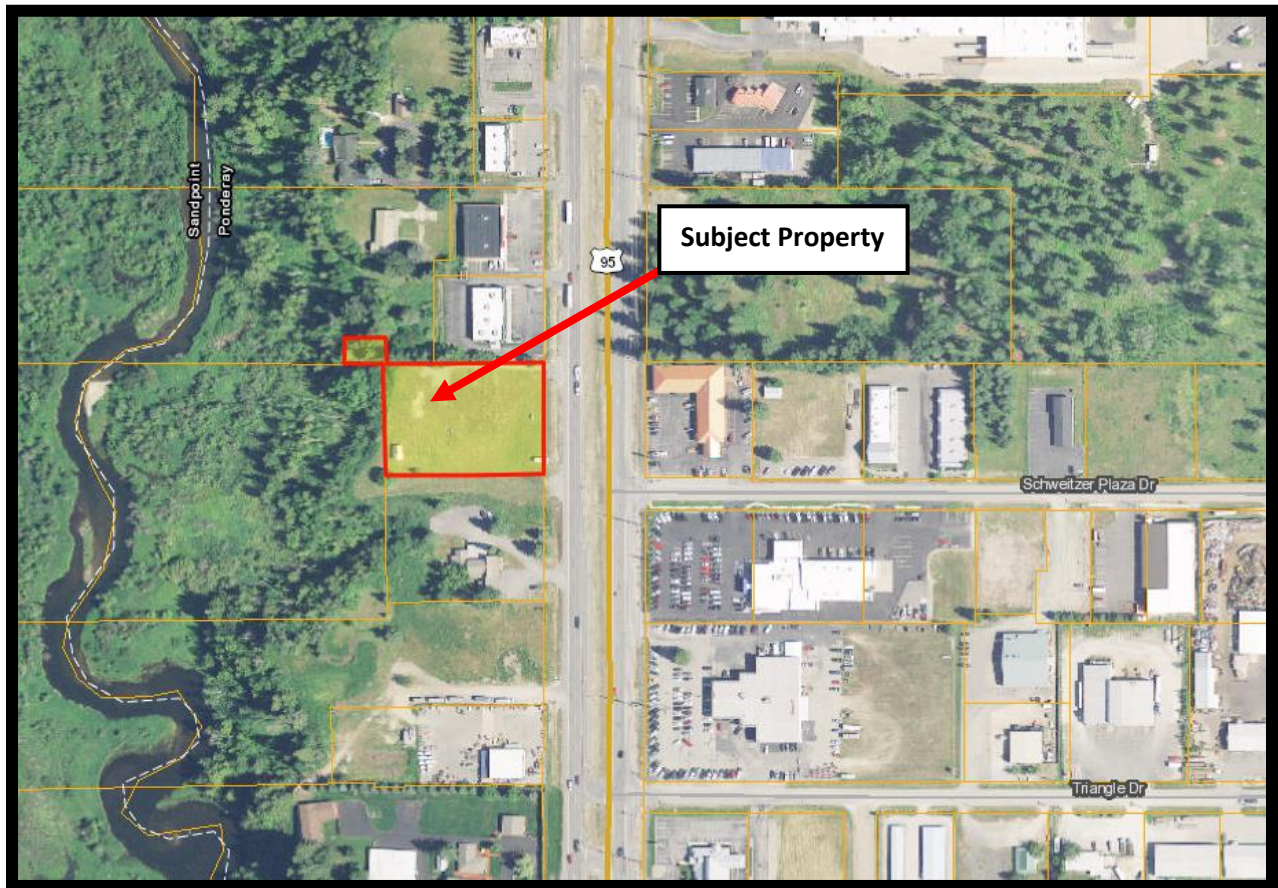


Ponderay - City Planning

Staff Report

April 15, 2020- Ponderay Planning and Zoning Commission
SP20-060 Site Plan Review – Potlatch No 1 Financial Credit Union – Site Plan Review



Aerial of Vicinity

Project Summary

Potlatch No1 Financial (P1FCU) is requesting site plan approval to construct a $\pm 3,780$ sq ft, financial institution (credit union), on ± 2.09 acres. The property is located on U.S. Highway 95, between the Ponderay Police Station and the current P1FCU location, in Section 10, Township 57 North, Range 2 West, Boise Meridian.

