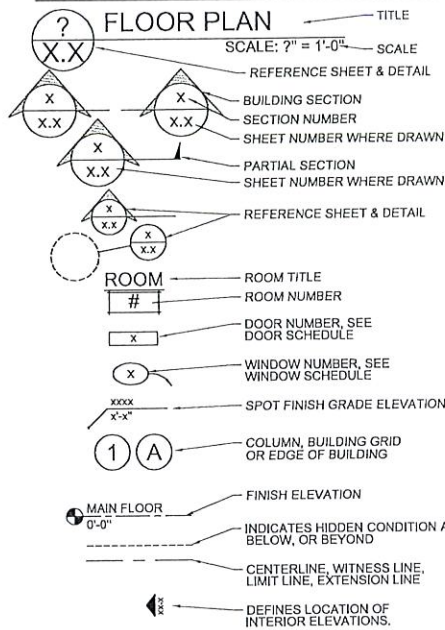


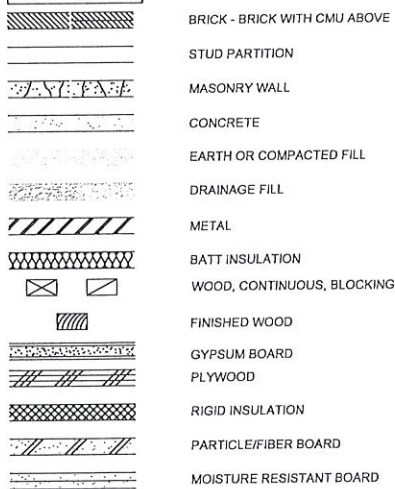
SCHEDULE OF SYMBOLS & MATERIALS



SCHEDULE OF ABBREVIATIONS

- A.B. ANCHOR BOLT
- A.F.F. ABOVE FINISHED FLOOR
- ALUM. ALUMINUM
- ARCH. ARCHITECTURAL
- BLDG. BUILDING
- B.O. BOTTOM OF
- BRG. BEARING
- C. CENTER LINE
- CFM. CUBIC FEET PER MINUTE
- C.J. CONTROL JOINT
- CMU. CONCRETE MASONRY UNITS
- COL. COLUMN
- CONC. CONCRETE
- COND. CONDITION
- CONT. CONTINUOUS
- CYL. CYLINDER
- DIA. DIAMETER
- EA. EACH
- ELEV. ELEVATION
- E.I.F.S. EXTERIOR INSULATING FINISH SYSTEM
- EQ. EQUAL
- E.W. EACH WAY
- FDN. FOUNDATION
- F.O.C. FACE OF CURB/CONCRETE
- F.O.M. FACE OF MASONRY
- F.F. FINISHED FLOOR
- FT. FEET
- FTG. FOOTING
- FR. FIRE-RETARDANT WOOD TREATMENT
- G. GAUGE
- GALV. GALVANIZED
- G.I. GALVANIZED IRON OR STEEL
- G.L.B. GLUE LAMINATED BEAM
- G.W.B. GYPSUM WALL BOARD
- H.C.A. HEADED CONCRETE ANCHOR
- H.M. HOLLOW METAL
- HORIZ. HORIZONTAL
- HT. HEIGHT
- HVAC HEATING VENTILATING AND AIR CONDITIONING
- I.D. INSIDE DIMENSION
- IN. INCH
- LBS. POUNDS
- MAX. MAXIMUM
- MFR. MANUFACTURER
- MIN. MINIMUM
- MISC. MISCELLANEOUS
- M.O. MASONRY OPENING
- MTD. MOUNTED
- N.I.C. NOT IN CONTRACT
- NO. NUMBER
- NTS. NOT TO SCALE
- ON C. ON CENTER
- O.D. OUTSIDE DIMENSION
- OPNG. OPENING
- OPP. OPPOSITE
- O.S.B. ORIENTED STRAND BOARD
- PLTFM. PLATFORM
- PL. PLATE
- P.L.F. POUNDS PER LINEAL FOOT
- P.S.F. POUNDS PER SQUARE FOOT
- P.S.I. POUNDS PER SQUARE INCH
- RE. REFER TO, REFERENCE FROM
- REINF. REINFORCING
- REQD. REQUIRED
- R.O. ROUGH OPENING
- SCU. STRUCTURAL CLAY UNIT
- SIM. SIMILAR
- SPECS. SPECIFICATIONS
- STD. STANDARD
- STL. STEEL
- STRUC. STRUCTURAL
- SQ. SQUARE
- T & G TONGUE & GROOVE
- T.O.C. TOP OF CURB/CONCRETE
- T.O. TOP OF
- T.D. TYPICAL DRAIN
- TYP. TYPICAL
- VERT. VERTICAL
- U.D.L. UNIFORM DISTRIBUTED LOAD
- W. WEATHERPROOF
- W.P. WELDED WIRE FABRIC
- W.W.F. WELDED WIRE FABRIC

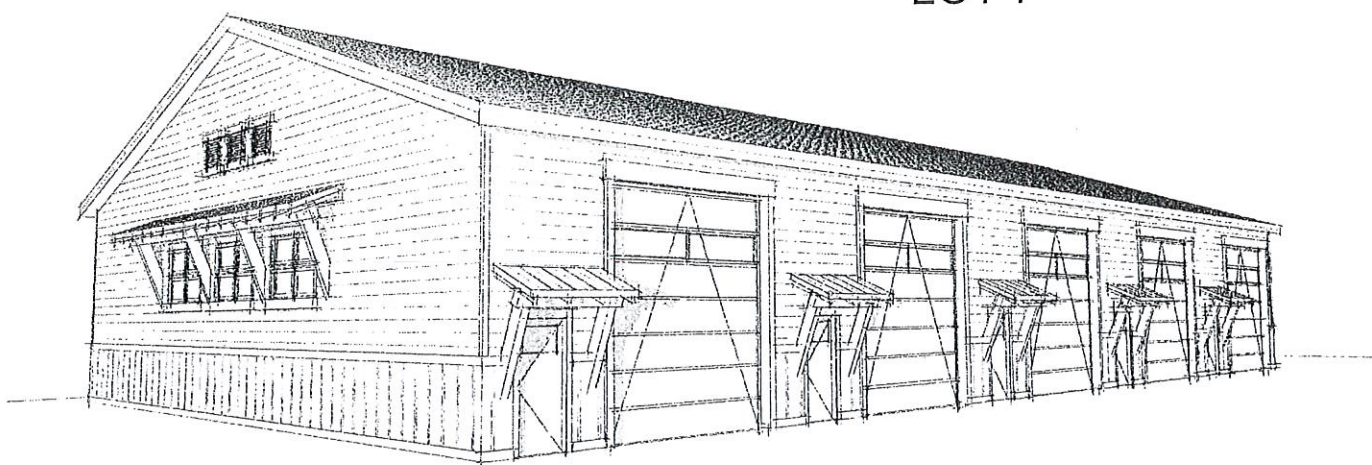
MATERIALS



ALDER CREEK COMMERCIAL

PONDERAY, ID 83864

LOT 7



GENERAL NOTES

1. THE DRAWINGS INDICATE LOCATION, DIMENSIONS, REFERENCE AND TYPICAL DETAILS OF CONSTRUCTION. THE DRAWINGS DO NOT INDICATE EVERY CONDITION. WORK NOT PARTICULARLY DETAILED SHALL BE OF CONSTRUCTION SIMILAR TO PARTS THAT ARE DETAILED.
2. DO NOT SCALE DRAWINGS.
3. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS. WHERE DISCREPANCIES OCCUR, THEY SHALL BE REPORTED TO ARCHITECT FOR RESOLUTION.
4. DETAILED DRAWINGS AND LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
5. CONCRETE AND BRICK DIMENSIONS ARE GIVEN TO THE FACE OF CONCRETE OR MASONRY AND TO THE FACE OF ROUGH OPENINGS.
6. PARTITION DIMENSIONS ARE GIVEN TO THE FACE OF STUD UNLESS OTHERWISE NOTED.
7. DOOR OPENING LOCATIONS ARE DIMENSIONED TO ROUGH OPENING OR CENTERLINE OF OPENING.
8. WHERE NO MATERIAL NOTES OCCUR, THE GRAPHIC MATERIAL INDICATION SHALL INDICATE MATERIAL TYPES AND ITEMS. SEE SYMBOL AND MATERIALS LIST ON THIS SHEET.
9. ALL NEW CONSTRUCTION TO COMPLY WITH THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG), AND ICC/ANSI A117.1-2009
10. PROVIDE LANDINGS AND FLOOR LEVELS AT DOORS THAT COMPLY WITH THE CURRENT BUILDING CODE.
11. UNLESS OTHERWISE INDICATED ALL DRAWINGS, NOTES WHICH DO NOT READ "N.I.C.", "EXISTING", OR "EXISTING TO REMAIN", OR "BY OTHERS" SHALL INDICATE NEW WORK WHICH SHALL BE CONTRACTOR FURNISHED AND CONTRACTOR INSTALLED.
12. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE WRITTEN MANUFACTURER'S INSTRUCTIONS
13. THE GENERAL CONTRACTOR SHALL KEEP ALL AREAS OF CONSTRUCTION CLEAN AND FREE OF DEBRIS. AFTER CONSTRUCTION IS COMPLETE, THE GENERAL CONTRACTOR SHALL PROVIDE FINAL CLEAN UP.
14. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS FOR ACCURACY PRIOR TO COMMENCING WITH THE WORK. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
15. PENETRATIONS THROUGH RATED ASSEMBLIES SHALL BE FIRE STOPPED IN ACCORDANCE WITH THE BUILDING CODE.
16. EXIT SIGNAGE SHALL BE EXTERNALLY OR INTERNALLY ILLUMINATED BY PREMISES WIRING & BACKUP BATTERIES & SHALL BE IN COMPLIANCE WITH BUILDING CODES
17. PROVIDE BLOCKING AS REQUIRED FOR ALL AREAS TO RECEIVE FUTURE CASEWORK AND WALL-ATTACHED ITEMS AS INDICATED IN PLANS
18. ALL EXITS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL EFFORT. ENTRY DOORS MUST REMAIN UNLOCKED DURING BUSINESS HOURS.
19. ALL DOOR HARDWARE SHALL BE COMPLIANT WITH ICC/ANSI 117.1-2009, SECTION 404.2.7.
20. ALL ACCESSIBLE DOORS MUST PROVIDE 32" CLEAR WIDTH WHEN DOOR IS OPEN TO 90 DEGREES
21. DOOR THRESHOLDS TO BE MAX. 1/2" HIGH AND COMPLY WITH ICC/ANSI A117.1-2009
22. LIGHTING CONTROLS, ELECTRICAL SWITCHES AND RECEPTACLES, ENVIRONMENTAL CONTROLS, APPLIANCE CONTROLS, OPERATING HARDWARE FOR OPERABLE WINDOWS, AND PLUMBING FIXTURE CONTROLS SHALL COMPLY WITH ICC/ANSI A117.1, SECTION 309, AND HEIGHT / REACH RANGE REQUIREMENTS IN SECTION 408.
23. INTERIOR NON-BEARING WALLS SHALL BE HELD DOWN TO ALLOW ROOF TRUSS DEFLECTION WITHOUT LOADING THE WALL. PROVIDE FIRE EXTINGUISHER CABINETS AND/OR FIRE EXTINGUISHERS PER THE CURRENT INTERNATIONAL FIRE CODE AND THE AUTHORITY HAVING JURISDICTION
24. WOOD MEMBERS IN CONTACT WITH EXTERIOR CONCRETE SHALL BE PRESSURE TREATED.
25. FIRE STOPPING SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:
 - CONCEALED SPACE IN STUD WALLS & PARTITIONS INCLUDING FURRED SPACES
 - CEILING AND FLOOR LEVELS
 - 12" FOOT INTERVALS HORIZONTALLY ALONG THE LENGTH OF ALL WALLS
 - ALL INTERSECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES AS OCCUR AT SOFFITS, DROP CEILING AND COVERED CEILING.
 - IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS, WITH NON-COMBUSTIBLE MATERIALS.
26. ALL INSULATION MATERIALS INCLUDING FACING, SUCH AS VAPOR BARRIER OR BREATHER PAPERS INSTALLED WITHIN FLOOR-CEILING ASSEMBLIES, ROOF-CEILING ASSEMBLIES, WALLS, CRAWL SPACES OR ATTICS SHALL HAVE A FLAME SPREAD RATING NOT TO EXCEED 450 AND A SMOKE DENSITY NOT TO EXCEED 450.
27. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES, TRANSFORMERS AND UTILITIES UNDERGROUND WITH APPLICABLE UTILITY COMPANIES.
28. SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR COORDINATION OF THEIR WORK WITH THE WORK OF OTHERS. SUB-CONTRACTORS SHALL VERIFY THAT ANY WORK RELATED TO THEM, WHICH MUST BE PROVIDED BY OTHERS, HAS BEEN COMPLETED AND IS ADEQUATE PRIOR TO COMMENCING THEIR WORK.
29. VERIFY ALL EXISTING CONDITIONS AT THE JOB SITE PRIOR TO BIDDING.
30. SHOULD CONFLICTS OCCUR IN OR BETWEEN DRAWINGS AND/OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE ARCHITECT FOR VERIFICATION.
31. PROVIDE SOLID BLOCKING AT ALL DOOR STOPS, HANDRAILS AND TOILET ROOM ACCESSORIES, ETC.
32. ALL WORK NOT DETAILED OR NOTED SHALL BE CONSTRUCTED IN ACCORDANCE WITH OTHER SIMILAR WORK SHOWN ON THE DRAWINGS AND TYPICAL DETAILS.
33. CONTRACTOR SHALL COORDINATE DIMENSIONS, LOCATIONS, AND SIZES OF OPENINGS IN FLOOR AND WALLS WITH ARCHITECTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS.
34. THE GENERAL CONTRACTOR SHALL INSTALL ADDRESS NUMBERS IN ACCORDANCE WITH LOCAL CODE AND IBC PRIOR TO REQUESTING FINAL INSPECTION.
35. THE GENERAL CONTRACTOR SHALL KEEP A FULL SIZE SET OF DRAWINGS ON SITE AND NOTE ALL DEVIATIONS TO THE CONSTRUCTION DRAWINGS. CONSTRUCTION MARKUPS SHALL BE TRANSCRIBED ONTO A CLEAN SET OF DRAWINGS AND BECOME THE PROJECT'S RECORD DRAWINGS. THE RECORD DRAWINGS SHALL BE TURNED OVER TO THE OWNER PRIOR TO FINAL PAYMENT.

