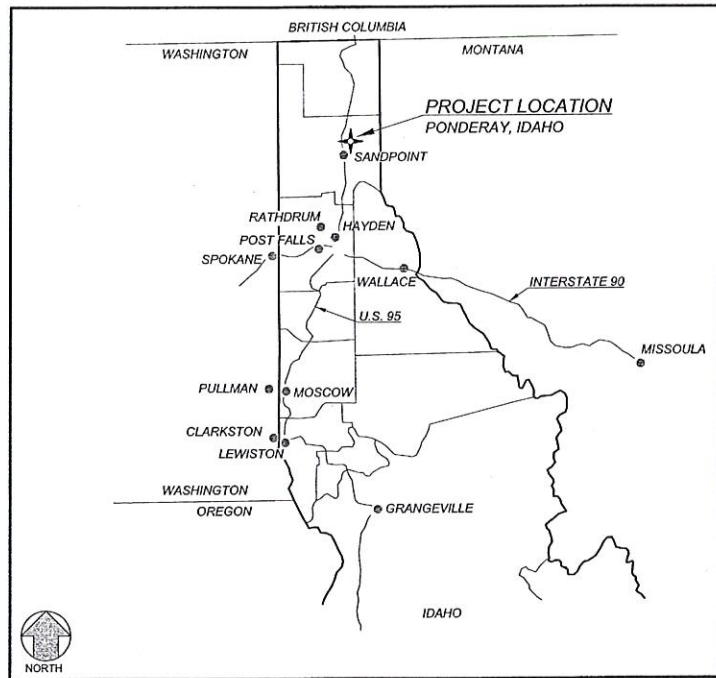
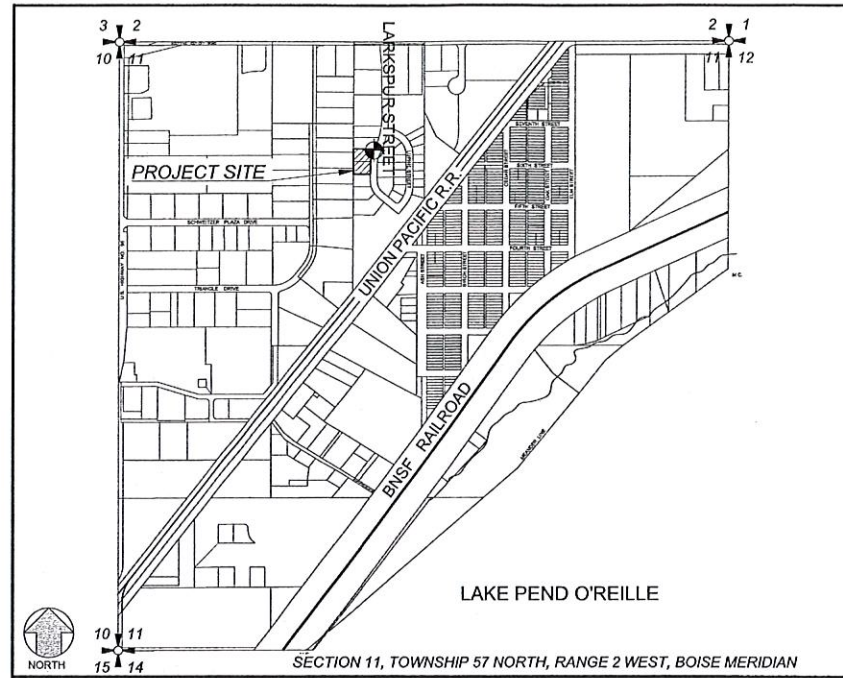


ALDER CREEK COMMERCIAL

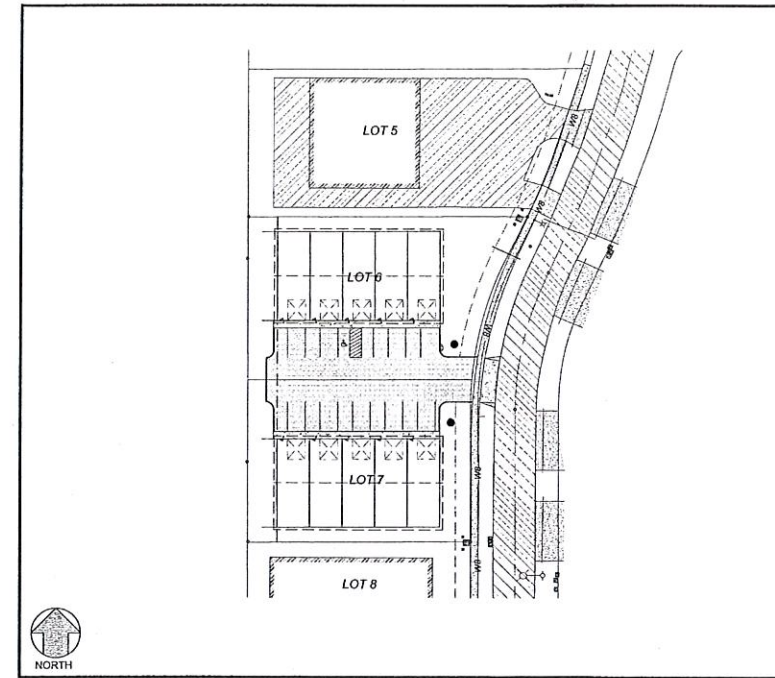
SITE DEVELOPMENT PLANS
 LOTS 6 & 7, BLOCK 1
 CITY OF PONDERAY, BONNER COUNTY, IDAHO



VICINITY MAP
 NTS



PROJECT LOCATION
 1" = 800'



PROJECT SITE
 1" = 60'

PROJECT DEVELOPER
 COPPER BASIN CONSTRUCTION, INC.
 580 CAPSTONE COURT
 HAYDEN, IDAHO 83835
 PH: (208) 765-5059

PROJECT ENGINEER
 LAKE CITY ENGINEERING, INC.
 126 E. POPLAR AVENUE
 COEUR D'ALENE, IDAHO 83814
 PH: (208) 676-0230

PROJECT ARCHITECT
 D'ZIGN GROUP ARCHITECTS
 21 COMMERCE DRIVE, STE A
 HAYDEN, IDAHO 83835
 PH: (208) 699-4977

PROJECT MATRIX

ZONING:	COMMERCIAL
# OF BUILDINGS:	2
TOTAL BUILDING FLOOR AREA:	13,200sf
TOTAL PROJECT AREA:	0.80 ac.
IMPERVIOUS AREA:	23,120 sf
TOTAL OPEN AREA:	11,657 sf