Site Information

- A. **Site Data:** The subject property is described as Tax 17 less US Highway 95 right-of-way (± 200 feet r-o-w width in this location). The property is currently vacant.
- B. **Access:** Access to the site is proposed from U.S. Highway 95 via an approach in the northeast corner of the site.
- C. **Environmental Factors:** The site is relatively flat. It contains primarily native grasses. According to the Bonner County GIS data viewer, it appears that there are some trees and shrubbery in the Northwest corner of the site. The U.S. Fish and Wildlife National Wetland Inventory map does not indicate the presence of wetlands on this site.

There are no water bodies identified on site and the parcel does not contain mapped flood plain, according to the Bonner County GIS public mapping application.

- D. **Services:** The subject property is served by Sandpoint City Water and Kootenai-Ponderay Sewer District. Solid waste disposal will be handled by Waste Management. The site is located within the Boundaries of the Lake Pend Oreille School District and Northside Fire District.

Currently the sewer main is not constructed to this site. The proposal includes extension of the sewer main from the south to service the site.

- E. **Stormwater:** A stormwater management and erosion control plan was designed by Matt Gibb, P.E., DCI Engineers and submitted for review. The submitted plan was reviewed by Justin Shaw, P.E., HMM Engineering, City Engineer. At this time revisions are pending. (See Condition A-5)

Project Review

Staff finds that the proposal complies with all of the applicable requirements of Ponderay City Code. Items warranting discussion or conditions are discussed below. Staff reserves the right to develop a full record in the event of an appeal.

Ponderay Code Section	Requirement	Provided by the Applicant
PCC 9-4C-2 (A) Open space	A minimum of 25% of the total lot or parcel must remain as open space	$\pm 94\%$ open space is proposed
PCC 9-4C-2 (B) Compliance	Construction, alteration or relocations of structures must be in compliance with the provisions of this title and the requirements of the zone	The proposed site plan has been reviewed for compliance with the provision of this title. Construction shall be in accord with the approved site plan and shall comply with the adopted building and fire codes. (See Condition A-1)

Ponderay Code Section	Requirement	Provided by the Applicant
PCC 9-4C-2 (C) Parking Space Requirements	All uses in the commercial zone shall meet the minimum parking space requirements as provided in PCC 9-5 Article E	<p>±3,780 sq. ft. of office and lobby space is proposed for the financial institution. For this use category, parking is calculated at a rate of 1 parking space per 200 sq. ft of floor area.</p> <p>3,780/200=19 spaces</p> <p>32 outdoor parking spaces have been provided.</p> <p>Additionally, one loading zone is required and has been provided.</p>
PCC 9-4C-2 (D) Signs and advertising	Signs and advertising must comply with ITD regulations and the standards of this title.	(See Condition B-6)
PCC 9-4C-2 (E) Green space	Not less than 10% nor more than 25% of the total lot area shall be required as green space.	50.1% Green space is proposed
PCC 9-4C-2 (F) Access	All lots in the commercial zone shall have at least one existing access	The parcel has direct frontage onto US Highway 95 and access is proposed and the northeast corner of the site.
PCC 9-4C-2 (G) Site plan	Site plan shall depict sidewalks and/or bike paths if required by the commission or city council	<p>The site fronts onto US Highway 95. Currently the Sandcreek multiuse trail terminates to the south of this site at the Canyon Mall (Subway). It is the City's desire to increase pedestrian connectivity and internal vehicle circulation on the west side of US Highway 95 in the area of the proposed development.</p> <p>Staff has recommended that the applicant work with the neighboring parcel to the north to obtain a reciprocal easement and construct a vehicular connection between the sites or as an alternate to construct a</p>

