BY THE KOOTENAI-PONDERAY SEWER DISTRICT. A KOOTENAI-PONDERAY SEWER DISTRICT COVENANT RESPECTING CONSOLIDATION OF LOTS OR PARCELS, AFFECTS THE SUBJECT PARCEL (INSTRUMENT 908577, RECORDS OF BONNER COUNTY, IDAHO). ASSIGNMENT AND ASSUMPTION OF SEWER HOOKUP TO THE KOOTENAI-PONDERAY SEWER DISTRICT, AFFECTS THE SUBJECT PROPERTY (INSTRUMENT 908578, RECORDS OF BONNER COUNTY, IDAHO).
3. A PORTION OF THE SUBJECT PROPERTY CONTAINS WETLANDS WHICH WERE SURVEY LOCATED AS SHOWN HEREON.
4. ANY WORK INVOLVING FILLING, EXCAVATION, FLOODING OR DRAINING EXISTING WETLANDS REQUIRES AN ARMY CORPS OF ENGINEERS, SECTION 404 PERMIT, PRIOR TO BEGINNING WORK.
5. COVENANTS, CONDITIONS, RESTRICTIONS AND AN IRRIGATION AND DRAINAGE EASEMENT ADJACENT TO THE HIGHWAY 200 RIGHT OF WAY, WITH NO DEFINED WIDTH, AFFECT THE SUBJECT PROPERTY (INSTRUMENT 23080, RECORDS OF BONNER COUNTY, IDAHO).
6. A PIPELINE EASEMENT WITH NO DEFINED WIDTH OR LOCATION AFFECTS THE SUBJECT PROPERTY (INSTRUMENT 133058, RECORDS OF BONNER COUNTY, IDAHO).
7. A 20' WIDE WATER LINE EASEMENT WITH NO DEFINED LOCATION AFFECTS THE SUBJECT PROPERTY (INSTRUMENT 589919, RECORDS OF BONNER COUNTY, IDAHO).
8. PROPOSED USE IS INDUSTRIAL.
9. PROPOSED SOLID WASTE DISPOSAL IS COUNTY TRANSFER STATION OR PRIVATE CONTRACTOR.
10. PROJECT IS LOCATED WITHIN NORTH SIDE FIRE DISTRICT.
11. ZONING DISTRICT IS INDUSTRIAL.
12. CONTOURS ARE FIELD LOCATED (NAVD 88).
13. NO WATER COURSES ARE PRESENT (USGS MAP).
14. NO FLOOD HAZARD AREAS ARE PRESENT (FIRM, PANEL 0720E, ZONE X).



James A. Sewell and Associates, LLC
1319 NORTH DIVISION AVENUE
SANDPOINT, IDAHO 83864, (208) 263-4160

S.11, T.57N., R.2W., B.M. PLAT NAME: LEW'S INDUSTRIAL PARK

DATE: 8-19-2020
SCALE: 1"=100'
DRAWN BY: LEMUCMA
CHECKED BY: MWDIMET
PROJECT NO.: 220007
CITY: SANDPOINT, IDAHO

560 W. CANFIELD AVE., STE. 200
COEUR D'ALENE, IDAHO 83815
(208) 714-4544

SAWTOOTH
Land Surveying, LLC
WWW.SAWTOOTHLS.COM

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