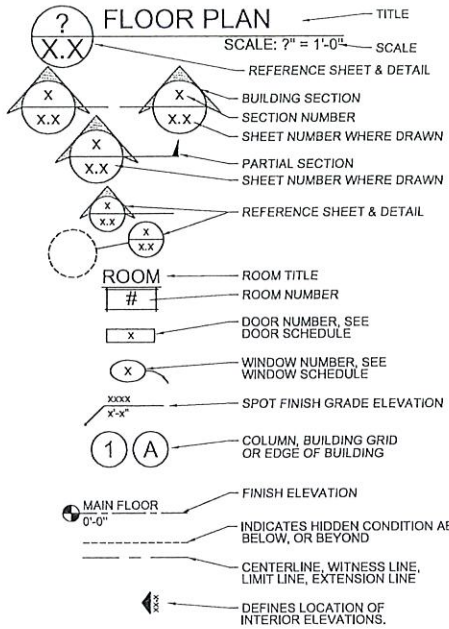


SCHEDULE OF SYMBOLS & MATERIALS



MATERIALS

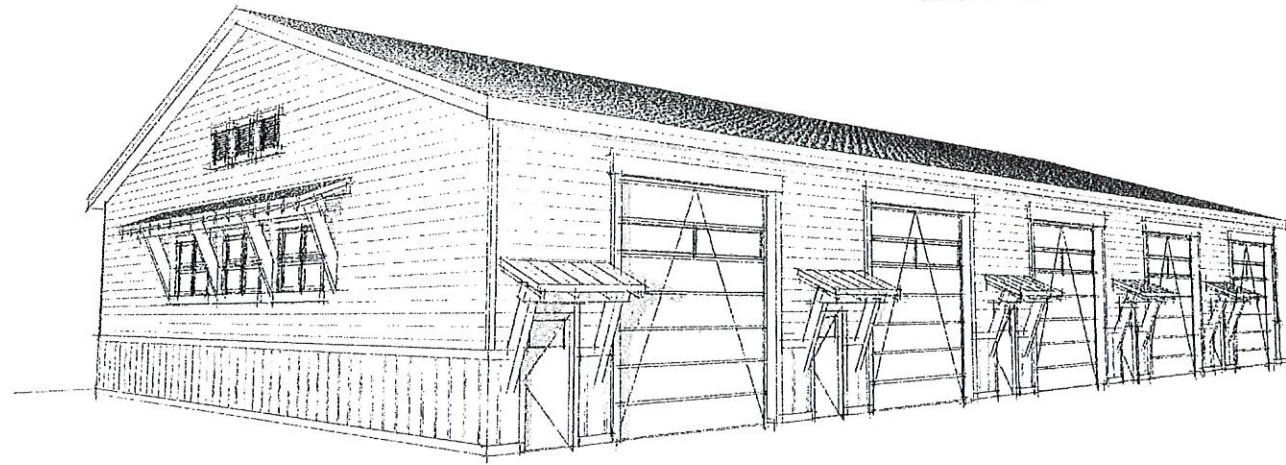
[Pattern]	BRICK - BRICK WITH CMU ABOVE
[Pattern]	STUD PARTITION
[Pattern]	MASONRY WALL
[Pattern]	CONCRETE
[Pattern]	EARTH OR COMPACTED FILL
[Pattern]	DRAINAGE FILL
[Pattern]	METAL
[Pattern]	BATT INSULATION
[Pattern]	WOOD, CONTINUOUS, BLOCKING
[Pattern]	FINISHED WOOD
[Pattern]	GYPSUM BOARD
[Pattern]	PLYWOOD
[Pattern]	RIGID INSULATION
[Pattern]	PARTICLE/FIBER BOARD
[Pattern]	MOISTURE RESISTANT BOARD