Ponderay Code Section	Requirement	Provided by the Applicant
		paved multiuse path along US Highway 95. (See Condition A-6)
PCC 9-4C-3 Uses Permitted	Personal Financial Services	P1FCU is a credit union and financial institution. The proposed use is permitted within the commercial zone.
PCC 9-8-3 (H) Site Plan Approval	Shall be considered to be a concurrent signage plan, landscape plan, lighting plan, stormwater and erosion control plan or other required plan if submission is adequate to satisfy the above requirement.	The listed plans have been reviewed for compliance with the standards of Ponderay. A formal signage plan has not been submitted at this time. However, the location of the future sign has been depicted on the site plan and typical drawings were submitted along with a statement (see sign size below) (See Condition A-5, B-2, B-5, B-6 and B-7)
PCC 9-5A-3 (C) Property line setbacks, Commercial and Industrial zones	<p>Structures shall be 75-feet from the centerline of the street or legal access right-of-way or 25-feet from the edge of the right-of-way whichever is greater.</p> <p>The minimum property line setback from all other lines shall be 10-feet, unless the abutting property is zoned residential.</p> <p>With the approval of the Planning and Zoning Commission may reduce setbacks to zero where the proposed use is part of a, neighborhood subarea plan, shopping center, mall, PUD or other development that has an overall plan approved by the planning and zoning commission</p>	The site complies with all setback requirements.
PCC 7-6-8 Sign Size	Allows for 1 sq ft of signage per lineal foot of property and building frontage, up to 300 feet.	A formal signage plan is in the works at this time. Images of "typical" P1FCU signage was

Ponderay Code Section	Requirement	Provided by the Applicant
	An additional ½ sq ft of signage is allowed for each additional lineal foot of property and building frontage beyond the first 300-feet.	supplied. Staff advised the project engineer and architect that electronic reader board signs, as was depicted, are not permitted in Ponderay. A statement to accompany the typical drawings was provided stating that no special signage allowances are requested. The project proposes only what is allowable (area, type, height, etc) for compliance. A condition has been placed to ensure that signage complies with all provisions on Ponderay City Code. (See Condition B-6)
PCC 7-6-12 (A) Sign Maximum Height	No sign shall extend to a height of more than 5-feet above the roofline of the business for which it advertises, exclusive of false fronts or a maximum of 24-feet in height, whichever is lower.	The maximum height of the proposed structure is 21'1" tall. The maximum sign height shall 24-feet tall for this site. (See Condition B-6)
PCC 7-6-12 (B) Setbacks (Free standing Sign)	All freestanding signs shall be setback a minimum of 10-feet from the property line as measured from the property line to the nearest point of the support structure.	The freestanding sign is proposed to be located in the southeast corner of the site. The sign shall be located a minimum of 10-feet from the property line. (Condition B-6)
PCC 9-5A-4 (A) Maximum Height	No structure in any zone shall exceed two stories in height. Structures in the commercial and industrial zones may seek Planning and Zoning Commission approval to exceed the maximum height.	The proposed structure is single story (See Condition B-9)
PCC 9-5-4 Performance standards for commercial and industrial uses	Any commercial or industrial use or occupation of land or buildings in any zone which creates dangerous, injurious, noxious or otherwise objectionable conditions	See Condition B-3