SCHEDULE OF DRAWINGS

- CS-1 COVER SHEET
- AS-1 SITE PLAN
- A1.0 FOUNDATION PLAN
- A2.0 MAIN FLOOR PLAN
- A3.0 BRACED WALL PANEL PLAN
- A4.0 REFLECTED CEILING PLAN
- A5.0 EXTERIOR ELEVATIONS
- A6.0 ROOF PLAN
- A7.0 BUILDING SECTION
- A8.0 SCHEDULES
- D1.0 DETAILS

PROJECT TEAM

ARCHITECT: D'ZIGN GROUP ARCHITECTURE, LLP
 DAVID L. SHRONTZ, ARCHITECT
 21 COMMERCE DRIVE SUITE A
 HAYDEN, ID 83835
 208.699.4977
 dave@dzigarch.com

STRUCTURAL ENGINEER: TATE ENGINEERING, INC
 417 E INDIANA AVE
 COEUR D'ALENE, ID 83814
 208.676.8708

CODE ANALYSIS

2015 INTERNATIONAL BUILDING CODE
 2015 INTERNATIONAL EXISTING BUILD CODE
 2012 INTERNATIONAL MECHANICAL CODE
 2017 IDAHO STATE PLUMBING CODE
 2012 INTERNATIONAL FUEL GAS CODE
 2017 NATIONAL ELECTRICAL CODE
 2015 INTERNATIONAL ENERGY CONSERVATION CODE
 2015 INTERNATIONAL FIRE CODE
 2009 ICC/ANSI A117.1

THE STATE OF IDAHO DIVISION OF BUILDING SAFETY GOVERNS ELECTRICAL AND HVAC WORK

GROUP S OCCUPANCY
 TYPE 5-B CONSTRUCTION
 NON SPRINKLERED

SEISMIC ZONE C
 ROOF SNOW LOAD: 60 PSF
 WIND SPEED: 90 MPH NOMINAL, 115 ULTIMATE
 3 SEC WIND GUST
 FROST DEPTH: 24"

PROPOSED BUILDING SIZE: 1 STORY
 PER TABLE 504.4 / 2 STORIES ALLOWED

BUILDING HEIGHT: 27' APPROX.
 PER TABLE 504.3 / 40' ALLOWED

PARCEL# RPP37890010070A

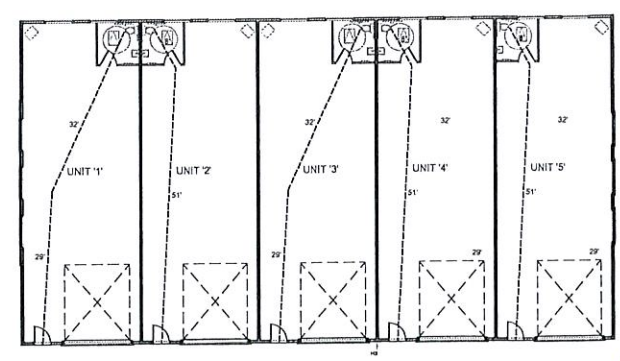
ZONING: COMMERCIAL

LOT SIZE: 0.40 ACRES

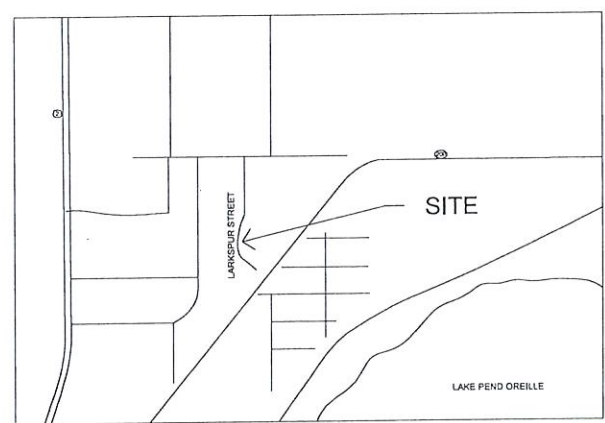
BUILDING SQUARE FOOTAGE: 6,600 SF

OCCUPANT LOAD:
 PER TABLE 1004.1.2 -
 UNIT 1: 1,329 SF / 500 SF PER OCCUPANT 2 OCCUPANTS
 UNIT 2: 1,314 SF / 500 SF PER OCCUPANT 2 OCCUPANTS
 UNIT 3: 1,314 SF / 500 SF PER OCCUPANT 2 OCCUPANTS
 UNIT 4: 1,314 SF / 500 SF PER OCCUPANT 2 OCCUPANTS
 UNIT 5: 1,329 SF / 500 SF PER OCCUPANT 2 OCCUPANTS

PER TABLE 1006.3.2 - 1 EXITS REQUIRED @ EA. UNIT
 1 EXIT PROVIDED AT EACH UNIT
 EXIT ACCESS TRAVEL DISTANCE 75' MAX



2 EGRESS PLAN
 CS-1



1 VICINITY PLAN
 CS-1



SP20-057
RECEIVED
 JAN 28 2020
 PLANNING OFFICE
 CITY OF PONDERAY

ALDER CREEK - COMMERCIAL
 ALDER CREEK BLOCK 1 LOTS 6 & 7
 PONDERAY, ID 83864

REVISIONS:

The Oregon Professional Plumber
 21 Commerce Dr
 Suite 700
 Hayden, Idaho 83835
 208.699.4977