SCHEDULE OF ABBREVIATIONS

A.B.	ANCHOR BOLT
A.F.F.	ABOVE FINISHED FLOOR
ALUM.	ALUMINUM
ARCH. BLDG.	ARCHITECTURAL BUILDING
B.O.	BOTTOM OF
BRG.	BEARING
C.	CENTER LINE
CFM	CUBIC FEET PER MINUTE
C.J.	CONTROL JOINT
CMU	CONCRETE MASONRY UNITS
COL.	COLUMN
CONC.	CONCRETE
COND.	CONDITION
CONT.	CONTINUOUS
CYL.	CYLINDER
Ø	DIAMETER
DIA.	DIAMETER
EA.	EACH
ELEV.	ELEVATION
E.I.F.S.	EXTERIOR INSULATING FINISH SYSTEM
EQ.	EQUAL
E.W.	EACH WAY
FDN.	FOUNDATION
F.O.C.	FACE OF CURB/CONCRETE
F.O.M.	FACE OF MASONRY
F.F.	FINISHED FLOOR
FT.	FEET
FTG.	FOOTING
FRI	FIRE-RETARDANT WOOD TREATMENT
GA.	GAUGE
GALV.	GALVANIZED
G.I.	GALVANIZED IRON OR STEEL
G.L.B.	GLUE LAMINATED BEAM
G.W.B.	GYPSUM WALL BOARD
H.C.A.	HEAVY CONCRETE ANCHOR
H.M.	HOLLOW METAL
HORIZ.	HORIZONTAL
HR.	HOUR
HT.	HEIGHT
HVAC	HEATING VENTILATING AND AIR CONDITIONING
I.D.	INSIDE DIMENSION
IN.	INCH
LBS.	POUNDS
MAX.	MAXIMUM
MFR.	MANUFACTURER
MIN.	MINIMUM
MISC.	MISCELLANEOUS
M.O.	MASONRY OPENING
MTD.	MOUNTED
N.I.C.	NOT IN CONTRACT
NO.	NUMBER
NTS	NOT TO SCALE
O.C.	ON CENTER
O.D.	OUTSIDE DIMENSION
OPNG.	OPENING
OPP.	OPPOSITE
O.S.B.	ORIENTED STRAND BOARD
PLTFM.	PLATFORM
PL.	PLATE
P.L.F.	POUNDS PER LINEAL FOOT
P.S.F.	POUNDS PER SQUARE FOOT
P.S.I.	POUNDS PER SQUARE INCH
RE.	REFER TO, REFERENCE FROM
REINF.	REINFORCING
REQ'D	REQUIRED
R.O.	ROUGH OPENING
SCU	STRUCTURAL CLAY UNIT
SIM.	SIMILAR
SPECS.	SPECIFICATIONS
STD.	STANDARD
STRUC.	STRUCTURAL
SQ.	SQUARE
T & G	TONGUE & GROOVE
T.O.C.	TOP OF CURB/CONCRETE
T.O.	TOP OF
T.D.	TOP OF DRAIN
TYP.	TYPICAL
VERT.	VERTICAL
U.D.L.	UNIFORM DISTRIBUTED LOAD
W.	WITH
W.P.	WEATHERPROOF
W.W.F.	WELDED WIRE FABRIC

ALDER CREEK COMMERCIAL

PONDERAY, ID 83864
LOT 6



SCHEDULE OF DRAWINGS

CS-1	COVER SHEET
AS-1	SITE PLAN
A1.0	FOUNDATION PLAN
A2.0	MAIN FLOOR PLAN
A3.0	BRACED WALL PANEL PLAN
A4.0	REFLECTED CEILING PLAN
A5.0	EXTERIOR ELEVATIONS
A6.0	ROOF PLAN
A7.0	BUILDING SECTION
A8.0	SCHEDULES
D1.0	DETAILS

PROJECT TEAM

ARCHITECT:	D'ZIGN GROUP ARCHITECTURE, LLP DAVID L. SHRONTZ, ARCHITECT 21 COMMERCE DRIVE SUITE A HAYDEN, ID 83835 208.699.4977 dave@dzigarch.com
STRUCTURAL ENGINEER:	TATE ENGINEERING, INC 417 E INDIANA AVE COEUR D'ALENE, ID 83814 208.676.8708

CODE ANALYSIS

2015 INTERNATIONAL BUILDING CODE
2015 INTERNATIONAL EXISTING BUILD CODE
2012 INTERNATIONAL MECHANICAL CODE
2017 IDAHO STATE PLUMBING CODE
2012 INTERNATIONAL FUEL GAS CODE
2017 NATIONAL ELECTRICAL CODE
2015 INTERNATIONAL ENERGY CONSERVATION CODE
2015 INTERNATIONAL FIRE CODE
2009 ICC/ANSI-A117.1
THE STATE OF IDAHO DIVISION OF BUILDING SAFETY GOVERNS ELECTRICAL AND HVAC WORK

GROUP S OCCUPANCY
TYPE 5-B CONSTRUCTION
NON SPRINKLERED

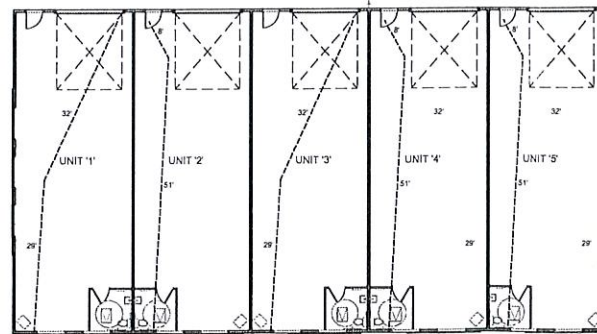
SEISMIC ZONE C
ROOF SNOW LOAD: 60 PSF
WIND SPEED: 90 MPH NOMINAL, 115 ULTIMATE
3 SEC WIND GUST
FROST DEPTH: 24"