Ponderay Code Section	Requirement	Provided by the Applicant
	adversely affecting any other lot must comply with performance requirements relating to fire hazards, radioactive particles or electrical disturbance, noise, vibration, air pollution, glare and water pollution.	
PCC 9-5B-6 Outdoor Storage of Commercial and Industrial Materials or Equipment	<p>A) Commercial or Industrial materials that are stored outdoors must be screened from view of any existing residence or residentially zoned property.</p> <p>B) Storage of commercial or industrial materials or equipment is prohibited within the front yard setback.</p>	<p>A) The site does not abut any residentially zoned or developed property</p> <p>B) See Condition B-4</p>
PCC 9-5C-5 Required Trash Areas	All trash and or garbage collection areas for commercial uses shall be enclosed on at least three sides by a solid wall or sight obscuring fence of at least 4-feet in height or shall be placed within an enclosed building.	The site plan depicts a trash enclosure at the northwest corner of the parking lot. (See Condition B-8)

Additionally, PCC 9-8-3(G) allows the Planning and Zoning Commission to place supplementary conditions and safeguards during site plan approval. Conditions may involve, but are not limited to:

1. Minimizing adverse impact on adjacent property.
2. Controlling the sequence and timing of development.
3. Controlling the duration of development.
4. Assuring that the development is maintained properly.
5. Designating the exact location and nature of development.
6. Requiring a provision for on site or off-site public facilities or services.
7. Requiring more restrictive standards than those generally required by this title.
8. Requiring buffers, lighting restrictions, and building materials as necessary to protect the nature and character of any scenic byways within the city.
9. Requiring professional design review, by criteria and process established by the planning director and adopted from time to time by resolution of the council.

Staff Note: Staff has listed recommended conditions of approval at the end of this report. The commission has the ability to modify the recommended conditions of approval or place additional

Ponderay Code Section	Requirement	Provided by the Applicant
conditions consistent with PCC9-8-3(G) at the time the motion is made.		

Agency Comment

The application was sent to the following agencies for comment on March 10, 2020:

<input checked="" type="checkbox"/> Kootenai-Ponderay Sewer District	<input checked="" type="checkbox"/> Northside Fire District
<input checked="" type="checkbox"/> Ponderay Police Department	<input checked="" type="checkbox"/> Pat Park, Building Official
<input checked="" type="checkbox"/> City of Sandpoint	<input checked="" type="checkbox"/> Avista
<input checked="" type="checkbox"/> Independent Highway District	<input checked="" type="checkbox"/> Lake Pend Oreille School District
<input checked="" type="checkbox"/> Frontier Communications	<input checked="" type="checkbox"/> Northland Cable
<input checked="" type="checkbox"/> Ponderay City Engineer, HMH Engineering	<input checked="" type="checkbox"/> Idaho Transportation Department

At the time this report was prepared, the following comments were received:

Don Peterson, Avista Utilities, email dated March 10, 2020: Mr. Peterson stated the he had no issues with the proposal and recommends approval.

Pat Park, CBO, James A. Sewell & Associates, email dated March 10, 2020: Mr. Park stated that he had reviewed the proposed project. It consists of about 3,780 sq. ft of Type V-B construction and will be group B occupancy. They may need a fire hydrant depending on the distance to fire service features. He recommended approval. (See Condition A-1)

Independent Highway District, IHD Commissioner Mel Bailey, email dated March 10, 2020: Mr. Bailey commented noting that the project should have an entrance off of Highway 95 and that designing with only one entrance could be problematic. Additionally, he commented on the possible path and asked if it should be paved. He further commented regarding a typo.

****Staff Note:** An approach to Highway 95 has been proposed. Additionally, staff is working with the developer in an attempt to establish internal connectivity with the site to the north which would allow both sites to share the two approaches to US Highway 95. If this fails to be accomplished, then staff recommends that a paved multiuse path be constructed to provide pedestrian connectivity. (See Condition A-6 and A-7)

Ponderay Police Department, Jimmy Cornelius, email dated March 11, 2020: Chief Cornelius stated no comment.