d'Zign group
 ARCHITECTURE

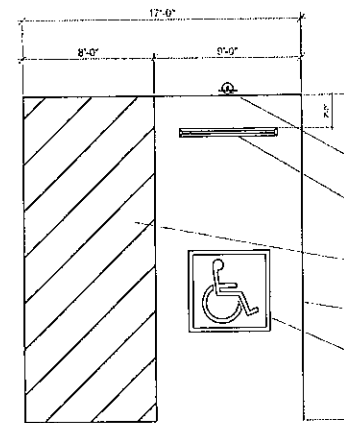
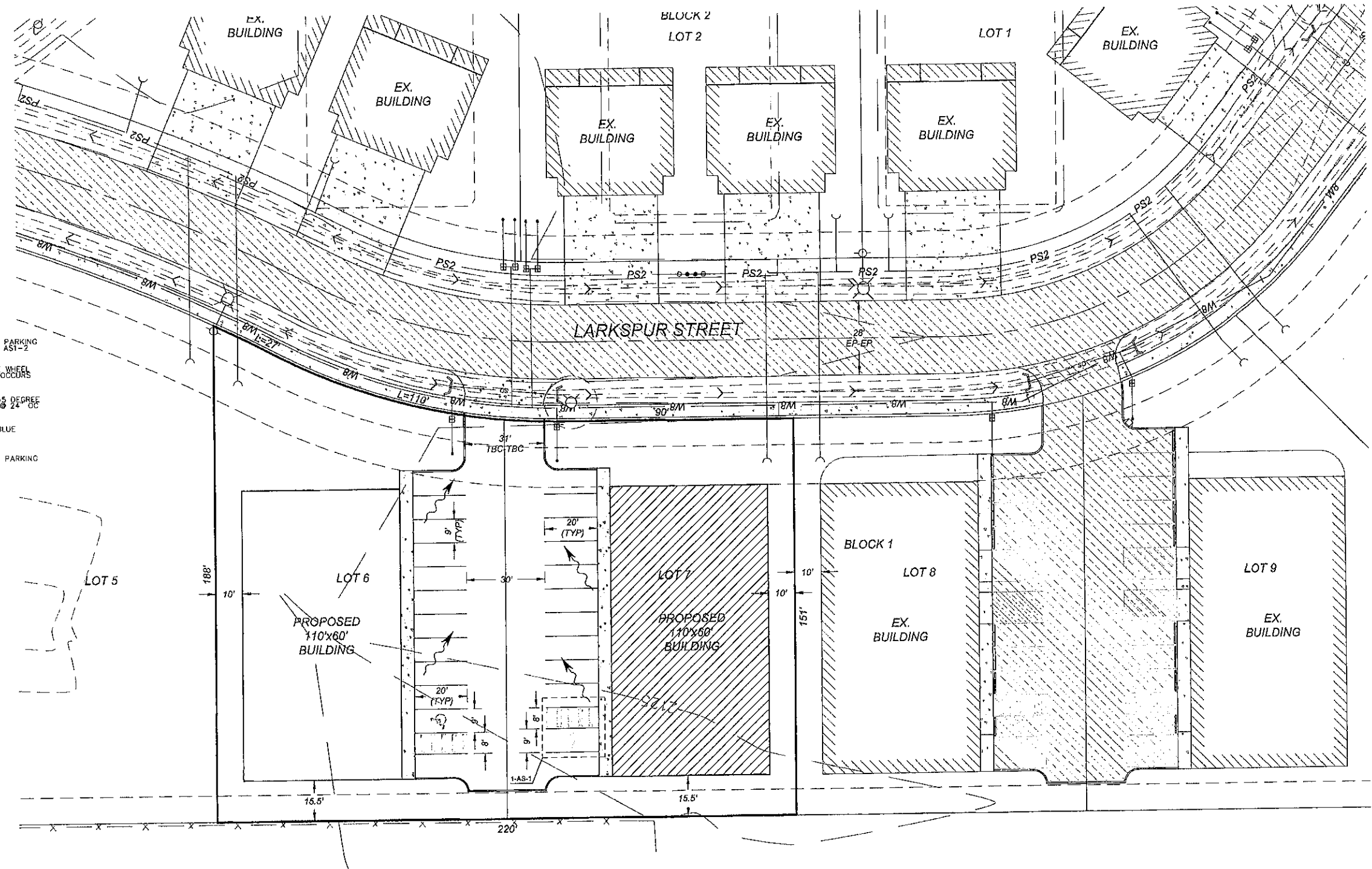
10.13.20
 DAVID L. SHRONTZ
 ARCHITECT

COVER SHEET

CS-1

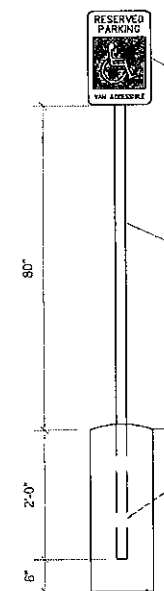
01.13.20

© 2020 D'ZIGN GROUP ARCHITECTURE, LLP



HANDICAP PARKING SIGN, RE: AS1-2
 CONCRETE WHEEL STOP AS OCCURS
 3" WIDE 45 DEGREE STRIPING @ 24" OC
 3" WIDE BLUE STRIPING
 HANDICAP PARKING SYMBOL

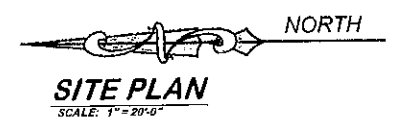
1 ACCESSIBLE STALL
 AS-1 SCALE: 3/16" = 1'-0"



ACCESSIBLE PARKING SIGN TO READ "RESERVED PARKING" W/ IDENTIFICATION SYMBOL (VAN ACCESSIBLE) BOLT TO STEEL TUBE
 STEEL TUBE EXTEND INTO CONC FILLED PIPE 24" PROVIDE WELDED WATER TIGHT CAP.
 TOP OF GRADE
 18" DIA CONC BASE
 NOTE: ACCESSIBLE PARKING SIGN SHALL CONFORM TO CURRENT STATE & LOCAL CODES

2 ACCESSIBLE PARKING SIGN
 AS-1 SCALE: 1" = 1'-0"

PROJECT MATRIX
 ZONING: COMMERCIAL
 # BUILDINGS: 2
 PARCEL No.: RPP37890010060A & RPP37890010070A



REVISIONS:

--	--

The Oregon Professional Plan
 21 Commission Dr
 Suite 100
 Hillsboro, OR 97123
 203.899.4877

d'Zign group
 ARCHITECTURE.

LEADER ARCHITECT
 01.13.20
 SCALE: 1" = 20'-0"

SITE PLAN

AS-1

© 2020 D'ZIGN GROUP ARCHITECTURE, LLP

REVISIONS:

The Oregon
 Professional Plans
 21 Commerce Dr
 Suite 400
 Hillsboro, OR 97123
 503.536.4877

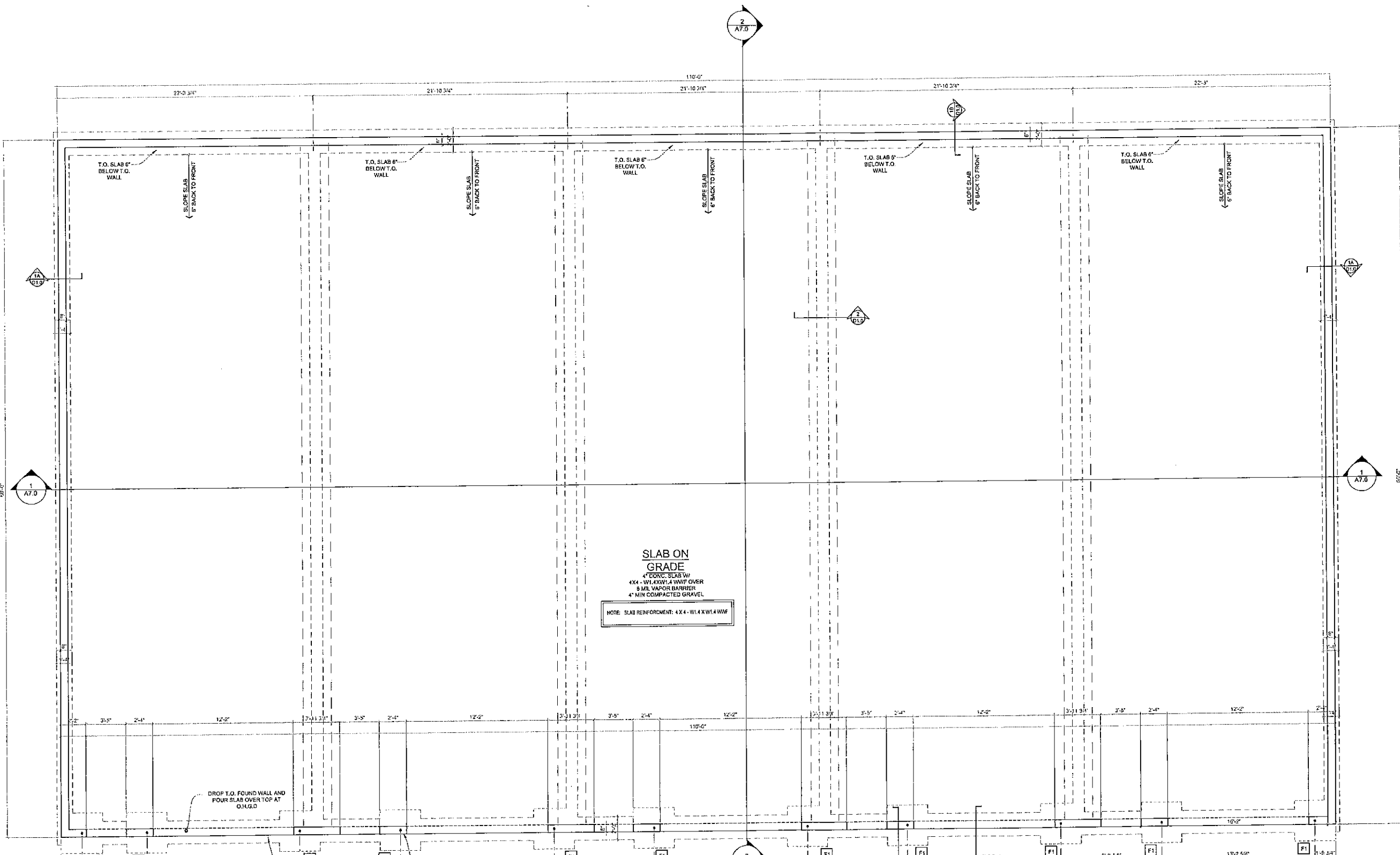
d'Zign group
 ARCHITECTURE

01.13.20
 [Signature]
 [Stamp]

FOUNDATION PLAN

A1.0

01.13.20



SLAB ON GRADE
 4" CONC. SLAB W/
 4X4 - W1.4XW1.4 WWF OVER
 3 MIL VAPOR BARRIER
 4" MIN COMPACTED GRAVEL
 NOTE: SLAB REINFORCEMENT: 4X4 - W1.4 X W1.4 WWF

T.O. SLAB 12" BELOW T.O. WALL, TYP @ FRONT OF BUILDING
 EPOXY SET SIMPSON HD38 HOLD DOWN W/ 5/8 X 12 ANCHOR BOLT (TYP OF 11)