CONTACT INFORMATION

WATER PURVEYOR
 CITY OF SANDPOINT - PUBLIC WORKS
 1123 LAKE STREET
 SANDPOINT, IDAHO 83864
 PH: (208) 263-3407

SEWER PURVEYOR
 KOOTENAI-PONDERAY SEWER DISTRICT
 511 WHISKEY JACK ROAD
 SANDPOINT, IDAHO 83864
 PH: (208) 263-0229

STREET AND STORMWATER PURVEYOR
 INDEPENDENT HIGHWAY DISTRICT
 1805 BALDY MOUNTAIN ROAD
 SANDPOINT, IDAHO 83864
 PH: (208) 263-8131

VERTICAL BENCHMARK
 1/2" REBAR WITH BLUE PLASTIC CAP MARKED
 "LCE CONTROL" LOCATED APPROX. 20' SOUTH
 OF THE THE NORTHEAST CORNER OF LOT 6
 ELEV: 2129.02 (NAVD 88)

- INDEX OF SHEETS**
1. TITLE SHEET
 2. EXISTING CONDITIONS, DEMOLITION AND ESC PLAN
 3. SITE PLAN, GRADING PLAN, AND LANDSCAPE PLAN
 4. PROJECT SPECIFICATIONS
 5. PROJECT DETAILS

Revised
RECEIVED

FEB 27 2020

**PLANNING OFFICE
 CITY OF PONDERAY**

NO.	DESCRIPTION	INITIAL	DATE



ALDER CREEK COMMERCIAL LOTS 6 & 7

TITLE SHEET
 PONDERAY, IDAHO



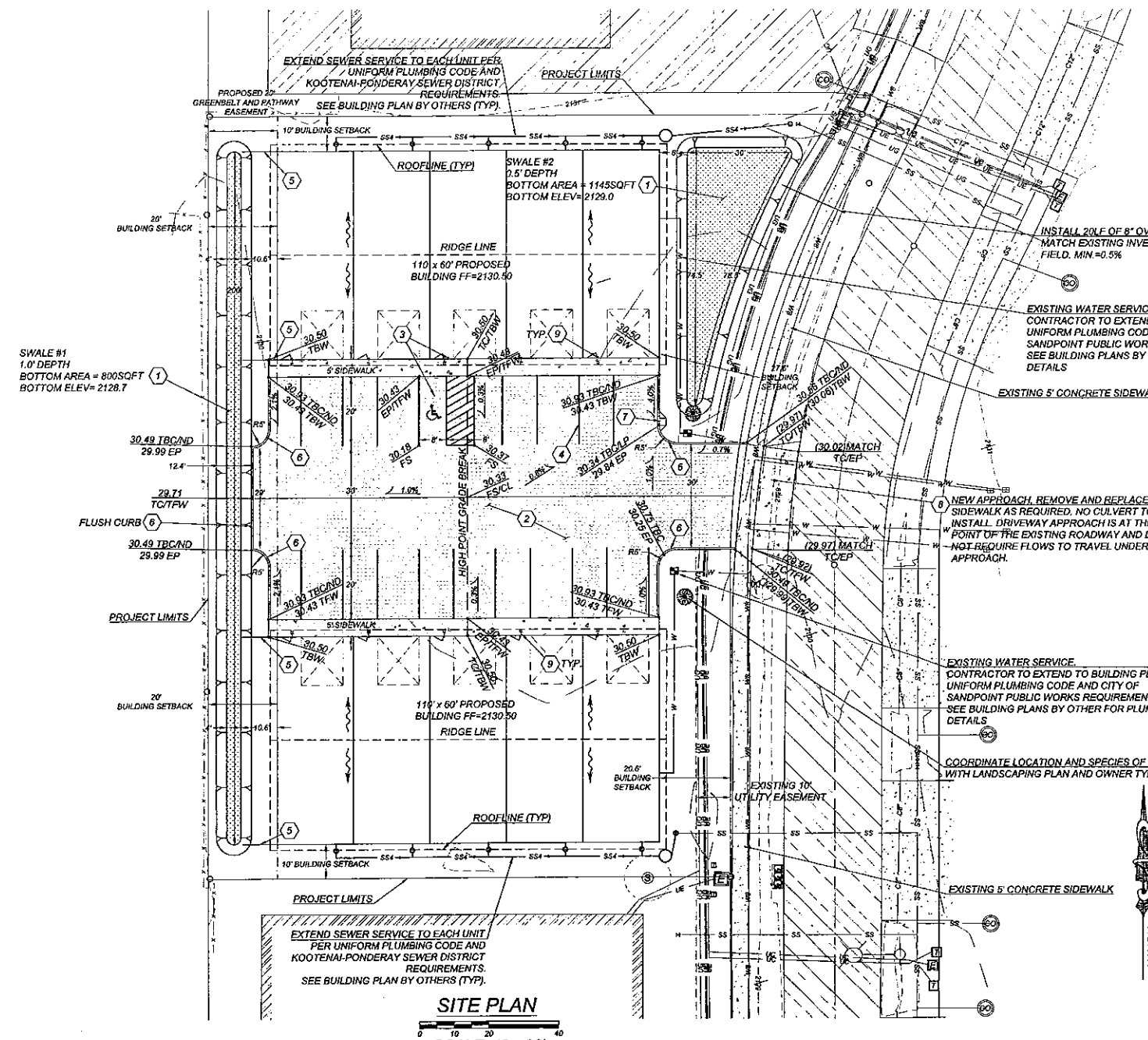
DESIGNED BY: DCD
 DRAFTED BY: GDH/PLM
 DATE: 2/18/2020
 JOB NO.: LCE 19-007.1

UNDERGROUND SERVICE ALERT

ONE-CALL NUMBER
811
 CALL TWO BUSINESS DAYS BEFORE YOU DIG

1 / 5

marlin, Plotfile: Feb 18, 2020 - 8:05am, L:\2019\19-007\ACAD\19-007.1 - COM1_revised.dwg