William Roberson, Idaho Transportation Department (ITD), email dated March 22, 2020: Mr. Roberson commented that ITD will not allow a concrete washout to be located with their R-O-W. He further noted that an encroachment permit must be obtained. (See Condition A-7)

****Staff Note: Revised civil drawings were received which relocated the concrete washout onto the site.**

Justin Shaw, PE, HMH Engineering, Ponderay City Engineer, memo dated March 19, 2020: Mr. Shaw provided a memo requesting additional information as follows:

1) Lot Size: Total lot size is 2.09 AC (91,040 SQ FT) according to Bonner County GIS. The Site Plan lists

total lot size as 62,870 SQ FT. Will the lot be subdivided?

2) *Parking: Please verify parking lot dimensions meet City code 9-1-2.B, and accessible parking spots are ADA.*

3) *Water Lines: Please verify water and sanitary sewer pipes meet IDAPA separation potable and non-potable requirements (IDAPA 58.01.08).*

4) *Septic: I spoke with Kootenai-Ponderay Sewer District (KPSD) and Panhandle Health District (PHD) regarding the proposed septic system. It would be unusual to get a septic system permitted in this area. Please verify sewer services with KPSD. If you are unable to get a sewer main extension, KPSD will notify PHD that sewer services will not be provided. PHD will then assist with the septic system placement and design.*

5) *1/2" Runoff: Please include the building roof as impervious area for the 1/2 IN runoff per City code 8-4-8.C.*

6) *Permeable Earthen Berm: Please provide a description of the permeable earthen berm.*

7) *Outlet Pipe: Please provide overflow pipe flow calculations.*

8) *Type 1 Catch Basin: Please check the elevations on the catch basin. The catch basin will be set six inches above the swale bottom, and the swale is six inches deep. Would overflow bypass the catch basin? Or is there a separate berm around the swale to contain volume greater than six inches deep? The 25-YR calcs assume an outflow at the first time step. How is that runoff detained? Swales in a commercial area can be 8-IN deep (8-4-6.B.2) if you need a more volume.*

****Staff Note: The project engineer and city engineer are working back and forth to address the needed revisions. A condition has been proposed to ensure that the plan is modified to the satisfaction of the City Engineer prior to building permit issuance. (See Condition A-5)**

Zach Pohl, Northside Fire District, email dated March 25, 2020: Mr. Pohl stated that the nearest fire hydrant is located at the entrance to the AT&T Store. While it falls within the minimum distance requirements, use of that hydrant may block Highway 95 in an emergency. He requested that a hydrant be installed near the construction entrance depicted on the site plan.

****Staff Note: According to Mr. Pohl the site is compliant with fire code as is. As a result, a condition was not proposed requiring installation of the additional fire hydrant at this time, though the request was conveyed to the project engineer. With that being said, a condition is in place that requires the site to comply with all building and fire codes (See Condition A-1). Fire hydrant access is a part of the fire code review. Additionally, if internal circulation can be achieved between the subject property and the site to the north, emergency services would be able to access the site outside of the Highway right-of-way.**

Kootenai Ponderay Sewer District (KPSD): While formal comments were not received from the Kootenai Ponderay Sewer District, the City has been involved in discussions with the project engineer and the district. Additionally, the City has received copies of emails supplied to the project engineer outlining a path forward towards receiving service. They indicated a two-part process.

Part 1, On-site sewer plans: The project engineer must submit and receive approval for the onsite sewer plans. At such time as the sewer construction plans have been approved and the required applications and fees have been addressed, Tanner Weisgram, Operations Manager for KPSD, has indicated that he see's no reason that a building permit can not be issued to allow construction to commence on the site while the project engineers work through Part 2. (See Condition A-2)

Part 2, Sewer Main Extension: A sewer main extension agreement and plans must be executed and submitted with the accompanying documents and fees must be submitted to the district for approval. Additionally, they must receive DEQ approval. This process may take several weeks. Tanner Weisgram, Operations Manager for KPSD, has indicated that there is no reason that this process cannot occur while the building is under construction as long as a condition is in place to ensure that the proper approvals are in place prior to occupancy of the structure. (See Condition A-3)

At this time the applicant has submitted the waste data disclosure forms, Commercial-Industrial Sanitary Sewer Service Connections forms and the inspection verification for Sewer Service Connection to the district for review. Additionally, the project engineer has been in communications with the district and is working to provide the amended plans required by the sewer district.