GENERAL NOTES

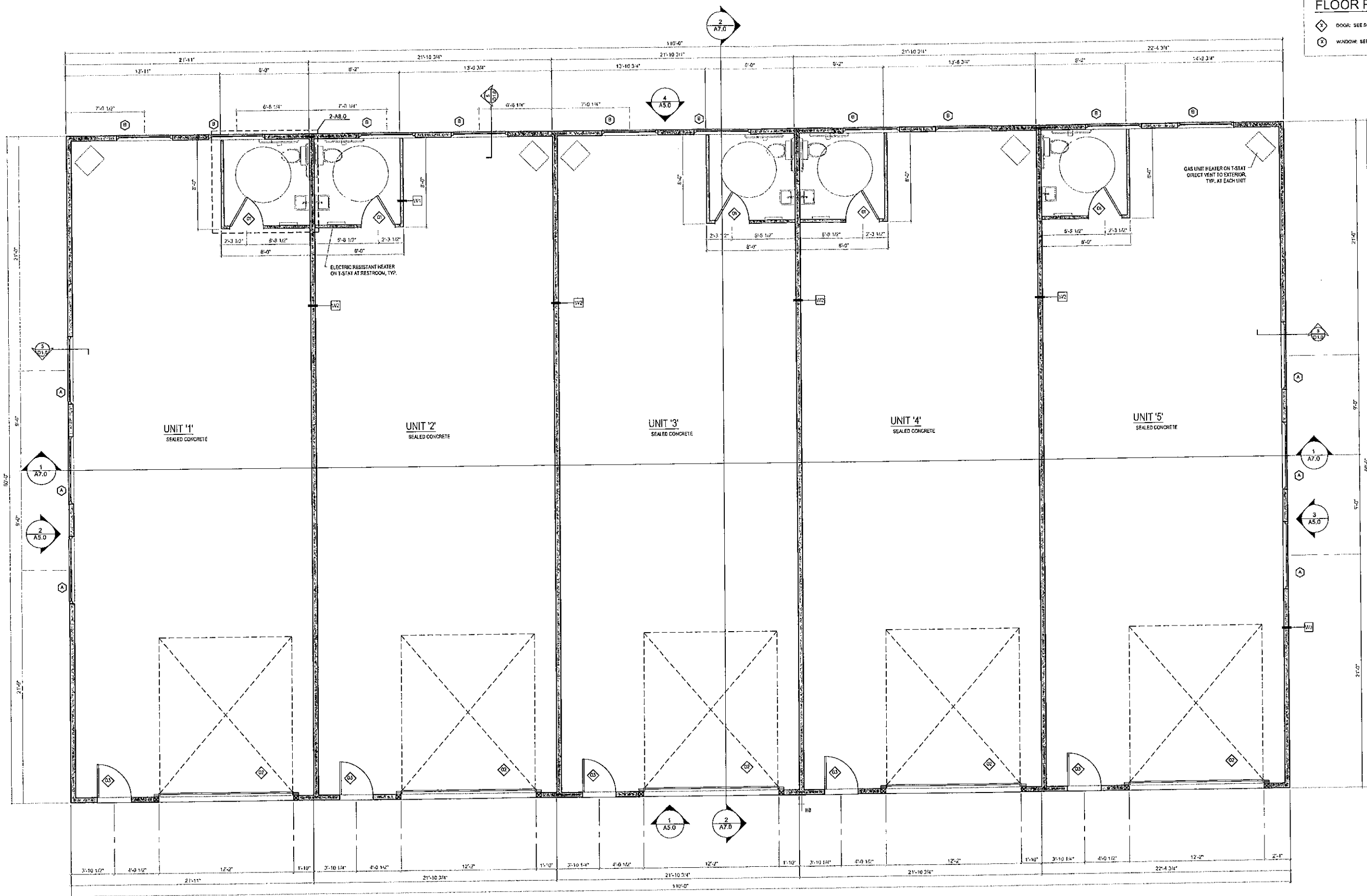
- A. PROVIDE BITUMINOUS DAMP PROOFING ON THE EXTERIOR OF THE FOUNDATION WALL BELOW GRADE. PROVIDE 2 INCH RIGID INSULATION ON THE INSIDE OF THE FOUNDATION WALL FROM TOP OF FOOTING TO BOTTOM OF SLAB EXCEPT AT BASEMENT WALLS.
- B. CONC. TO BE MIN. FC OF 2,500 PSI. REINFORCING STEEL TO MIN. GRADE 40
- C. ALL FOUNDATIONS, FOOTINGS AND PIERS TO MAINTAIN A MINIMUM DEPTH OF 24" BELOW FINISH GRADE.
- D. FOOTINGS AND PIERS TO REST ON UNDISTURBED SOLID SOIL OR COMPACTED STRUCTURAL FILL.
- E. 2X6 PRESSURE TREATED SILL W/ SILL SEALING GASKET TYPICAL AT TOP OF ALL FOUNDATION WALLS WHERE FRAMING OCCURS ABOVE.
- F. INSTALL SILL PLATE W/ 1/2" DIA. X 10" ANCHOR BOLTS EMBEDDED IN CONCRETE 7" MIN. @ 5'-0" O.C. W/ BOLT LOCATED 1'-0" MIN. FROM END OF EACH PIECE.
- G. STEP FOUNDATION WALL AS REQUIRED TO RESPOND TO FINAL SITE GRADING CONDITIONS.
- H. CONTRACTOR TO VERIFY SOIL CONDITIONS DURING EXCAVATION AND NOTIFY DESIGNER OF CONDITIONS PRIOR TO PROCEEDING WITH CONSTRUCTION. SINCE NO GEOTECHNICAL REPORT HAS BEEN PROVIDED, IT WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY SOIL CONDITIONS AND THE PRESENCE OF GROUNDWATER AT TIME OF EXCAVATION.
- I. PROVIDE ACTIVE RADON MITIGATION SYSTEM PER LOCAL JURISDICTION STANDARDS - VERIFY WITH OWNER IF NOT REQUIRED.
- K. IF SOLID ROCK SOIL CONDITIONS EXIST UPON EXCAVATION FOR FOOTINGS, PROVIDE EPOXY SET REBAR INTO ROCK FOR FOOTING STABILITY. REMOVE ALL SOIL FROM ROCK AND ADEQUATELY CLEAN SURFACE PRIOR TO CONCRETE POUR.
- L. PROVIDE THICKENED SLAB EDGE AT TOP OF BASEMENT FOUNDATION WALL WHERE FOUNDATION WALL IS NOT DIRECTLY UNDER EXTERIOR OR PARTY WALL.
- M. SEE SHEET A2.0 FOR WALL TYPES.
- N. ALL BACKFILL AND SOIL BELOW SLABS AND FOOTINGS MUST BE COMPACTED TO 1500 PSF MIN.
- O. CONTRACTOR IS TO PROVIDE MIN. (2) 1/2"x10" ANCHOR BOLTS PER PLATE AT 7' O.C. AND 12" FROM CORNERS AT ALL PERIMETER FOUNDATION WALLS AND ALL INTERIOR BEARING WALLS.
- P. CONTRACTOR IS RESPONSIBLE FOR ALL REINFORCEMENT IN CONCRETE WALLS AND BELOW SLABS WHERE REQUIRED. ALL REINFORCEMENT IS TO MEET LOCAL CODES AND IS TO BE INSPECTED BY BUILDING DEPT. OFFICIALS.
- Q. VERIFY CONTROL JOINTS IN GARAGE SLAB WITH BUILDER.

FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"

MARK	SIZE	REINFORCEMENT	NOTES
F1	3.5' X 3.5' X 10' FOOTING	#4 SWS AT 8" O.C. EACH WAY (5 W/)	

FOUNDATION SCHEDULE
 SCALE: NTS
 RE: A1.0

© 2020 D'ZIGN GROUP ARCHITECTURE, LLP



FLOOR PLAN SYMBOLS:

- DOOR: SEE SCHEDULE - SHEET A2.0
- WINDOW: SEE ELEVATIONS - SHEET A8.0

ALDER CREEK - COMMERCIAL
 ALDER CREEK BLOCK 1 LOTS 6 & 7
 PONDERAY, ID 83864

REVISIONS:

REVISIONS:

The Oregon Professional Plumber
 21 Commerce Dr
 Suite 100
 Hillsboro, OR 97123
 503.535.8777

d'Zign group
 ARCHITECTURE.

01.13.20

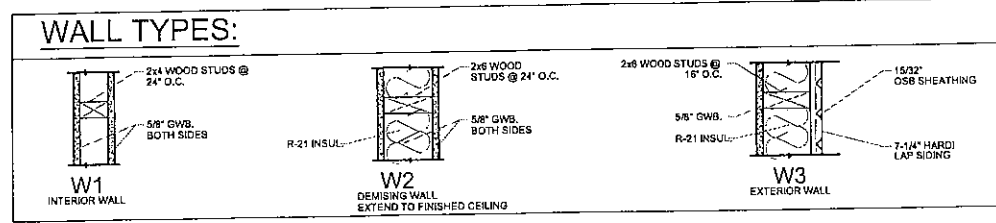
FLOOR PLAN
 A2.0
 01.13.20

FLOOR PLAN
 SCALE: 1/4" = 1'-0"

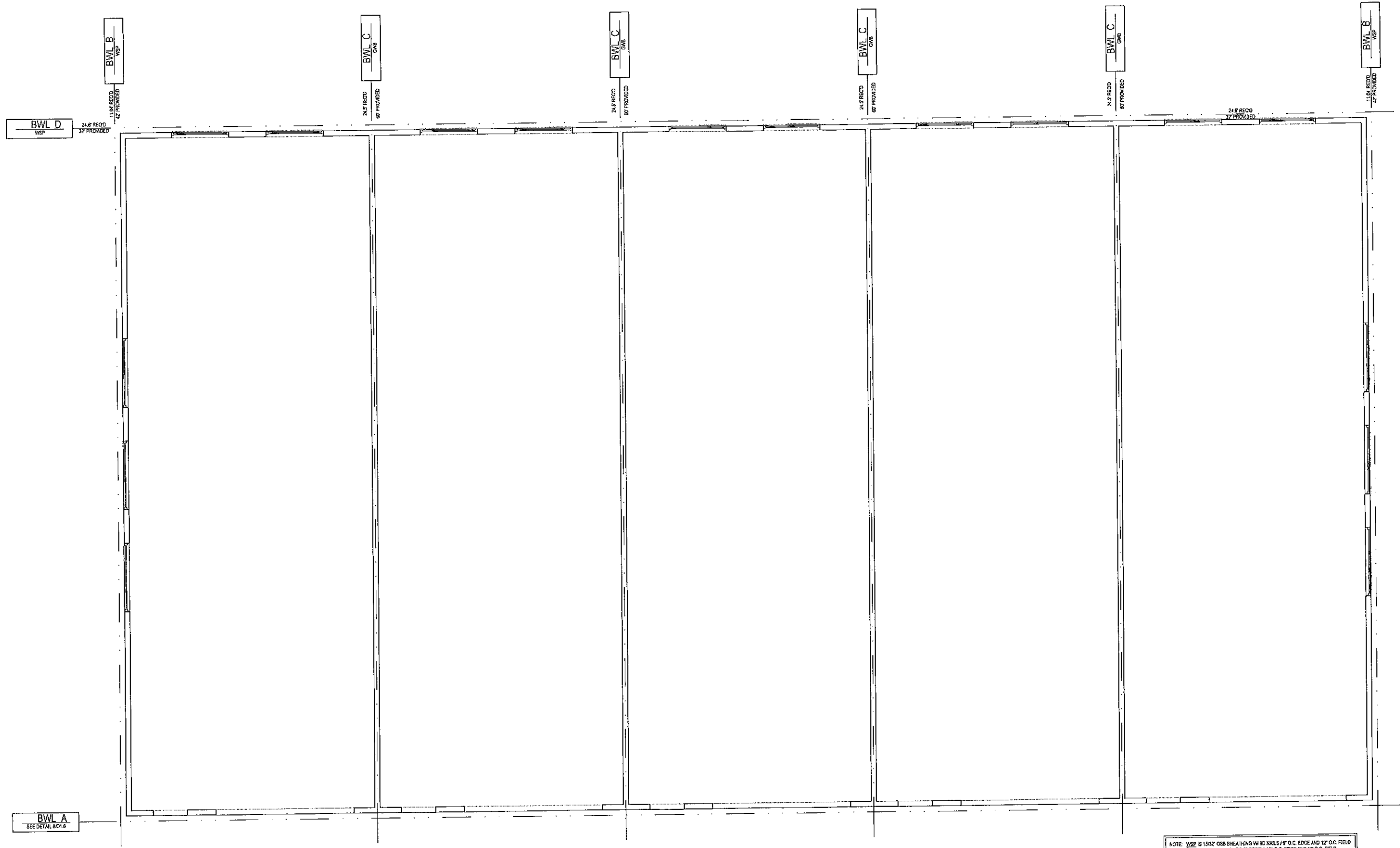
DOOR NUMBER	DOOR TYPE	SIZE	LABEL	FRAME THICKNESS	LOCKSET	HINGES/HARDWARE	DOORSTOP	CLOSER	NOTES
1	STEEL	3/0 x 7/0	-	WOOD	1 3/4"	BEST RK-3-7-L-150-SIK-US108	-	-	PAINT
2	INSULATED STEEL	12/0 x 14/0	-	ALUM	1 3/4"	CEILING-MOUNTED ELECTRIC DOOR OPENER	-	-	PROVIDE OPENER
3	STEEL	3/0 x 7/0	-	WOOD	1 3/4"	BEST RK-3-7-AB-150-SIK-US108	-	-	PAINT