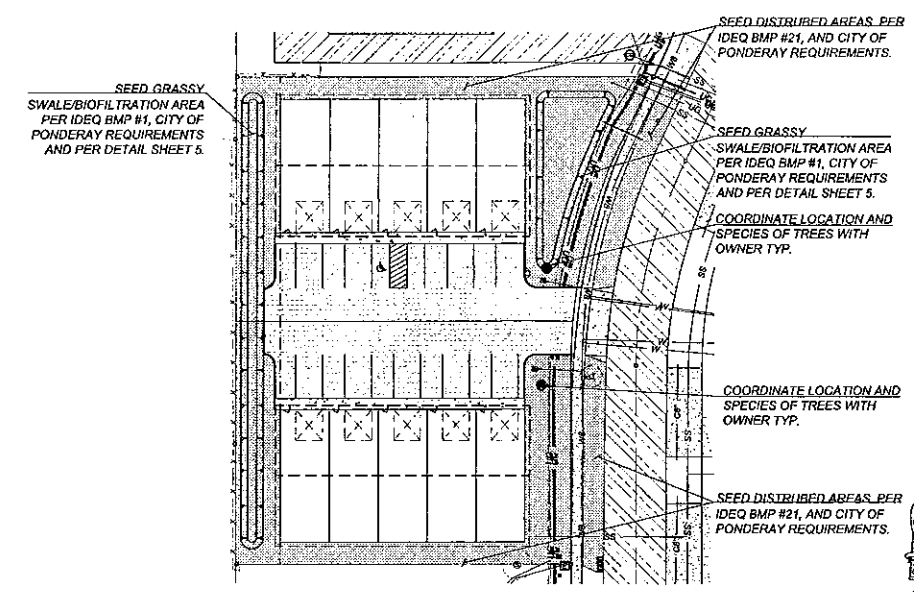
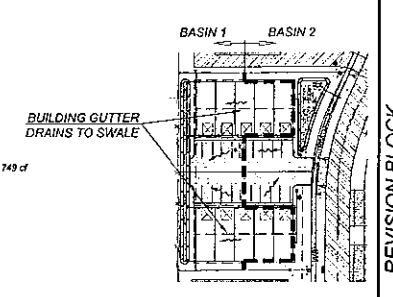
STORMWATER CALCULATIONS

GENERAL ASSUMPTIONS
 Q₁₅ = CIA (RATIONAL METHOD)
 C_{imp} = 0.9; C_{grass} = 0.4
 C_{comp} = (0.9) A_{imp} + (0.4) A_{grass} / A_{total}
 I = 2.8 in/hr (28 year average) (TD 1.D.F. CURVE)
 A = TOTAL BASIN IN ACRES
 T_r < 5 min.

BASIN 1
 Q₁₅ = (0.78) (2.4) (0.53)
 Q₁₅ = 1.17 cfs
 C_{comp} = (0.9) (11,970) + (0.4) (5,122) / 22,092 = 0.79
 I = 2.8 in/hr
 A_{total} = 23,092 = 0.53 ac
 T_r < 5 min.
 TREATMENT VOLUME REQUIRED = (11,970) (1/2) / 12" = 494 cf
 TREATMENT AREA PROVIDED = 800 sf (28.12" = 800 sf)

PRE-DEVELOPMENT LOT 6 & 7 COMBINED
 Q₁₅ = (0.4) (2.8) (0.87)
 Q₁₅ = 0.90 cfs
 C_{comp} = (0.4) (NATIVE VEGETATION)
 I = 2.8 in/hr
 A_{total} = 0.87 ac
 T_r < 5 min.

BASIN 2
 Q₁₅ = (0.63) (2.8) (0.27)
 Q₁₅ = 0.47 cfs
 C_{comp} = (0.9) (5,150) + (0.4) (6,535) / 11,685 = 0.82
 I = 2.8 in/hr
 A_{total} = 11,685 = 0.27 ac
 T_r < 5 min.
 TREATMENT VOLUME REQUIRED = (5,150) (1/2) / 12" = 215 cf
 TREATMENT AREA PROVIDED = 1,145 sf (28.9" = 572 sf)



CONSTRUCTION NOTES

1. CONSTRUCT GRASSY SWALE/BIOFILTRATION AREA PER IDEQ BMP #1, CITY OF PONDERAY REQUIREMENTS AND PER DETAIL SHEET 5.
2. 2" ASPHALT PAVEMENT / 4" BASE COURSE GRAVEL / 8" 1-1/2" BALLAST MATERIAL WITH GEOTECH FABRIC IF REQUIRED / COMPACTED NATIVE MATERIAL. SEE TYPICAL SECTION DETAIL SHEET 5.
3. INSTALL ADA VAN ACCESSIBLE PARKING STALL WITH APPROVED HANDICAP SIGNAGE PER SHEET 4.
4. INSTALL PAVEMENT MARKINGS AS SHOWN; PRIOR TO INSTALLING STRIPING, ENGINEER SHALL APPROVE ALL STRIPING PLANS.
5. DIRECT ROOF GUTTER DOWNSPOUTS TO DRAIN TO SWALE. COORDINATE LOCATION OF DOWNSPOUTS WITH BUILDING PLANS.
6. INSTALL 18" STANDARD STRAIGHT CURB. SEE DETAIL SHEET 5.
7. INSTALL DRAINAGE CURB CUT INLET WITH APRON IN CURB LINE. SEE DETAIL SHEET 5.
8. INSTALL CONCRETE DRIVEWAY APPROACH. SEE DETAIL SHEET 5.
9. INSTALL EXTERIOR LIGHTING AT EACH UNIT MAN DOOR. COORDINATE LOCATION WITH BUILDING PLANS (TYPICAL).

SITE MATRIX

LOT 6 SIZE: 18,204sf (0.42ac)
 BUILDING AREA: 6,600sf WAREHOUSE
 LOT 7 SIZE: 18,573sf (0.38ac)
 BUILDING AREA: 6,600sf WAREHOUSE
 LOTS 6 & 7 COMBINED
 IMPERVIOUS AREA: 23,120sf
 OPEN/GRASSED AREA: 11,657sf
 34,777sf

PARKING CALCULATIONS
 (CITY CODE 9-5E-3)
 WAREHOUSE(2): 6,600sf / 1,000sf = 7 SPACES
 14 REQUIRED

PARKING SPACES PROVIDED: 19 + 1 ADA
 ADA NOTE
 ADA ACCESSIBLE ROUTE SHOWN HEREON FOR INFORMATIONAL PURPOSES ONLY. NOT REQUIRED TO BE STRIPED. MAX 2% CROSS SLOPE PER THE REQUIREMENTS OF ADAAG.

TRASH COLLECTION
 EACH UNIT SHALL BE REQUIRED TO MAINTAIN THEIR OWN TRASH COLLECTION RECEPTACLE WITHIN THE CONFINES OF THEIR OWN FACILITY SPACE. COLLECTION SHALL BE COORDINATED WITH LOCAL TRASH COLLECTION PROVIDER.

SIGNAGE
 NO ON-SITE OR BUILDING SIGNAGE IS PROPOSED AT THIS TIME. ANY FUTURE SIGNS SHALL BE INSTALLED PER CITY OF PONDERAY REQUIREMENTS.

STORMWATER NOTE
 STORMWATER CALCULATIONS SHOWN HEREON FOR REFERENCE ONLY. THIS LOT IS PART OF A MASTER STORMWATER PLAN FOR THE ALDER CREEK SUBDIVISION THAT HAS BEEN PREVIOUSLY APPROVED BY THE CITY OF PONDERAY.