PROPOSED BUILDING SIZE: 1 STORY
PER TABLE 504.4 / 2 STORIES ALLOWED

BUILDING HEIGHT: 27' APPROX.
PER TABLE 504.3 / 40' ALLOWED

PARCEL# RPP37890010070A
ZONING: COMMERCIAL
LOT SIZE: 0.40 ACRES
BUILDING SQUARE FOOTAGE: 6,600 SF

OCCUPANT LOAD:
PER TABLE 1004.1.2 -
UNIT 1: 1,329 SF / 500 SF PER OCCUPANT
2 OCCUPANTS
UNIT 2: 1,314 SF / 500 SF PER OCCUPANT
2 OCCUPANTS
UNIT 3: 1,314 SF / 500 SF PER OCCUPANT
2 OCCUPANTS
UNIT 4: 1,314 SF / 500 SF PER OCCUPANT
2 OCCUPANTS
UNIT 5: 1,329 SF / 500 SF PER OCCUPANT
2 OCCUPANTS
PER TABLE 1006.3.2 - 1 EXITS REQUIRED @ EA. UNIT
1 EXIT PROVIDED AT EACH UNIT
EXIT ACCESS TRAVEL DISTANCE 75' MAX



2 EGRESS PLAN
CS-1



1 VICINITY PLAN
CS-1



GENERAL NOTES

- THE DRAWINGS INDICATE LOCATION, DIMENSIONS, REFERENCE AND TYPICAL DETAILS OF CONSTRUCTION. THE DRAWINGS DO NOT INDICATE EVERY CONDITION. WORK NOT PARTICULARLY DETAILED SHALL BE OF CONSTRUCTION SIMILAR TO PARTS THAT ARE DETAILED.
- DO NOT SCALE DRAWINGS.
- FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS. WHERE DISCREPANCIES OCCUR, THEY SHALL BE REPORTED TO ARCHITECT FOR RESOLUTION.
- DETAILED DRAWINGS AND LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
- CONCRETE AND BRICK DIMENSIONS ARE GIVEN TO THE FACE OF CONCRETE OR MASONRY AND TO THE FACE OF ROUGH OPENINGS.
- PARTITION DIMENSIONS ARE GIVEN TO THE FACE OF STUD UNLESS OTHERWISE NOTED.
- DOOR OPENING LOCATIONS ARE DIMENSIONED TO ROUGH OPENING OR CENTERLINE OF OPENING.
- WHERE NO MATERIAL NOTES OCCUR, THE GRAPHIC MATERIAL INDICATION SHALL INDICATE MATERIAL TYPES AND ITEMS. SEE SYMBOL AND MATERIALS LIST ON THIS SHEET.
- ALL NEW CONSTRUCTION TO COMPLY WITH THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG), AND ICC/ANSI A117.1-2009
- PROVIDE LANDINGS AND FLOOR LEVELS AT DOORS THAT COMPLY WITH THE CURRENT BUILDING CODE.
- UNLESS OTHERWISE INDICATED ALL DRAWINGS, NOTES WHICH DO NOT READ "N.C.", "EXISTING", OR "EXISTING TO REMAIN", OR "BY OTHERS" SHALL INDICATE NEW WORK WHICH SHALL BE CONTRACTOR FURNISHED AND CONTRACTOR INSTALLED.
- ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE WRITTEN MANUFACTURER'S INSTRUCTIONS
- THE GENERAL CONTRACTOR SHALL KEEP ALL AREAS OF CONSTRUCTION CLEAN AND FREE OF DEBRIS. AFTER CONSTRUCTION IS COMPLETE, THE GENERAL CONTRACTOR SHALL PROVIDE FINAL CLEAN UP.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS FOR ACCURACY PRIOR TO COMMENCING WITH THE WORK. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- PENETRATIONS THROUGH RATED ASSEMBLIES SHALL BE FIRESTOPPED IN ACCORDANCE WITH THE BUILDING CODE.