*** ALL DOOR HARDWARE AS SPECIFIED IS ADA COMPLIANT ***

DOOR SCHEDULE
 SCALE: NTS
 REC: A2.0



© 2020 D'ZIGN GROUP ARCHITECTURE, LLP



BRACED WALL PANEL PLAN

SCALE: 1/4" = 1'-0"

ALDER CREEK - COMMERCIAL
 ALDER CREEK BLOCK 1, LOTS 6 & 7
 PONDERAY, ID. 83864

REVISIONS:

The Oregon
 Professional Files
 21 Commerce Dr
 Salem, OR
 Hillsboro, OR 97123
 206.699.4877

d'Zigngroup
 ARCHITECTURE.

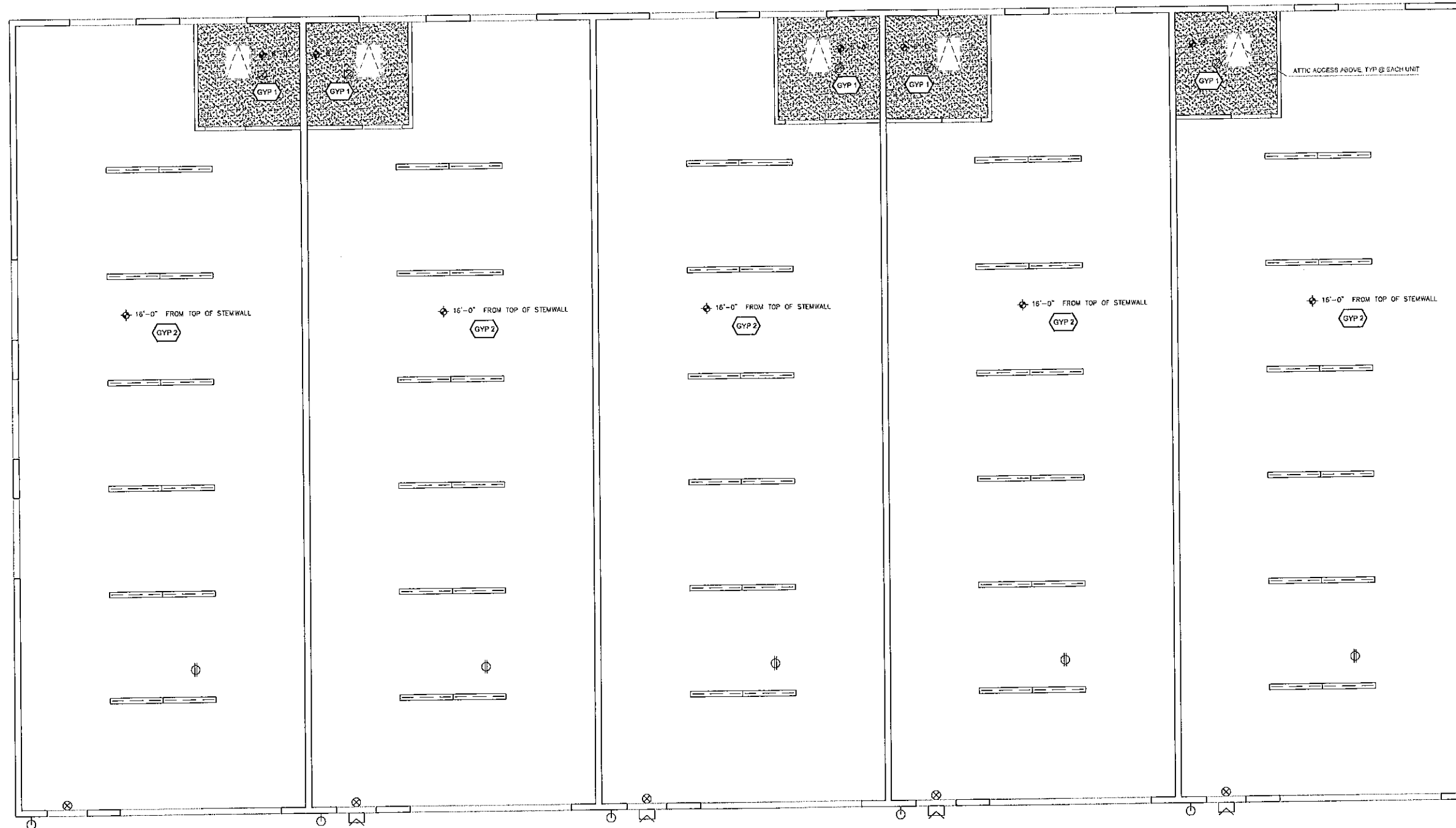
01.13.20

BRACED
 WALL
 PANEL PLAN

A3.0

01.13.20

© 2020 DZIGN GROUP ARCHITECTURE, LLP



REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

CEILING FINISH LEGEND:

	GWB CEILING, LEVEL 3 FINISH	SATIN FINISH TBD
	GWB CEILING, LEVEL 3 FINISH	EGGSHELL FINISH TBD

SYMBOLS:

- ILLUMINATED EXIT SIGN. RE: ELECTRICAL CONTRACTOR
- CEILING MOUNT FIXTURE. RE: ELECTRICAL CONTRACTOR
- 48" HIGH BAY FLUORESCENT WATER/VAPOR TIGHT FIXTURE. RE: ELECTRICAL CONTRACTOR
- EXTERIOR SCONCE. RE: ELECTRICAL CONTRACTOR
- HPD WALL PACK, 30 WATT - 4200 LUMENS
- POWER IN CEILING FOR OVERHEAD GARAGE DOOR

NOTE: MOUNT ALL LIGHT FIXTURES TO MANUFACTURER SPECIFICATIONS

REVISIONS:

The Hayden
Professional Plaza
21 Commerce Dr
Hayden, Idaho
83835
208.899.4877

d'Zign group
ARCHITECTURE.

01.13.20

DATE PLOTTED
SCALE: 1/4" = 1'-0"

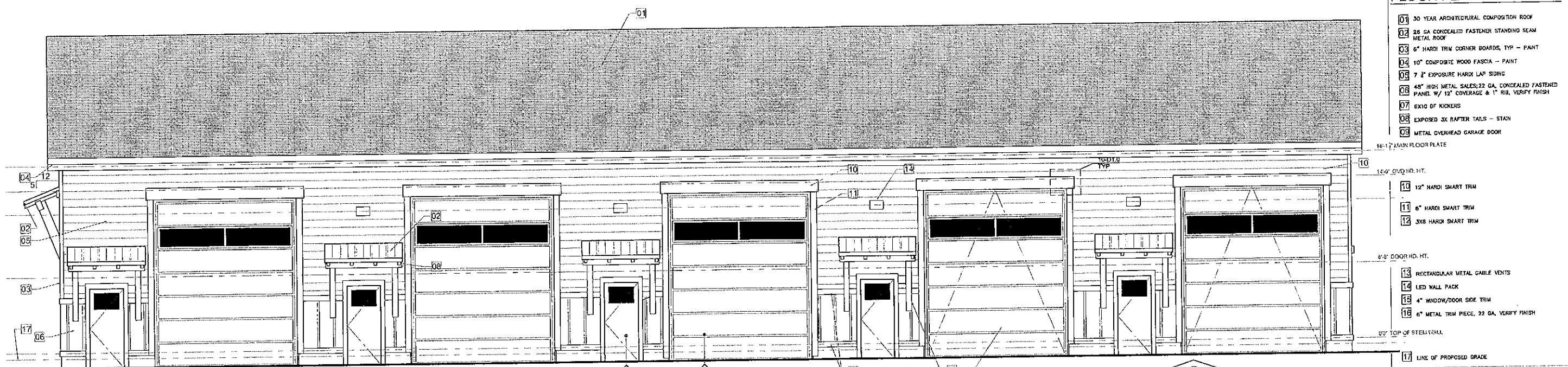
REFLECTED
CEILING PLAN

A4.0

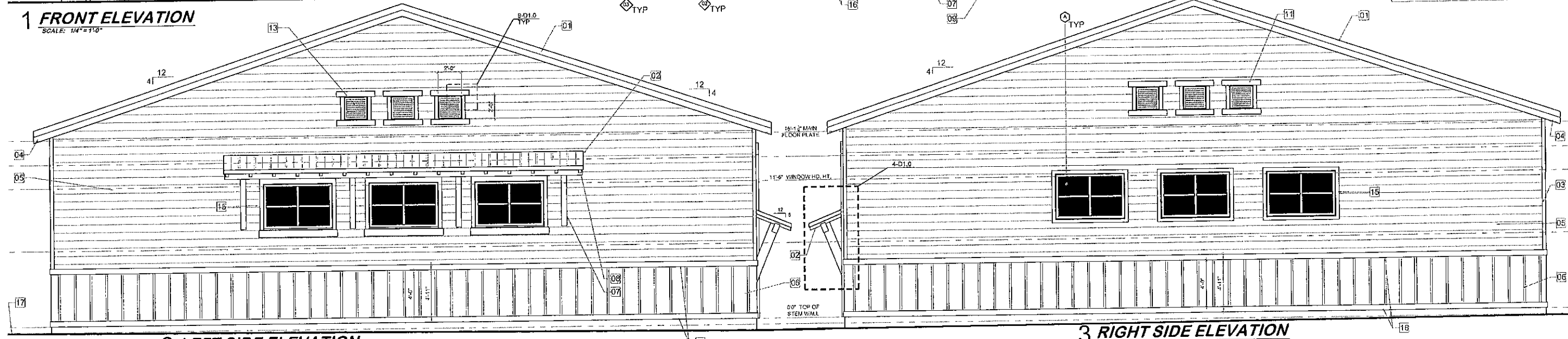
01.13.20

FLOOR PLAN KEY NOTES:

- 01 30 YEAR ARCHITECTURAL COMPOSITION ROOF
 - 02 26 GA CONCEALED FASTENER STANDING SEAM METAL ROOF
 - 03 6" HARDI TRIM CORNER BOARDS, TYP - PAINT
 - 04 10" COMPOSITE WOOD FASCIA - PAINT
 - 05 7 1/2" EXPOSURE HARDI LAP SIDING
 - 06 48" HIGH METAL SALES, 22 GA, CONCEALED FASTENER PANEL W/ 12" COVERAGE & 1" RUB. VERIFY FINISH
 - 07 6X10 DF KICKERS
 - 08 EXPOSED 3X RAFTER TAILS - STAIN
 - 09 METAL OVERHEAD GARAGE DOOR
- 16-17 MAIN FLOOR PLATE
- 14'-0" OVERALL HT.
- 10 12" HARDI SMART TRIM
 - 11 6" HARDI SMART TRIM
 - 12 3X6 HARDI SMART TRIM
- 6'-0" DOOR HD. HT.
- 13 RECTANGULAR METAL GABLE VENTS
 - 14 LED WALL PACK
 - 15 4" WINDOW/DOOR SIDE TRIM
 - 16 6" METAL TRIM PIECE, 22 GA, VERIFY FINISH
- 00' TOP OF STEM WALL
- 17 LINE OF PROPOSED GRADE

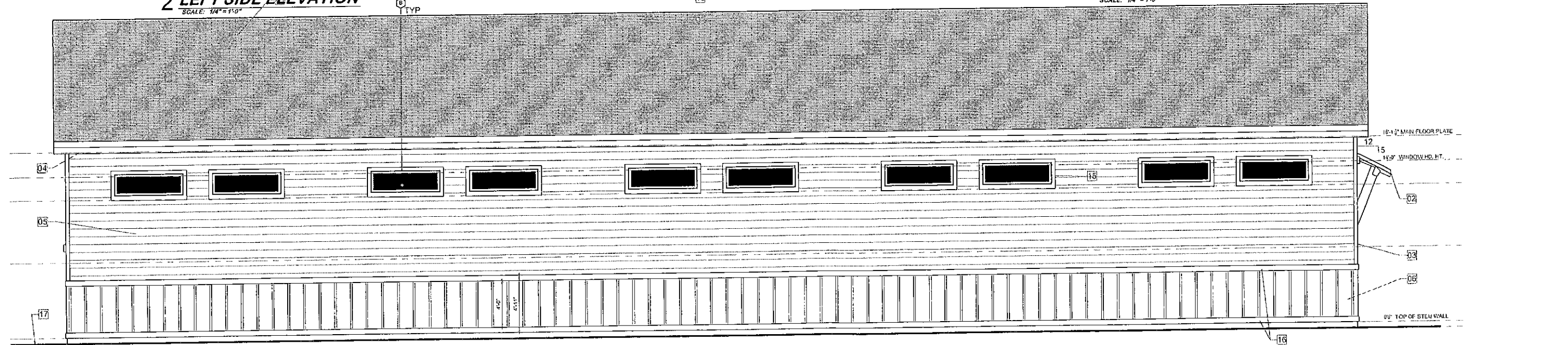


1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

3 RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



4 BACK ELEVATION
SCALE: 1/4" = 1'-0"

ALDER CREEK - COMMERCIAL
ALDER CREEK BLOCK 1 LOTS 6 & 7
PONDERAY, ID 83864

REVISIONS:

NO.	DESCRIPTION

The Oregon
Professional Plaza
21 Commerce Dr
Salem, Oregon
97305
503.598.4977

d'Zign group
ARCHITECTURE

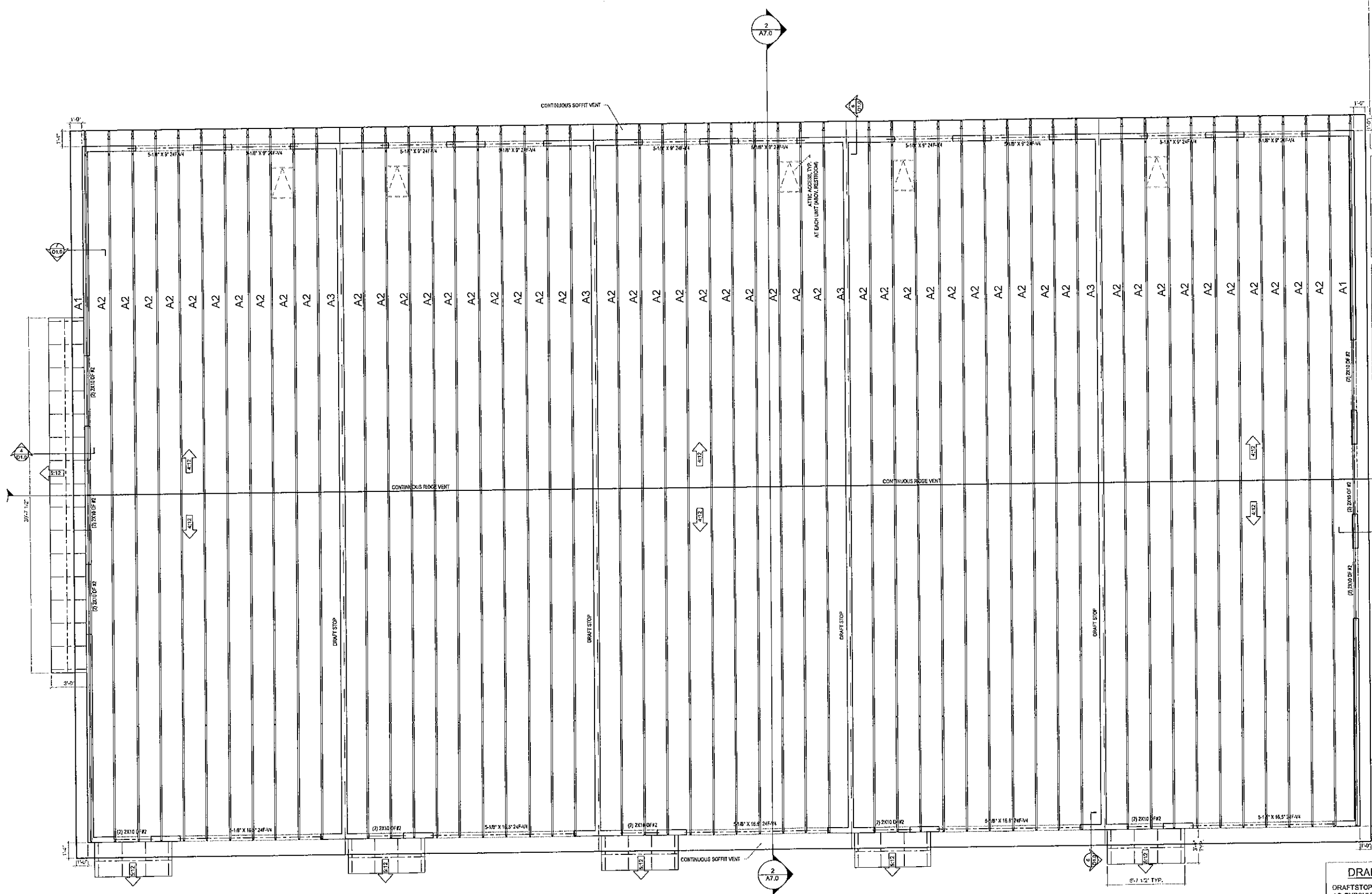
01.13.20
[Signature]

EXTERIOR ELEVATIONS

A5.0

01.13.20

© 2020 D'ZIGN GROUP ARCHITECTURE, LLP



TRUSS NOTES:

ALL TRUSSES SHALL CARRY MANUFACTURERS STAMP.

ALL TRUSSES SHALL BE INSTALLED & BRACED TO MANUFACTURERS SPECIFICATIONS.

ALL TRUSSES WILL NOT BE FIELD ALTERED WITHOUT PRIOR BUILDING DEPT. APPROVAL OR ENGINEERING CALCULATIONS.

ENGINEERED TRUSS SHEETS MUST BE ON THE JOB SITE FOR FRAMING INSPECTION. PROVIDE TRUSS DESIGN FOR APPROVAL OF APPROPRIATE AGENCY.

NON BEARING WALLS SHOULD BE HELD DOWN FROM THE TRUSS BOTTOM CHORD W/ SIMPSON STC TO INSURE THAT THE TRUSS BOTTOM CHORD WILL NOT BEAR ON THE WALL.

ALL CONNECTIONS OF RAFTERS, MONO OR HIP TRUSSES TO MAIN GIRDER TO BE PROVIDED BY TRUSS MANUFACTURER.

H2.5A SIMPSON HURRICANE CLIPS @ EACH TRUSS

PROVIDE MAX INTERIOR VAULT PITCH WHEN VAULTS ARE INDICATED

NOTES:

- ROOF OVERHANGS TO BE 16" AT GABLE ENDS AND 16" AT EAVES UNLESS NOTED OTHERWISE ON PLANS.
- ROOF PITCHES TO BE 8:12 UNLESS NOTED OTHERWISE ON PLAN.
- A VAPOR BARRIER IS NOT REQUIRED OF CLOSED-CELL SPRAY FOAM INSULATION, TYPICAL.
- ALL TRUSSES TO HAVE SIMPSON H2.5A HURRICANE CLIPS, UNLESS NOTED OTHERWISE

ATTIC VENTILATION:

7,019 S.F. AREA
300
= 23.4 S.F. REQUIRED

PROVIDE MIN. 10.8 SF OF VENTING AT RIDGE (45%)
PROVIDE MIN. 12.9 SF OF VENTING AT EAVE (55%)

PROVIDE 1" MIN AIR GAP AT EAVES WITH INSULATION BAFFLES TYP. AT ALL TRUSS BAYS.

RIDGE
PROVIDE RIDGE AND HIP VENTING INTEGRAL TO METAL ROOF SYSTEM.

EAVE
PROVIDE CONTINUOUS SCREENED SOFFIT VENTS WITH INSULATION BAFFLES.

ALDER CREEK - COMMERCIAL
ALDER CREEK BLOCK 1 LOTS 6 & 7
PONDERAY, ID 83864

REVISIONS:

The Heaton
Professional Firm
21 Commerce Dr
State College, Pa
16805
814.339.1877

d'Zign group
ARCHITECTURE.

01.13.20
ASB
01.13.20

ROOF PLAN

A6.0

01.13.20

ROOF PLAN
SCALE: 1/4" = 1'-0"

DRAFTSTOPS

DRAFTSTOPPING MATERIALS ARE DEFINED IN SECTION 717.3.1 AS GYPSUM WALL BOARD NOT LESS THAN 0.5 INCH (12.7MM) THICK, WOOD STRUCTURAL PANELS NOT LESS THAN 0.375 (9.5MM) THICK. THE PANELS MUST BE ADEQUATELY SUPPORTED AND THE INTEGRITY MUST BE MAINTAINED.

ICE & WATER SHIELD AT EAVES


PROVIDE AN ICE BARRIER THAT CONSISTS OF A SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET IN LIEU OF NORMAL UNDERLAYMENT AT ALL EAVES. SHEET SHALL EXTEND FROM THE LOWEST EDGES OF ALL ROOF SURFACES TO A POINT AT LEAST 24 INCHES (610 MM) INSIDE THE EXTERIOR WALL LINE OF THE BUILDING.