Public Comment

No public comment had been received at the time this report was completed.

Staff Analysis & Recommendation

Subject to the recommended conditions of approval, staff finds that this project is consistent with Ponderay City Code. Therefore, staff recommends approval of the proposed site plan.

Motion

MOTION TO APPROVE: I move to **approve** this project FILE #SP20-060 authorizing construction of a 3,780 sq. ft financial institution, finding that it is in accord with the applicable provisions of Ponderay City Code. I further move to adopt the conditions of approval, as listed (or amended) in the staff report.

MOTION TO REMAND: I move to **remand** this project FILE #SP20-060, **to the applicant for redesign or modification. (State the specific items needing to be addressed)**

CONDITIONS OF APPROVAL

Prior to issuance conditions (Must be met before a building permit can be issued)

- A-1.** The proposed site plan has been reviewed for compliance with the provision of this title. Construction shall be in accord with the approved site plan and shall comply with the adopted building and fire codes.
- A-2.** Prior to building permit issuance, the applicant shall provide documentation from the Kootenai-Ponderay Sewer District, that the onsite sewer plans have been approve and the district is

satisfied that construction may commence, pending sewer main extension approval. The applicant shall acknowledge that they understand that they will not be allowed to occupy the structure until Condition A-3 has been satisfied.

- A-3.** Prior to certificate of occupancy issuance, the applicant shall provide proof that the sewer main extension has been approved and installed to the satisfaction of the Kootenai Ponderay Sewer District.
- A-4.** Prior to certificate of occupancy issuance, the applicant shall provide documentation from the City of Sandpoint that fees have been paid and Sandpoint Water will provide service the site.
- A-5.** Prior to building permit issuance stormwater revisions shall be completed to the satisfaction of the City Engineer.
- A-6.** Prior to certificate of occupancy, the landowner shall provide a recorded copy of a reciprocal easement between the subject property and the parcel to the north ensuring internal circulation between the sites or shall construct a hard surface multiuse path along U.S. Highway 95 to the satisfaction of the City of Ponderay Engineer.
- A-7.** Prior to building permit issuance, the applicant shall provide proof of encroachment permit approval from the Idaho Transportation Department.

Operational Conditions (Must be met on an ongoing basis)

- B-1.** Construction must begin within one (1) year after the site plan is approved. A time extension for commencement of construction may be requested, in writing, from the planning and zoning commission, which shall grant such an extension for a specified reasonable time upon a showing of good cause.
- B-2.** External lighting shall be installed in accord with the approved lighting plan. Exterior lighting shall not be placed in any manner as to permit beams and illumination onto a public right of way. All lighting shall be downwardly directed.
- B-3.** The commercial use shall operate in compliance with the performance standards of PCC 9-5-4.
- B-4.** The storage of commercial or industrial materials or equipment within the front yard setback shall be prohibited.
- B-5.** Landscaping shall be installed in accord with the approved landscaping plan.
- B-6.** Signage shall comply with all applicable standards of PCC 7-6 and all Idaho Transportation Department requirements.
- B-7.** Stormwater and erosion control features shall be installed and maintained in accord with the approved plan.

- B-8.** All proposed or future trash and/or garbage collection areas shall be enclosed on at least three (3) sides by a solid wall or sight obscuring fence of at least four (4) feet in height, or within an enclosed building or trash and/or garbage collection dumpster. Adequate vehicle access to and from such area or areas for collection of trash and/or garbage shall be provided. Trash and/or garbage collection areas must also be animal proof.
- B-9.** Structures shall not exceed two stories in height.