- EXIT SIGNAGE SHALL BE EXTERNALLY OR INTERNALLY ILLUMINATED BY PREMISES WIRING & BACKUP BATTERIES & SHALL BE IN COMPLIANCE WITH BUILDING CODES
- PROVIDE BLOCKING AS REQUIRED FOR ALL AREAS TO RECEIVE FUTURE CASEWORK AND WALL-ATTACHED ITEMS AS INDICATED IN PLANS
- ALL EXITS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL EFFORT. ENTRY DOORS MUST REMAIN UNLOCKED DURING BUSINESS HOURS.
- ALL DOOR HARDWARE SHALL BE COMPLIANT WITH ICC/ANSI 117.1-2009, SECTION 404.2.7.
- ALL ACCESSIBLE DOORS MUST PROVIDE 32" CLEAR WIDTH WHEN DOOR IS OPEN TO 90 DEGREES
- DOOR THRESHOLDS TO BE MAX. 1/2" HIGH AND COMPLY WITH ICC/ANSI A117.1-2009
- LIGHTING CONTROLS, ELECTRICAL SWITCHES AND RECEPTACLES, ENVIRONMENTAL CONTROLS, APPLIANCE CONTROLS, OPERATING HARDWARE FOR OPERABLE WINDOWS, AND PLUMBING FIXTURE CONTROLS SHALL COMPLY WITH ICC/ANSI A117.1 SECTION 309 AND HEIGHT REACH RANGE REQUIREMENTS IN SECTION 308.
- INTERIOR NON-BEARING WALLS SHALL BE HELD DOWN TO ALLOW ROOF TRUSS DEFLECTION WITHOUT LOADING THE WALL. PROVIDE FIRE EXTINGUISHER CABINETS AND/OR FIRE EXTINGUISHERS PER THE CURRENT INTERNATIONAL FIRE CODE AND THE AUTHORITY HAVING JURISDICTION
- WOOD MEMBERS IN CONTACT WITH EXTERIOR CONCRETE SHALL BE PRESSURE TREATED.
- FIRE STOPPING SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:
- CONCEALED SPACE IN STUD WALLS & PARTITIONS INCLUDING PURSUE SPACES
- THE CEILING AND FLOOR LEVELS
- 12" FOOT INTERVALS HORIZONTALLY ALONG THE LENGTH OF ALL WALLS
- ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES AS OCCUR AT SOFFITS, DROP CEILING AND COVERED CEILING
- IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS, WITH NON-COMBUSTIBLE MATERIALS.
- ALL INSULATION MATERIALS INCLUDING FACING, SUCH AS VAPOR BARRIER OR BREATHER PAPERS INSTALLED WITHIN FLOOR-CEILING ASSEMBLIES, ROOF-CEILING ASSEMBLIES, WALLS, CRAWL SPACES OR ATTICS SHALL HAVE A FLAME SPREAD RATING NOT TO EXCEED AND A SMOKE DENSITY NOT TO EXCEED 450.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES, TRANSFORMERS AND UTILITIES UNDERGROUND WITH APPLICABLE UTILITY COMPANIES.
- SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR COORDINATION OF THEIR WORK WITH THE WORK OF OTHERS. SUB-CONTRACTORS SHALL VERIFY THAT ANY WORK RELATED TO THEM, WHICH MUST BE PROVIDED BY OTHERS, HAS BEEN COMPLETED AND IS ADEQUATE PRIOR TO COMMENCING THEIR WORK.
- VERIFY ALL EXISTING CONDITIONS AT THE JOB SITE PRIOR TO BIDDING.
- SHOULD CONFLICTS OCCUR IN OR BETWEEN DRAWINGS AND/OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE ARCHITECT FOR VERIFICATION.
- PROVIDE SOLID BLOCKING AT ALL DOOR STOPS, HANDRAILS AND TOILET ROOM ACCESSORIES, ETC.