UNDERGROUND SERVICE ALERT
 ONE-CALL NUMBER
 811
 CALL TWO BUSINESS DAYS BEFORE YOU DIG

REVISION BLOCK	NO.	DESCRIPTION	INITIAL	DATE

2/18/20

ALDER CREEK COMMERCIAL LOT 6 & 7
 SITE PLAN, GRADING PLAN, AND LANDSCAPE PLAN
 PONDERAY, IDAHO

ONE INCH
 AT FULL SIZE IF NOT ONE INCH SCALE ACCORDINGLY

DESIGNED BY: DCD
 DRAFTED BY: GDM/PLM
 DATE: 2/18/2020
 JOB NO.: LCE 19-007.1

3
 5

PROJECT: Ponderay, Feb 18, 2020 - 8:22am, L:\2019\19-007.1\AEC\0119-007.1 - COMST - 060606.dwg

SUPPLEMENTAL GRADING NOTES:

- IN THE EVENT THAT ANY UNFORESEEN CONDITIONS NOT COVERED BY THESE NOTES ARE ENCOUNTERED DURING GRADING OPERATIONS, THE OWNER/ENGINEER SHALL BE IMMEDIATELY NOTIFIED IN ORDER TO PROVIDE GUIDANCE TO CONTRACTOR.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES AND SLOPES SHOWN.
- THE CONTRACTOR IS WARNED THAT AN EARTHWORK BALANCE WAS NOT NECESSARILY THE INTENT OF THIS PROJECT. ANY ADDITIONAL MATERIAL REQUIRED OR LEFTOVER MATERIAL FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR IS REQUIRED TO PERFORM HIS (THEIR) OWN EARTHWORK CALCULATIONS PRIOR TO SUBMITTING A BID PROPOSAL TO DEVELOP COSTS.
- CONTRACTOR SHALL GRADE TO THE LINES AND ELEVATIONS SHOWN ON THE PLANS WITHIN THE FOLLOWING HORIZONTAL AND VERTICAL TOLERANCES AND DEGREES OF CONSTRUCTION, IN THE AREAS INDICATED:

	HORIZONTAL	VERTICAL
PAVEMENT AREA SUBGRADE	0.1"	+0.1" TO -0.1"
ENGINEERED FILL	0.5"	+0.1" TO -0.1"

- COMPACTON TESTING WILL BE PERFORMED BY THE OWNER OR HIS REPRESENTATIVE, AT THE CONTRACTORS EXPENSE.
- ALL CUT AND FILL SLOPES SHALL BE PROTECTED UNTIL EFFECTIVE EROSION CONTROL HAS BEEN ESTABLISHED. ALL CUT AND FILL SLOPES SHALL BE SEEDED WITH AN EFFECTIVE DRY AND SEED MIXTURE.
 - THE CONTRACTOR SHALL MAINTAIN THE STREETS, SIDEWALKS, AND ALL OTHER PUBLIC RIGHTS-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPLITS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
 - THE TOPOGRAPHY SHOWN HEREIN IS SPECIFICALLY INTENDED FOR THE MASS GRADING SHOWN HEREON.
 - THE CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORM WATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK IN CONNECTION WITH THE GRADING OPERATIONS.
 - CONTRACTOR SHALL PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL TRANSITION BETWEEN NEW CONSTRUCTION AND EXISTING SURF FOR PROPER DRAINAGE AND OF INGRESS AND EGRESS TO SAID CONSTRUCTION. EXTENT OF TRANSITIONS TO BE DETERMINED BY THE CITY ENGINEER.
 - EXISTING UTILITIES ARE LOCATED ON PLANS FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR THE PROTECTION AND/OR RELOCATION OF UTILITIES AND THE ENGINEER BEARS NO RESPONSIBILITY FOR UTILITIES NOT SHOWN ON THE PLANS OR NOT IN THE LOCATION SHOWN ON THE PLANS. THIS INCLUDES ALL SERVICE LATERALS OF ANY KIND.
 - PROTECTION AND REPLACEMENT OF SURVEY MONUMENTS OR PROPERTY STAKES NOT DELINEATED ON THE CONTRACT DRAWINGS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. REPLACEMENT OF SURVEY MONUMENTS OR PROPERTY STAKES SHALL BE DONE IN ACCORDANCE WITH IDAHO CODE.
 - CONTRACTOR IS REQUIRED TO CALL FOR LOCATES. CALL BEFORE YOU DIG, 811