© 2020 DZIGN GROUP ARCHITECTURE, LLP

REVISIONS:

The Hansen
 Professional Plaza
 21 Commerce Dr
 Suite 200
 Boise, ID 83725
 208.896.4377

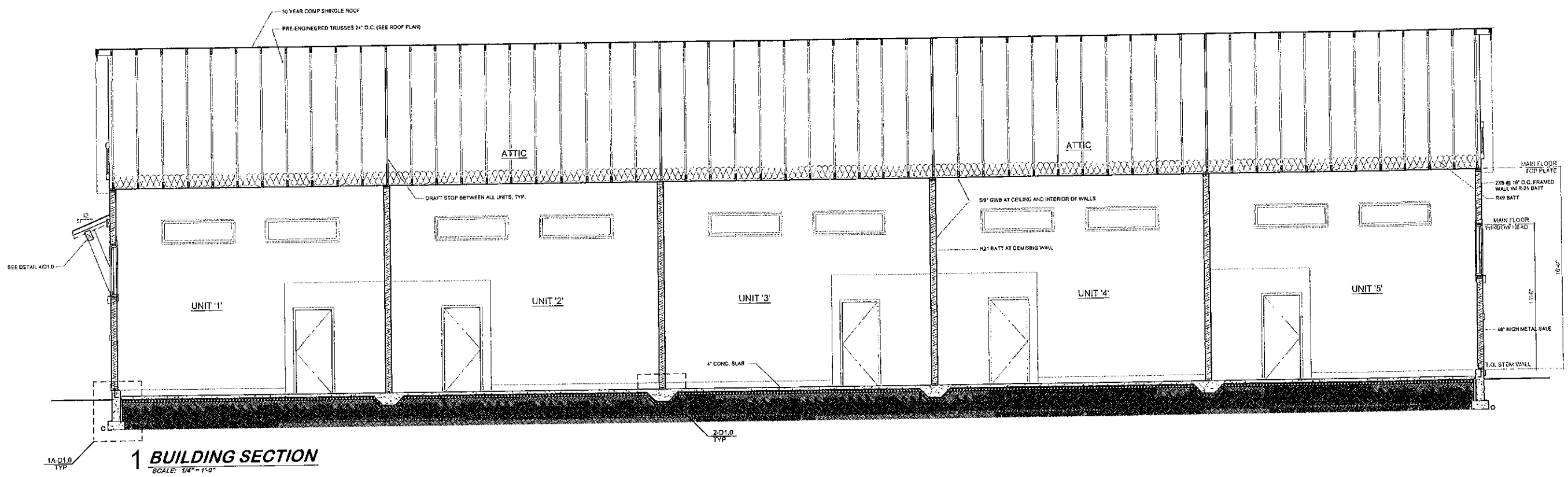
d'Zign group
 ARCHITECTURE.

01.13.20

 David D'Zign
 ARCHITECT

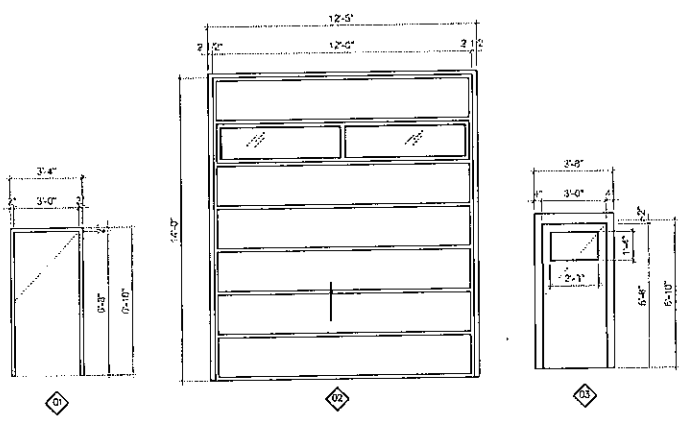
BUILDING SECTIONS

A7.0

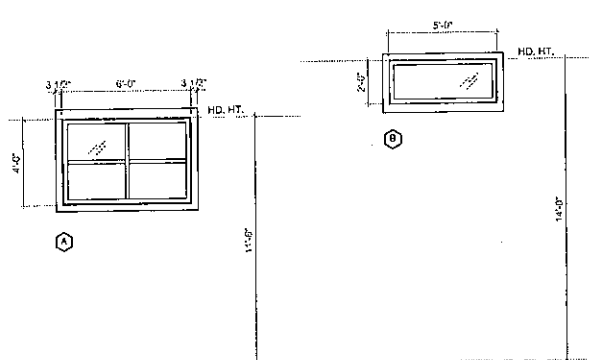
01.13.20



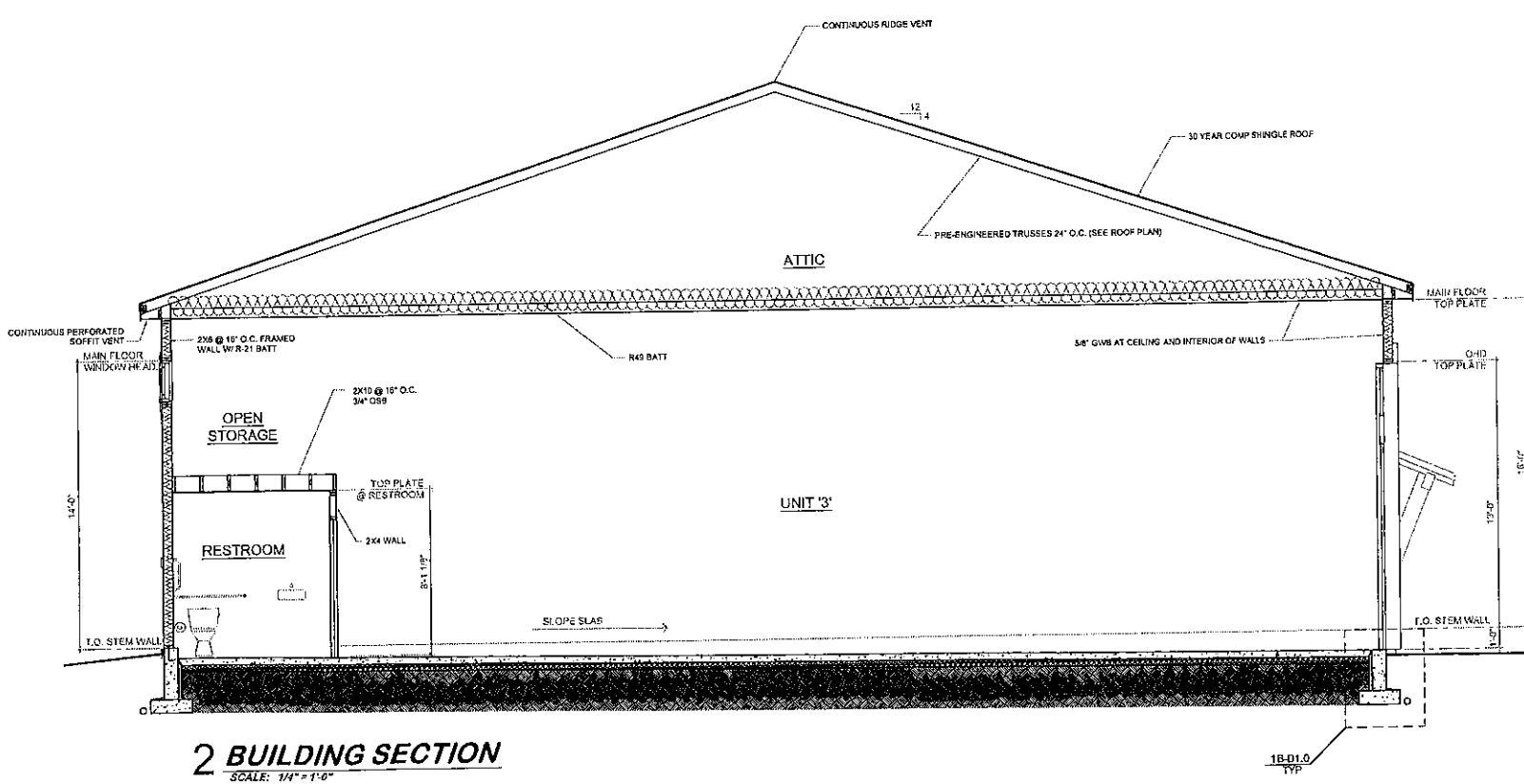
1 BUILDING SECTION
 SCALE: 1/4" = 1'-0"



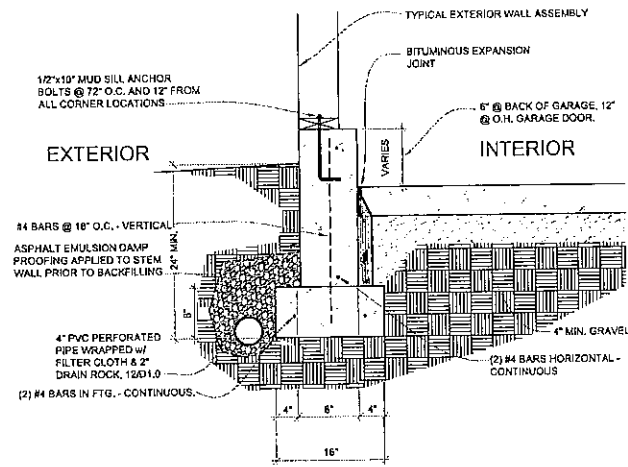
DOOR TYPES
 SCALE: 1/4" = 1'-0"



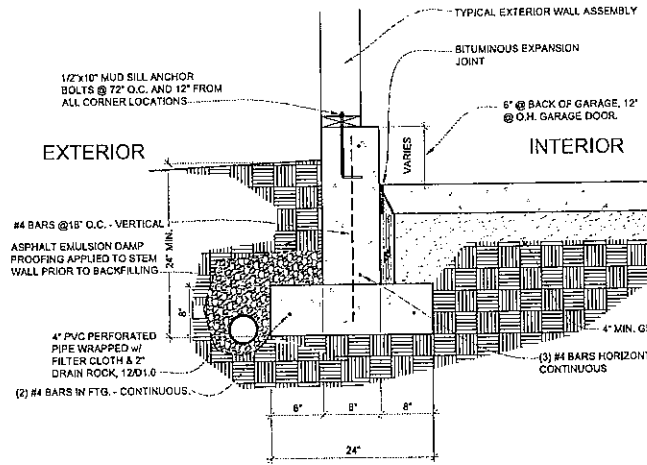
WINDOW TYPES
 SCALE: 1/4" = 1'-0"