THE USE OF THESE PLANS IS LIMITED TO THE ONE TIME USE BY THE OWNER FOR A SPECIFIC PROJECT AND FOR THE CONSTRUCTION OF ONE BUILDING ONLY. ANY RE-USE, RE-USE, OR ANY DISCLOSURE OF SAID PLANS, OR DESIGN IDEAS CONTAINED HEREIN, OR THE PRODUCTION OF SAME, IN ANY MANNER, SHAPE, OR FORM IS STRICTLY PROHIBITED BY COPYRIGHT LAWS WITHOUT THE EXPRESSED AND WRITTEN CONSENT OF D'ZIGN GROUP ARCHITECTURE, LLP

ALDER CREEK - COMMERCIAL
ALDER CREEK BLOCK 1 LOTS 6 & 7
PONDERAY, ID 83864

REVISIONS:

The Hayden Professional Print or Scan of Hayden, Idaho 83835 208.699.4977

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STATE OF IDAHO

COVER SHEET

CS-1

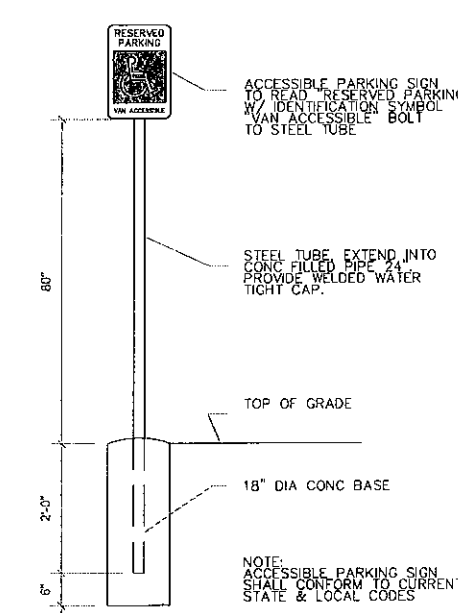
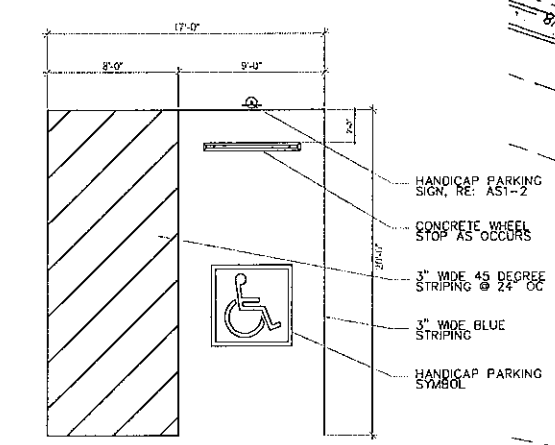
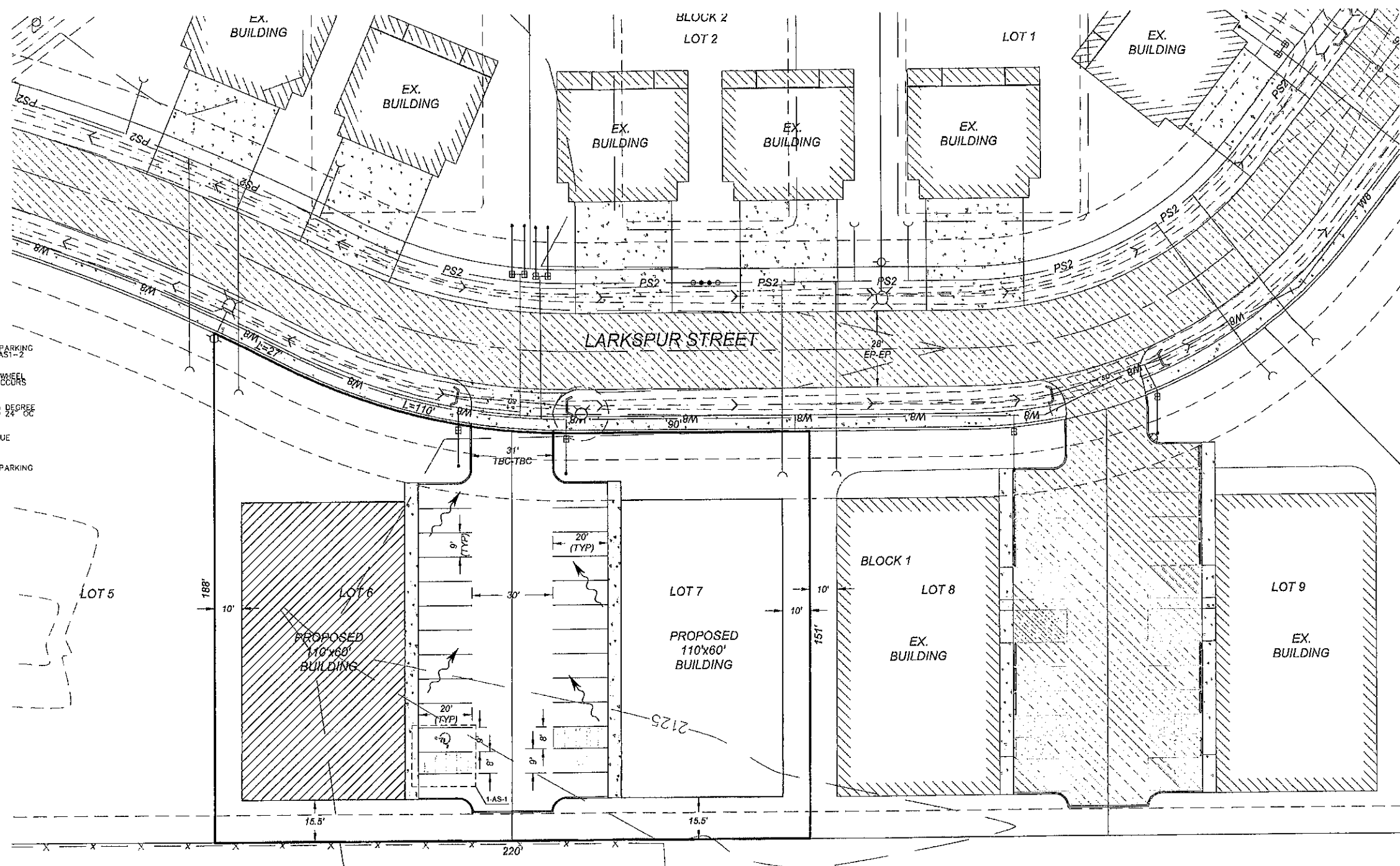
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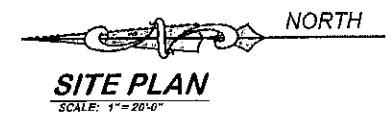
PLANNING OFFICE
CITY OF PONDERAY