 - ENGINEER OF RECORD MAKES NO GUARANTEE OF TOPOGRAPHY SHOWN HEREON. CONTRACTOR TO FIELD VERIFY AT HIS EXPENSE ALL TOPOGRAPHY PRIOR TO THE START OF ANY WORK HEREON. CONTRACTOR SHOULD IMMEDIATELY NOTIFY ENGINEER OF RECORD IF ANY DISCREPANCIES ARE FOUND.
 - LIMITS OF CLEARING TO BE A MINIMUM OF 10' OUTSIDE OF CUT/FILL DAYLIGHT LINE IF POSSIBLE OR AS DETERMINED IN FIELD BY ENGINEER.
 - A LICENSED PROFESSIONAL ENGINEER WITH APPROPRIATE GEOTECHNICAL EXPERIENCE SHALL MONITOR, TEST AND CERTIFY THAT THE WORK WAS PERFORMED IN ACCORDANCE WITH THE SPECIFICATIONS HEREON AND WITH CITY OF COEUR D'ALENE STANDARDS.
 - CUT SLOPES SHOWN HEREON ARE A MAXIMUM 3:1 PER THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER OUTSIDE OF THE PUBLIC RIGHT-OF-WAY.
 - A SEARCH OF AVAILABLE RECORDS AND FIELD RESEARCH WAS CONDUCTED TO LOCATE EXISTING SURVEY MONUMENTS, PROPERTY CORNERS, AND PLSS MONUMENTS WITHIN THE PROJECT LIMITS. LOCATIONS OF SUCH EXISTING ARE SHOWN HEREON FOR REFERENCE. ANY EXISTING MONUMENTS THAT WILL BE LOST OR DISTURBED DURING THE COURSE OF CONSTRUCTION MUST BE RE-ESTABLISHED PER THE REQUIREMENTS OF IDAHO CODE 55-1813 AT THE CONTRACTOR'S EXPENSE. EXISTING MONUMENTS MUST BE PRESERVED AND PROTECTED, TO THE EXTENT POSSIBLE, DURING CONSTRUCTION.
 - UNLESS SPECIFIED OTHERWISE, THE CONTRACTOR SHALL FOLLOW THE CONSTRUCTION SCHEDULING AND SEQUENCING GUIDELINES PER BMP #1 OF VOLUME 2 OF THE IDEQ STORM WATER BEST MANAGEMENT PRACTICES CATALOG (LATEST EDITION).
 - CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PRESERVE THE EXISTING VEGETATION ALONG THE SPECIFIED PROJECT LIMITS PER BMP #3 OF VOLUME 2 OF THE IDEQ STORM WATER BEST MANAGEMENT PRACTICES CATALOG (LATEST EDITION).
 - CONTRACTOR SHALL CONFINE CLEARING LIMITS TO WITHIN THE SPECIFIED PROJECT LIMITS PER BMP #4 OF VOLUME 2 OF THE IDEQ STORM WATER BEST MANAGEMENT PRACTICES CATALOG (LATEST EDITION).
 - CONTRACTOR SHALL IMPLEMENT AND MAINTAIN A DUST CONTROL PROGRAM ON A DAILY BASIS, INCLUDING WEEKENDS AND HOLIDAYS PER BMP #7 OF VOLUME 2 OF THE IDEQ STORM WATER BEST MANAGEMENT PRACTICES CATALOG (LATEST EDITION).
 - UNLESS SPECIFIED OTHERWISE, THE CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO COVER ALL ON-SITE MATERIALS AND EQUIPMENT PER BMP #8 OF VOLUME 2 OF THE IDEQ STORM WATER BEST MANAGEMENT PRACTICES CATALOG (LATEST EDITION).
 - NO WASHOUT FACILITIES INCLUDING CONCRETE MATERIAL WASHOUT WILL BE PERMITTED WITHIN THE SPECIFIED PROJECT LIMITS. THE CONTRACTOR SHALL DIRECT ALL WASHOUT ACTIVITIES TO BE CONDUCTED OFF-SITE WITHIN DESIGNATED WASHOUT AREAS.
 - CONTRACTOR SHALL FILE AND MAINTAIN A NOTICE OF INTENT WITH THE EPA AND OBTAIN A CONSTRUCTION GENERAL PERMIT FOR THIS PROJECT. THE APPROVED SWPPP DOCUMENTS SHALL BE ONSITE IN A PUBLICLY VISIBLE LOCATION DURING THE COURSE OF CONSTRUCTION.
 - CONTRACTOR SHALL MAKE PROVISIONS TO RETAIN AND PROTECT ALL EXISTING SURVEY MONUMENTS, PROPERTY CORNERS AND PUBLIC LANDS CORNERS. ALL DISTURBED MONUMENTS SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR IN ACCORDANCE WITH THE REQUIREMENTS OF IDAHO CODE.
 - CONTRACTOR SHALL MAKE PROVISIONS TO RETAIN AND PROTECT ALL SURVEY CONTROL, CONSTRUCTION STAKES AND OFFSETS. ANY RE-STAKING WILL BE PERFORMED AT THE EXPENSE OF THE CONTRACTOR.