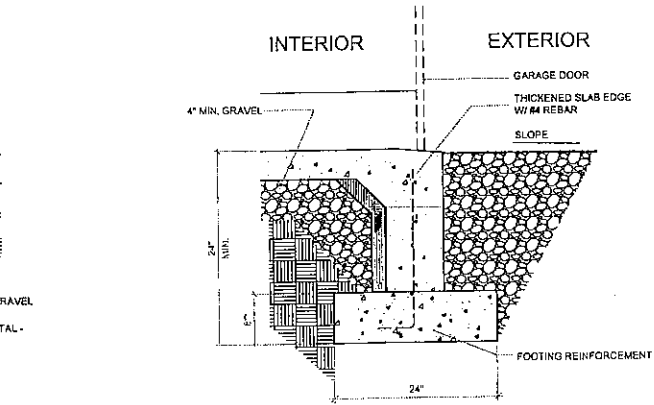
2 BUILDING SECTION
 SCALE: 1/4" = 1'-0"



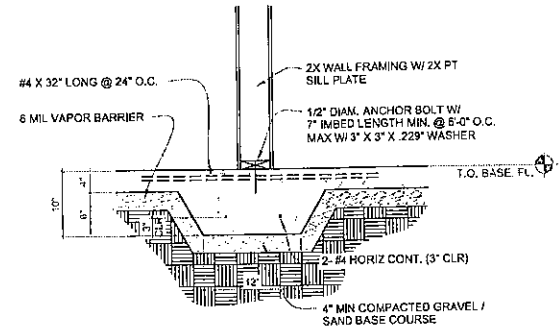
1A FOUNDATION / SLAB DETAIL
SCALE: 1/4" = 1'-0"



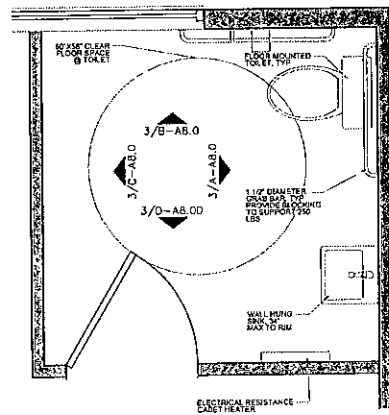
1B FOUNDATION / SLAB DETAIL
SCALE: 1/4" = 1'-0"



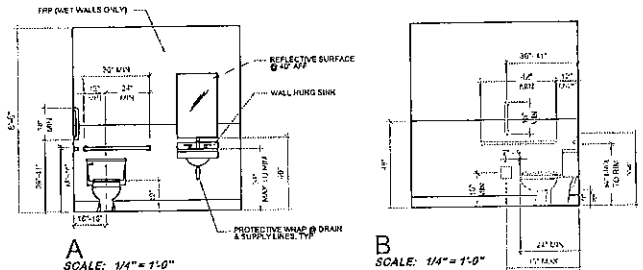
1C FOUNDATION / SLAB DETAIL @ GARAGE DOOR
SCALE: 1/4" = 1'-0"



2 INTERIOR WALL FOOTING DETAIL
SCALE: 1/2" = 1'-0"

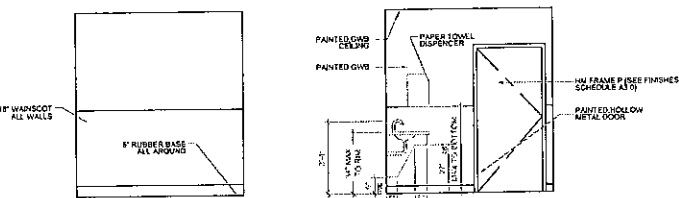


3 ENLARGED FLOOR PLAN & RESTROOM ELEVATIONS
SCALE: 1/2" = 1'-0"



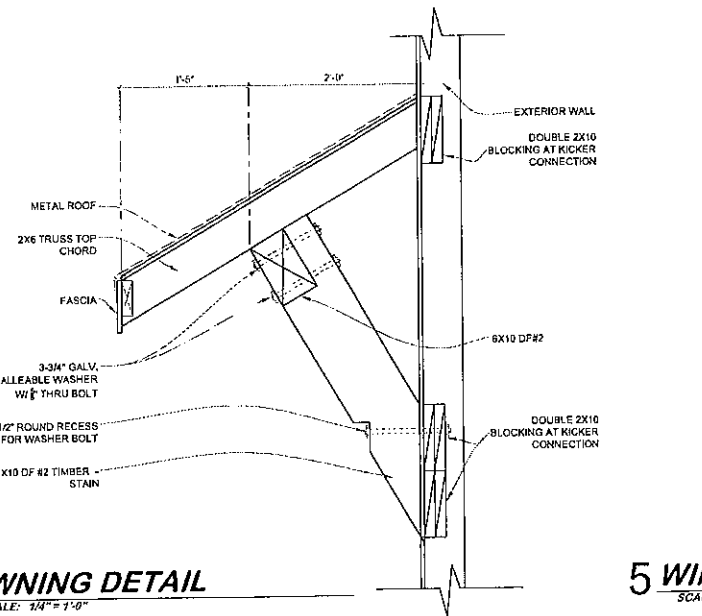
A SCALE: 1/4" = 1'-0"

B SCALE: 1/4" = 1'-0"

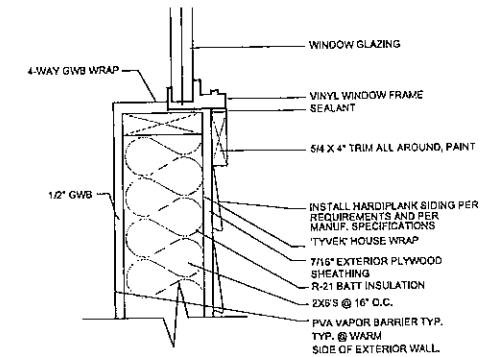


C SCALE: 1/4" = 1'-0"

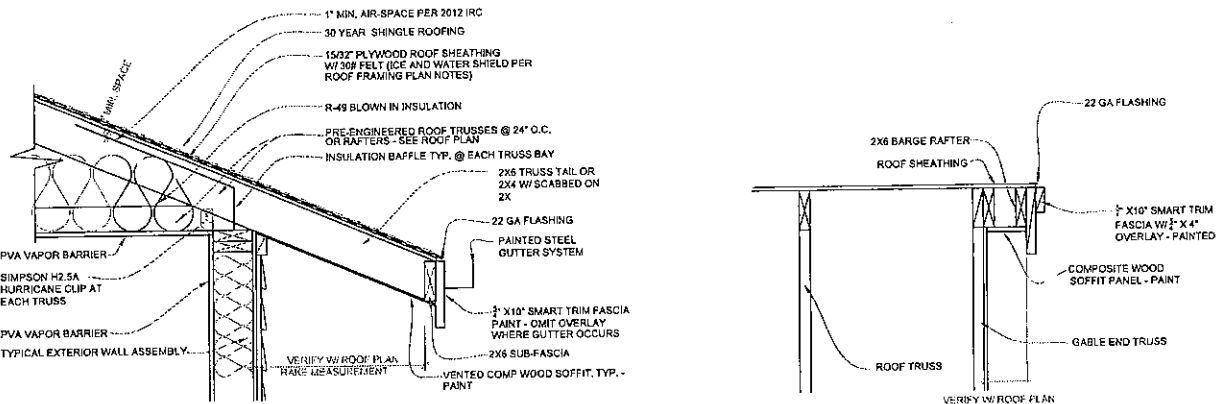
D SCALE: 1/4" = 1'-0"



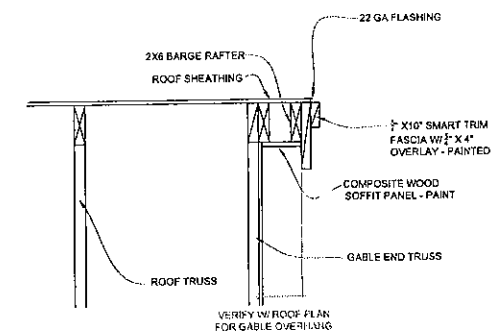
4 AWNING DETAIL
SCALE: 1/4" = 1'-0"



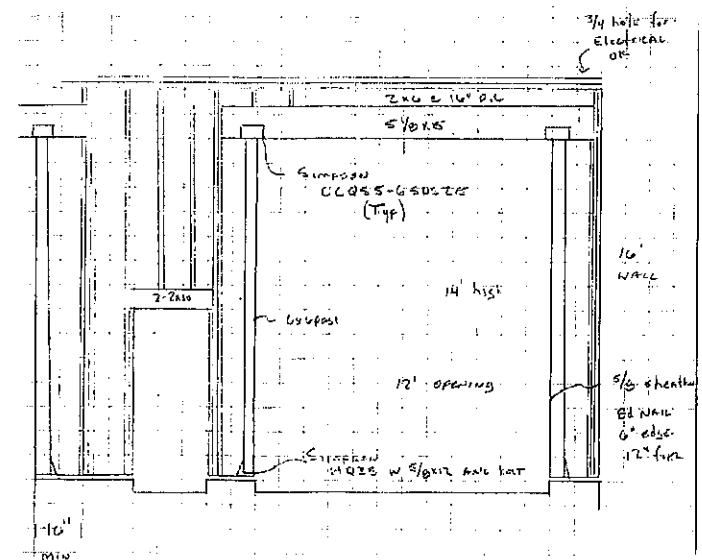
5 WINDOW JAMB / HEAD SIM
SCALE: 1/4" = 1'-0"



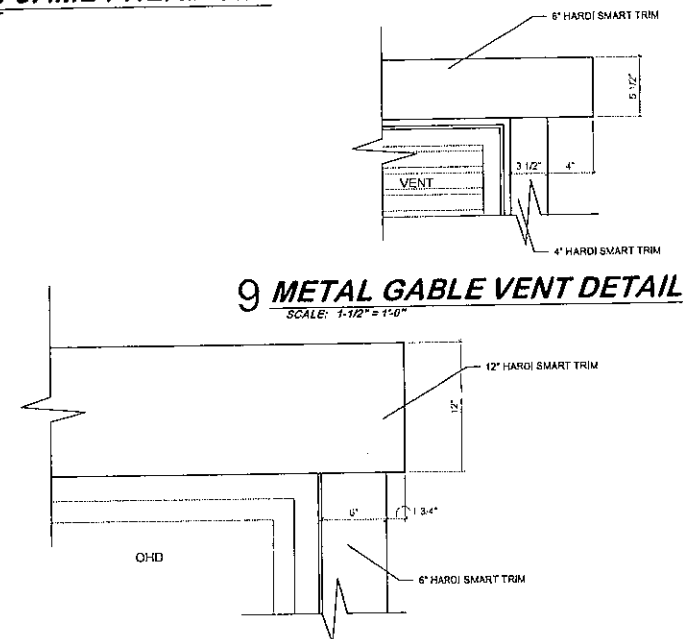
6 TYPICAL EAVE DETAIL
SCALE: 1/4" = 1'-0"



7 TYPICAL RAKE DETAIL
SCALE: 1/4" = 1'-0"



8 BRACED WALL DETAIL
SCALE: 1/4" = 1'-0"



10 OVERHEAD DOOR TRIM DETAIL
SCALE: 1-1/2" = 1'-0"