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PROJECT MATRIX

ZONING:	COMMERCIAL
# BUILDINGS:	2
PARCEL No.:	RPP37890010060A & RPP37890010070A



ALDER CREEK - COMMERCIAL
ALDER CREEK BLOCK 1 LOTS 6 & 7
PONDERAY, ID 83864

REVISIONS:

The Design Professionals
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Hayden, Idaho
208.988.9977

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ARCHITECTURE

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SITE PLAN

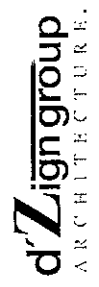
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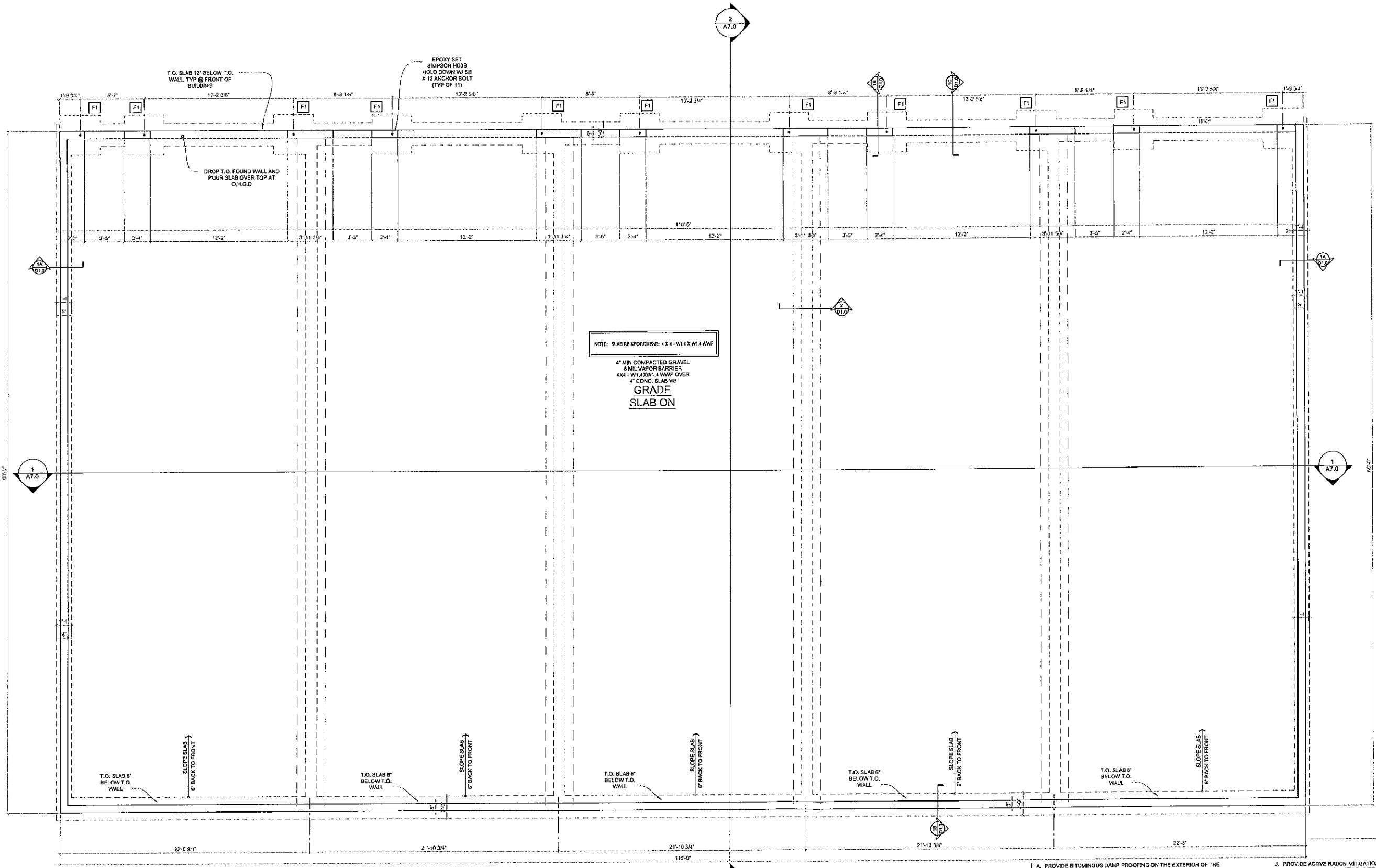


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 DATE OF PRINT
 SITE OF WORK

FOUNDATION PLAN

A1.0

01.13.20



FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"