SUPPLEMENTAL CONSTRUCTION NOTES:

- THE CONTRACTOR IS REQUIRED TO KEEP ALL EQUIPMENT, PERSONNEL AND MATERIALS CONFINED TO PROJECT LIMITS AS SHOWN HEREIN. UNLESS SPECIFIED OTHERWISE, ALL PROPERTY AND DISTURBED AREAS DAMAGED DURING THE COURSE OF CONSTRUCTION SHALL BE RESTORED TO EQUAL OR BETTER CONDITIONS AND APPROVED BY THE ENGINEER AT NO ADDITIONAL EXPENSE TO THE CITY AND THE ENGINEER.
- THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY COMPANIES PRIOR TO STARTING WORK NEAR ANY FACILITIES AND SHALL BE SOLELY RESPONSIBLE FOR COORDINATING THEIR WORK WITH UTILITY COMPANY REPRESENTATIVES.
- THE EXISTENCE AND LOCATION OF UTILITIES SHOWN HEREIN ARE APPROXIMATE AND BASED ON THE BEST AVAILABLE INFORMATION. THEY ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY AND THE CITY AND ENGINEER BEARS NO RESPONSIBILITY FOR UTILITIES NOT SHOWN ON THESE PLANS OR NOT IN THE LOCATION SHOWN HEREIN. THE CONTRACTOR SHALL CONTACT "ONE CALL" AT 811 AT LEAST 48 HOURS PRIOR TO STARTING ANY EXCAVATION WORK AND SHALL BE SOLELY RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES WITHIN THE PROJECT LIMITS.
- THE CONTRACTOR SHALL STOP WORK AND IMMEDIATELY NOTIFY UTILITY COMPANY REPRESENTATIVES OF ANY AND ALL DAMAGES TO EXISTING UTILITIES THAT HAS OCCURRED DURING CONSTRUCTION. UNLESS SPECIFIED OTHERWISE, ALL UTILITY DAMAGES SHALL BE RESTORED TO EQUAL OR BETTER CONDITIONS AND APPROVED BY THE UTILITY COMPANY REPRESENTATIVES AT NO ADDITIONAL COST TO THE CITY OR THE ENGINEER.
- IN THE EVENT OF ANY UNFORESEEN CONDITION NOT COVERED BY THESE PLANS AND SPECIFICATIONS ARE ENCOUNTERED DURING CONSTRUCTION, THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED TO PROVIDE DIRECTION TO THE CONTRACTOR.
- UNLESS SPECIFIED OTHERWISE, THE CONTRACTOR SHALL REPAIR OR REPLACE ALL EXISTING STRUCTURES, FENCES, MAILBOXES, TREES, LANDSCAPING DRIVEWAYS OR ANY OTHER PRIVATE PROPERTY THAT BECOMES DAMAGED OR REMOVED BY THE CONTRACTOR DURING CONSTRUCTION TO ORIGINAL CONDITION OR BETTER.
- THE CONTRACTOR SHALL MAINTAIN ALL ADJACENT STREETS, CURBS AND GUTTERS, SWALES, SIDEWALKS, OR ANY OTHER PUBLICLY OR PRIVATELY OWNED PROPERTY WITHIN THE PROJECT LIMITS IN A CLEAN, SAFE, AND USABLE CONDITION. ALL SOIL, ROCKS EQUIPMENT AND MATERIALS AND/OR OTHER CONSTRUCTION DEBRIS SHALL BE PROMPTLY REMOVED AND DISPOSED OF BY THE CONTRACTOR DURING CONSTRUCTION AND AT THE COMPLETION OF THE PROJECT.
- PRIOR TO THE PRE-CONSTRUCTION MEETING, THE CONTRACTOR SHALL PREPARE AND SUBMIT THEIR PROPOSED CONSTRUCTION SCHEDULE, TRAFFIC CONTROL PLAN, DUST ABATEMENT PROGRAM, AND CONSTRUCTION CLEAN UP PLAN TO THE CITY AND ENGINEER. NO WORK SHALL BEGIN UNTIL AFOREMENTIONED INFORMATION HAS BEEN APPROVED BY THE CITY.
- UNLESS APPROVED BY THE CITY AND THE ENGINEER, THE CONTRACTOR SHALL ADHERE TO THEIR SUBMITTED CONSTRUCTION SCHEDULE.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING ALL APPROVED TRAFFIC CONTROL DEVICES, DETOURED ROUTES, AND FLAGGING OPERATIONS IN ACCORDANCE TO THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) ON A DAILY BASIS INCLUDING WEEKENDS AND HOLIDAYS. ANY MODIFICATIONS TO THE APPROVED TRAFFIC CONTROL PLAN SHALL BE APPROVED BY THE CITY PRIOR TO IMPLEMENTATION.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING THE APPROVED DUST ABATEMENT PROGRAM ON A DAILY BASIS INCLUDING WEEKENDS AND HOLIDAYS.
- UNLESS SPECIFIED OTHERWISE, THE CONTRACTOR SHALL COORDINATE WITH ALL LOCAL SOLID WASTE MANAGERS AND PROVIDE TEMPORARY PROVISIONS FOR ALL LOCAL SOLID WASTE PERSONNEL AND EQUIPMENT TO ACCESS TRASH AND RECYCLING RECEPTACLES BELONGING TO ALL AFFECTED RESIDENTS AND BUSINESSES WITHIN PROJECT LIMITS UNTIL THE CLOSE OF THE PROJECT.
- UNLESS SPECIFIED OTHERWISE, THE CONTRACTOR SHALL COORDINATE WITH ALL SCHOOL DISTRICT TRANSPORTATION DIRECTORS AND PROVIDE TEMPORARY PROVISIONS FOR ALTERNATIVE BUS ROUTES WITHIN PROJECT LIMITS UNTIL THE CLOSE OF THE PROJECT.
- UNLESS SPECIFIED OTHERWISE, THE CONTRACTOR SHALL COORDINATE WITH THE LOCAL POST MASTER AND PROVIDE TEMPORARY PROVISIONS FOR TEMPORARY MAIL DELIVERY ROUTES WITHIN PROJECT LIMITS UNTIL THE CLOSE OF THE PROJECT.
- UNLESS SPECIFIED OTHERWISE, STRIPING IS NOT PART OF THE PROJECT SCOPE.
- THE EXISTENCE AND LOCATION OF PROPERTY, EASEMENT AND RIGHT-OF-WAY LINES SHOWN HEREIN ARE APPROXIMATE AND BASED ON THE BEST AVAILABLE INFORMATION. THEY ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY AND THE CITY AND ENGINEER BEARS NO RESPONSIBILITY FOR LINES NOT SHOWN ON THESE PLANS OR NOT IN THE LOCATION SHOWN HEREON.
- ALL BACKFILL SLOPES BEHIND NEW CURB AND GUTTER, SIDEWALK, OR OTHER IMPROVEMENTS SHALL BE A MAXIMUM OF 3:1 AND SHALL BE INSTALLED WITH LIME MATERIALS.
- ALL OTHER DISTURBED AREAS SHALL BE HYDROSEEDING WITH AN APPROPRIATE MIXTURE AS APPROVED BY THE CITY ENGINEER UNLESS OTHERWISE NOTED HEREON.
- ALL DAMAGED IRRIGATION SYSTEMS SHALL BE REPAIRED IN KIND AND APPROVED BY THE CITY ENGINEER PRIOR TO ACCEPTANCE. ANY EXISTING SWALES THAT ARE DISTURBED, RE-GRADED, OR EXTENDED SHALL HAVE THE EXISTING IRRIGATION SYSTEM REPAIRED AND/OR ALTERED TO ACCOMMODATE THE NEW SWALE.
- ALL DRIVEWAY AND URBAN APPROACH LOCATIONS SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO CONSTRUCTION OF CURB AND GUTTER.
- CURB STRING LINE SHALL BE APPROVED BY THE CITY ENGINEER AND THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION OF CURB AND GUTTER OR SIDEWALK.
- A SEPARATE PLUMBING PERMIT IS REQUIRED FOR INSTALLATION OF PRIVATE SEWER. CONTRACTOR IS REQUIRED TO SECURE SAID PERMIT PRIOR TO CONSTRUCTION OF SAID SEWER INFRASTRUCTURE.
- THE INTENT OF THE DESIGN PLANS AND CALCULATIONS CONTAINED HEREIN IS TO COMPLY WITH THE REQUIREMENTS OF THE 2010 ADA STANDARDS OF ACCESSIBLE DESIGN. MODIFICATIONS MAY BE NECESSARY BASED ON HELIODECTICAL CONDITIONS TO ENSURE THAT ALL CONSTRUCTION MEETS THESE STANDARDS AS REQUIRED. THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE FAMILIAR WITH THESE STANDARDS AND ARE SOLELY RESPONSIBLE TO WARRANT THAT ALL CONSTRUCTION ACTIVITY IS IN ACCORDANCE WITH THESE STANDARDS.

SUPPLEMENTAL ESC NOTES:

- THE FOLLOWING CONSTRUCTION SEQUENCE SHALL BE FOLLOWED IN ORDER TO BEST MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENTATION CONTROL PROBLEMS:
 - CLEAR AND GRUB SUFFICIENTLY FOR INSTALLATION OF TEMPORARY ESC BMPs;
 - INSTALL TEMPORARY ESC BMPs, CONSTRUCTING SEDIMENT TRAPPING BMPs AS ONE OF THE FIRST STEPS PRIOR TO GRADING;
 - CLEAR, GRUB AND ROUGH GRADE FOR ROADS, TEMPORARY ACCESS POINTS AND UTILITY LOCATIONS;
 - STABILIZE ROADWAY APPROACHES AND TEMPORARY ACCESS POINTS WITH THE APPROPRIATE CONSTRUCTION ENTRY BMP;
 - CLEAR, GRUB AND GRADE INDIVIDUAL LOTS OR GROUPS OF LOTS;
 - TEMPORARILY STABILIZE, THROUGH RE-VEGETATION OR OTHER APPROPRIATE BMPs, LOTS OR GROUPS OF LOTS IN SITUATIONS WHERE SUBSTANTIAL CUT OR FILL SLOPES ARE A RESULT OF THE SITE GRADING;
 - CONSTRUCT ROADS, BUILDINGS, PERMANENT STORMWATER FACILITIES (I.E. INLETS, PONDS, UIC FACILITIES, ETC.);
 - PROTECT ALL PERMANENT STORMWATER FACILITIES UTILIZING THE APPROPRIATE BMPs;
 - INSTALL PERMANENT ESC CONTROLS, WHEN APPLICABLE, AND,
 - REMOVE TEMPORARY ESC CONTROLS WHEN:
 - PERMANENT ESC CONTROLS, WHEN APPLICABLE, HAVE BEEN COMPLETELY INSTALLED;
 - ALL LAND-DISTURBING ACTIVITIES THAT HAVE THE POTENTIAL TO CAUSE EROSION OR SEDIMENTATION PROBLEMS HAVE CEASED; AND,
 - VEGETATION HAS BEEN ESTABLISHED IN THE AREAS NOTED AS REQUIRING VEGETATION ON THE ACCEPTED ESC PLAN ON FILE WITH THE LOCAL JURISDICTION.
- INSPECT ALL ROADWAYS, AT THE END OF EACH DAY, ADJACENT TO THE CONSTRUCTION ACCESS ROUTE. IF IT IS EVIDENT THAT SEDIMENT HAS BEEN TRACKED OFF SITE AND/OR BEYOND THE ROADWAY APPROACH, CLEANING IS REQUIRED.
- IF SEDIMENT REMOVAL IS NECESSARY PRIOR TO STREET WASHING, IT SHALL BE REMOVED BY SHOVELING OR PICKUP SWEEPING AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA.
- IF STREET WASHING IS REQUIRED TO CLEAN SEDIMENT TRACKED OFF SITE, ONCE SEDIMENT HAS BEEN REMOVED, STREET WASH WASTEWATER SHALL BE CONTROLLED BY PUMPING BACK ON-SITE OR OTHERWISE PREVENTED FROM DISCHARGING INTO SYSTEMS TRIBUTARY TO WATERS OF THE STATE.
- RESTORE CONSTRUCTION ACCESS ROUTE EQUAL TO OR BETTER THAN THE PRE-CONSTRUCTION CONDITION.
- RETAIN THE DUFF LAYER, NATIVE TOPSOIL, AND NATURAL VEGETATION IN AN UNDISTURBED STATE TO THE MAXIMUM EXTENT PRACTICAL.
- INSPECT SEDIMENT CONTROL BMPs WEEKLY AT A MINIMUM, DAILY DURING A STORM EVENT, AND AFTER ANY DISCHARGE FROM THE SITE (STORMWATER OR NON-STORMWATER). THE INSPECTION FREQUENCY MAY BE REDUCED TO ONCE A MONTH IF THE SITE IS STABILIZED AND INACTIVE.
- CONTROL FUGITIVE DUST FROM CONSTRUCTION ACTIVITY IN ACCORDANCE WITH THE STATE AND/OR LOCAL AIR QUALITY CONTROL AUTHORITIES WITH JURISDICTION OVER THE PROJECT AREA. A WATER TRUCK SHALL BE AVAILABLE FOR DUST CONTROL DURING CONSTRUCTION AS NEEDED.
- STABILIZE EXPOSED UNWORKED SOILS (INCLUDING STOCKPILES), WHETHER AT FINAL GRADE OR NOT, WITHIN 10 DAYS DURING THE REGIONAL DRY SEASON (JULY 1 THROUGH SEPTEMBER 30) AND WITHIN 5 DAYS DURING THE REGIONAL WET SEASON (OCTOBER 1 THROUGH JUNE 30). SOILS MUST BE STABILIZED AT THE END OF A SHIFT BEFORE A HOLIDAY WEEKEND IF NEEDED BASED ON THE WEATHER FORECAST. THIS TIME LIMIT MAY ONLY BE ADJUSTED BY A LOCAL JURISDICTION WITH A "QUALIFIED LOCAL PROGRAM" IF IT CAN BE DEMONSTRATED THAT THE RECENT PRECIPITATION JUSTIFIES A DIFFERENT STANDARD AND MEETS THE REQUIREMENTS SET FORTH IN THE CONSTRUCTION STORMWATER GENERAL PERMIT.
- PROTECT INLETS, DRYWELLS, CATCH BASINS AND OTHER STORMWATER MANAGEMENT FACILITIES FROM SEDIMENT, WHETHER OR NOT FACILITIES ARE OPERABLE.
- KEEP ROADS ADJACENT TO INLETS CLEAN.
- INSPECT INLETS WEEKLY AT A MINIMUM AND DAILY DURING STORM EVENTS.
- CONSTRUCT STORMWATER CONTROL FACILITIES (DETENTION/RETENTION STORAGE POND OR SWALES) BEFORE GRADING BEGINS. THESE FACILITIES SHALL BE OPERATIONAL BEFORE THE CONSTRUCTION OF IMPERVIOUS SITE IMPROVEMENTS.
- STOCKPILE MATERIALS (SUCH AS TOPSOIL) ON SITE, KEEPING OFF OF ROADWAY AND SIDEWALKS.
- COVER, CONTAIN AND PROTECT ALL CHEMICALS, LIQUID PRODUCTS, PETROLEUM PRODUCT, AND NON-HAZARDOUS WASTES PRESENT ON SITE FROM VANDALISM, USE SECONDARY CONTAINMENT FOR ON-SITE FUELING TANKS.
- CONDUCT MAINTENANCE AND REPAIR OF HEAVY EQUIPMENT AND VEHICLES INVOLVING OIL CHANGES, HYDRAULIC SYSTEM REPAIRS, SOLVENT AND DE-GREASING OPERATIONS, FUEL TANK DRAIN DOWN AND REMOVAL, AND OTHER ACTIVITIES THAT MAY RESULT IN DISCHARGE OR SPILLAGE OF POLLUTANTS TO THE GROUND OR INTO STORMWATER RUNOFF USING SPILL PREVENTION MEASURES, SUCH AS DRIP PANS. CLEAN ALL CONTAMINATED SURFACES IMMEDIATELY FOLLOWING ANY DISCHARGE OR SPILL INCIDENT; IF RAINING OVER EQUIPMENT OR VEHICLE, PERFORM EMERGENCY REPAIRS ON SITE USING TEMPORARY PLASTIC BENEATH THE VEHICLE.
- CONDUCT APPLICATION OF AGRICULTURAL CHEMICALS, INCLUDING FERTILIZERS AND PESTICIDES, IN SUCH A MANNER, AND AT APPLICATION RATES, THAT INHIBITS THE LOSS OF CHEMICALS INTO STORMWATER RUNOFF FACILITIES. AMEND MANUFACTURER'S RECOMMENDED APPLICATION RATES AND PROCEDURES TO MEET THIS REQUIREMENT, IF NECESSARY.
- INSPECT ON A REGULAR BASIS (AT A MINIMUM WEEKLY AND DAILY DURING/ AFTER A RUNOFF PRODUCING STORM EVENT) AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMPs TO ENSURE SUCCESSFUL PERFORMANCE OF THE BMPs. NOTE THAT INLET PROTECTION DEVICES SHALL BE CLEANED OR REMOVED AND REPLACED BEFORE SIX INCHES OF SEDIMENT CAN ACCUMULATE.
- REMOVE TEMPORARY ESC BMPs WITHIN 30 DAYS AFTER THE TEMPORARY BMPs ARE NO LONGER NEEDED. PERMANENTLY STABILIZE AREAS THAT ARE DISTURBED DURING THE REMOVAL PROCESS.

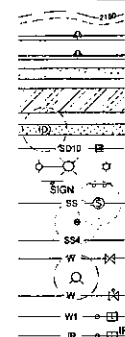
SEWER & WATER LEGEND

CL	CENTERLINE	STA	STATION
INTX	INTERSECTION OF STREET CENTERLINES	INV IN	INVERT ELEVATION IN
TFP	TYPICAL FINISHED SURFACE ELEVATION	INV OUT	INVERT ELEVATION OUT
RS	FINISHED SURFACE ELEVATION	PRV	PRESSURE REDUCING VALVE
ELEV.	ELEVATION	AC	ASBESTOS CEMENT
(EP)	EXISTING EDGE OF PAVEMENT ELEVATION	TB	THRUST BLOCK
EX	EXISTING	S	SLOPE
R/W	RIGHT OF WAY	L	LENGTH
MN	MANHOLE	TP	TOP OF PIPE

STREET & STORM DRAINAGE LEGEND

TBC	TOP BACK OF CURB	FG	FINISHED GRADE ELEVATION
FL	FLOW LINE	FS	FINISHED SURFACE ELEVATION
BCR	BEGINNING OF CURB RETURN	EL	ELEVATION
ECR	END OF CURB RETURN	EP	EDGE OF PAVEMENT
MOC	MIDDLE OF CURVE	TFP	TOP FACE OF CURB
HP	HIGH POINT	ST LT	STREET LIGHT
LP	LOW POINT	OG	ORIGINAL GRADE
GB	GRADE BREAK	SDDW	SINGLE DEPTH DRYWELL
CL	CENTERLINE	DDDW	DOUBLE DEPTH DRYWELL
INTX	INTERSECTION OF STREET CENTERLINES	GWA	GRASSY WET TRAP AREA
TFP	TYPICAL	PL	PROPERTY LINE
PRC	POINT OF REVERSING CURVES	TOC	TOP OF CONCRETE AT UP OF APPROACH
TFP	TOP FACE OF PATH/TRAIL	TBC	TOP BACK OF PATH/TRAIL

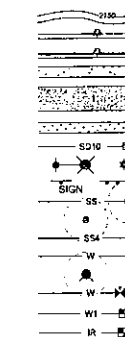
EXISTING



LEGEND

- EXISTING CONTOURS
- EXISTING ROLLED CURB WITH CURB CUT
- EXISTING STANDARD CURB WITH CURB CUT
- EXISTING SIDEWALK
- EXISTING PAVEMENT
- EXISTING GRASSY SWALE WITH DRYWELL
- EXISTING CATCH BASIN & STORM PIPE
- EXISTING STREET LIGHT
- EXISTING STREET SIGNS
- EXISTING SEWER MAIN & MANHOLE
- EXISTING SEWER CLEAN OUT
- EXISTING SEWER SERVICE
- EXISTING WATER MAIN & VALVE
- EXISTING FIRE HYDRANT
- EXISTING BLOW OFF ASSEMBLY
- EXISTING WATER METER & SERVICE
- EXISTING IRRIGATION METER & SERVICE

PROPOSED

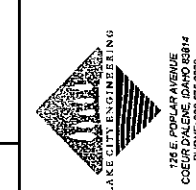


SURVEYING NOTES

- THE EXISTENCE AND LOCATION OF MONUMENTS, PROPERTY, EASEMENT AND RIGHT-OF-WAY LINES SHOWN HEREIN ARE APPROXIMATE AND BASED ON BEST AVAILABLE INFORMATION AND FIELD RESEARCH. THEY ARE PROVIDED FOR THE CONTRACTOR ONLY AND THE CITY AND ENGINEER BEARS NO RESPONSIBILITY FOR LINES NOT SHOWN ON THESE PLANS OR LINES NOT IN THE LOCATION SHOWN HEREIN.
- CONTRACTOR SHALL MAKE PROVISIONS TO RETAIN AND PROTECT ALL EXISTING SURVEY CONTROL, CONSTRUCTION STAKES, SURVEY MONUMENTS AND PROPERTY PINS. ANY RE-STAKING SHALL BE AT CONTRACTOR'S EXPENSE. ALL DISTURBED SURVEY MONUMENTS AND PROPERTY PINS SHALL BE REPLACED PER IDAHO CODE BY THE CONTRACTOR'S LICENSED SURVEYOR AT THE CONTRACTOR'S EXPENSE.
- A SEARCH OF AVAILABLE RECORDS AND FIELD RESEARCH WAS CONDUCTED TO LOCATE EXISTING SURVEY MONUMENTS, PROPERTY CORNERS, AND PLSS MONUMENTS WITHIN THE PROJECT LIMITS. LOCATIONS OF SUCH EXISTING ARE SHOWN HEREON FOR REFERENCE. ANY EXISTING MONUMENTS THAT WILL BE LOST OR DISTURBED DURING THE COURSE OF CONSTRUCTION MUST BE RE-ESTABLISHED PER THE REQUIREMENTS OF IDAHO CODE 55-1813 AT THE CONTRACTOR'S EXPENSE. EXISTING MONUMENTS MUST BE PRESERVED AND PROTECTED, TO THE EXTENT POSSIBLE, DURING CONSTRUCTION.

REVISION BLOCK

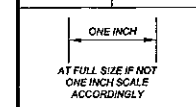
NO.	DESCRIPTION	DATE



2/18/20

ALDER CREEK COMMERCIAL LOTS 6 & 7

PROJECT SPECIFICATIONS
PONDERAY, IDAHO



DESIGNED BY:	DCD
DRAFTED BY:	GDH/PLM
DATE:	2/18/2020
JOB NO.:	LCE 19-007.1

UNDERGROUND SERVICE ALERT

ONE-CALL NUMBER

811

CALL TWO BUSINESS DAYS BEFORE YOU DIG

4

5