MARK	SIZE	REINFORCEMENT	NOTES
F1	3'-0" X 3'-0" X 10" FOOTING	#4 BARS AT 6" O.C. EACH WAY (5 MIN)	

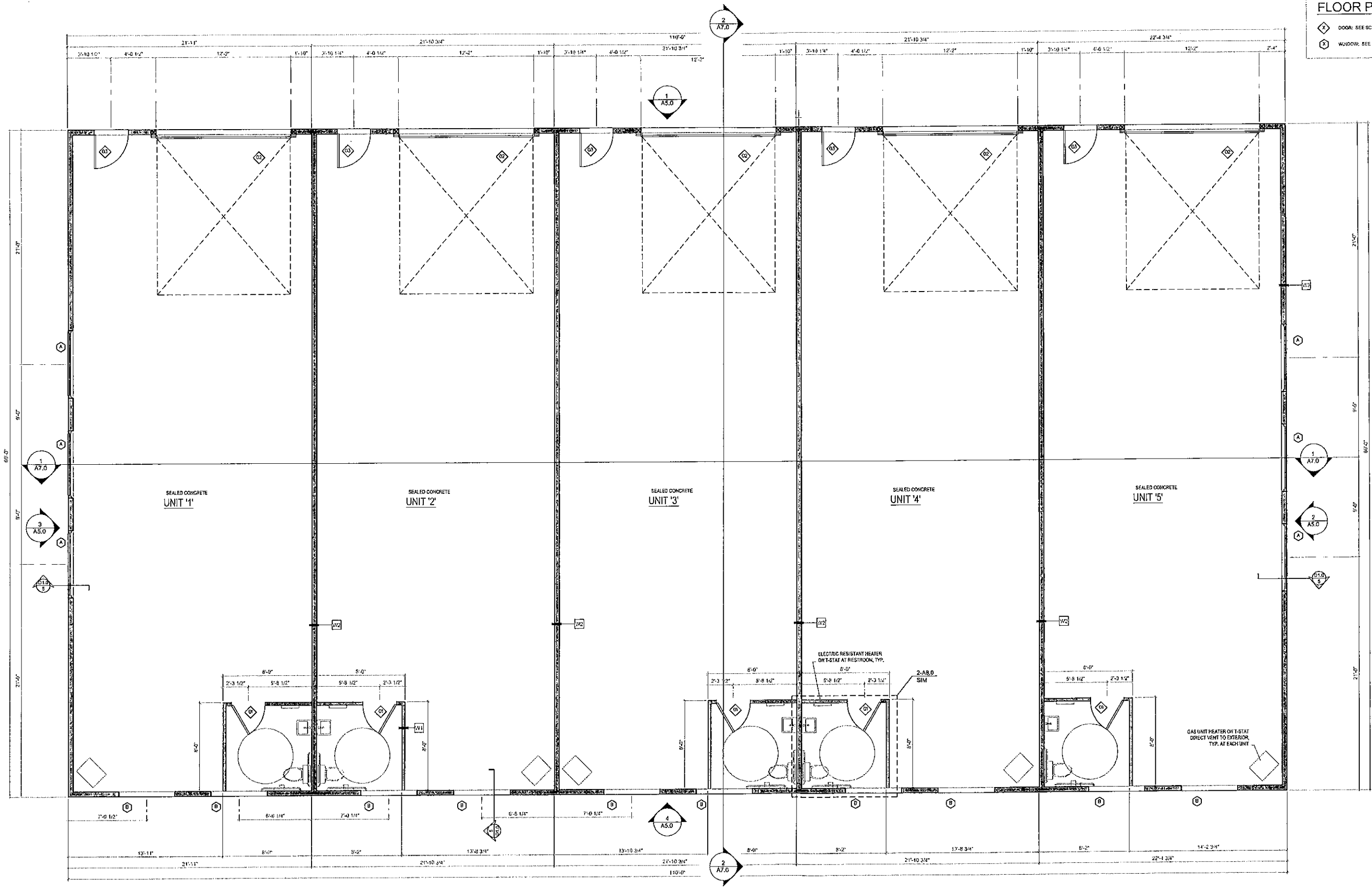
FOUNDATION SCHEDULE
 SCALE: NTS RE: A1.0

- GENERAL NOTES**
- A. PROVIDE BITUMINOUS DAMP PROOFING ON THE EXTERIOR OF THE FOUNDATION WALL BELOW GRADE. PROVIDE 2 INCH RIGID INSULATION ON THE INSIDE OF THE FOUNDATION WALL FROM TOP OF FOOTING TO BOTTOM OF SLAB EXCEPT AT BASEMENT WALLS.
 - B. CONC. TO BE MIN. Fc of 2,800 PSI, REINFORCING STEEL TO MIN. GRADE 40
 - C. ALL FOUNDATIONS, FOOTINGS AND PIERS TO MAINTAIN A MINIMUM DEPTH OF 24" BELOW FINISH GRADE.
 - D. FOOTINGS AND PIERS TO REST ON UNDISTURBED SOLID SOIL OR COMPACTED STRUCTURAL FILL.
 - E. 2X8 PRESSURE TREATED SILL W/ SILL SEALING GASKET TYPICAL AT TOP OF ALL FOUNDATION WALLS WHERE FRAMING OCCURS ABOVE.
 - F. INSTALL SILL PLATE W/ 1/2" DIA. X 10" ANCHOR BOLTS EMBEDDED IN CONCRETE 7" MIN. @ 6'-0" O.C. W/ BOLT LOCATED 1'-0" MIN. FROM END OF EACH PIECE.
 - G. STEP FOUNDATION WALL AS REQUIRED TO RESPOND TO FINAL SITE GRADING CONDITIONS.
 - H. CONTRACTOR TO VERIFY SOIL CONDITIONS DURING EXCAVATION AND NOTIFY DESIGNER OF CONDITIONS PRIOR TO PROCEEDING WITH CONSTRUCTION. SINCE NO GEOTECHNICAL REPORT HAS BEEN PROVIDED, IT WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY SOIL CONDITIONS AND THE PRESENCE OF GROUNDWATER AT TIME OF EXCAVATION.
 - J. PROVIDE ACTIVE RADON MITIGATION SYSTEM PER LOCAL JURISDICTION STANDARDS - VERIFY WITH OWNER IF NOT REQUIRED.
 - K. IF SOLID ROCK SOIL CONDITIONS EXIST UPON EXCAVATION FOR FOOTINGS, PROVIDE EPOXY SET REBAR INTO ROCK FOR FOOTING STABILITY. REMOVE ALL SOIL FROM ROCK AND ADEQUATELY CLEAN SURFACE PRIOR TO CONCRETE POUR.
 - L. PROVIDE THICKENED SLAB EDGE AT TOP OF BASEMENT FOUNDATION WALL WHERE FOUNDATION WALL IS NOT DIRECTLY UNDER EXTERIOR OR PARTY WALL.
 - M. SEE SHEET A2.0 FOR WALL TYPES.
 - N. ALL BACKFILL AND SOIL BELOW SLABS AND FOOTINGS MUST BE COMPACTED TO 1500 PSF MIN.
 - O. CONTRACTOR IS TO PROVIDE MIN. (2) 1/2" X 10" ANCHOR BOLTS PER PLATE AT 72" O.C. AND 12" FROM CORNERS AT ALL PERIMETER FOUNDATION WALLS AND ALL INTERIOR BEARING WALLS.
 - P. CONTRACTOR IS RESPONSIBLE FOR ALL REINFORCEMENT IN CONCRETE WALLS AND BELOW SLABS WHERE REQUIRED. ALL REINFORCEMENT IS TO MEET LOCAL CODES AND IS TO BE INSPECTED BY BUILDING DEPT. OFFICIALS.
 - Q. VERIFY CONTROL JOINTS IN GARAGE SLAB WITH BUILDER.

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FLOOR PLAN SYMBOLS:

- ⬡ DOOR: SEE SCHEDULE - SHEET A5.0
- ⊠ WINDOW: SEE ELEVATIONS - SHEET A6.0



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 ALDER CREEK BLOCK 1 LOTS 6 & 7
 PONDERAY, ID 83864

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 ARCHITECT

FLOOR PLAN

A2.0

01.13.20

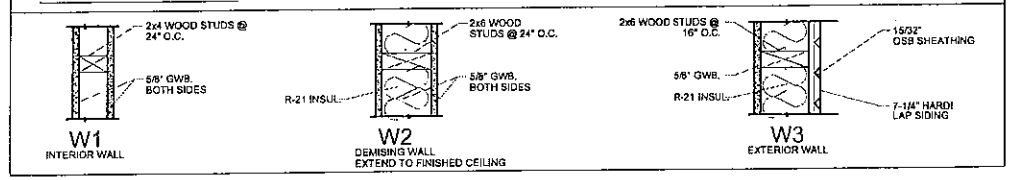
FLOOR PLAN
 SCALE: 1/4" = 1'-0"

DOOR NUMBER	DOOR TYPE	SIZE	LABEL	FRAME THICKNESS	LOCKSET	HINGES/HARDWARE	DOORSTOP	CLOSER	NOTES
1	STEEL	3/0 x 7/0	-	WOOD	1 3/4"	BEST 7K-3-7-L-150-STK-US10B	-	-	PAINT
2	INSULATED STEEL	12/0 x 14/0	-	ALUM	1 3/4"	-	-	-	PROVIDE OPENER
3	STEEL	3/0 x 7/0	-	WOOD	1 3/4"	BEST 7K-3-7-AB-150-STK-US10B	-	-	PAINT

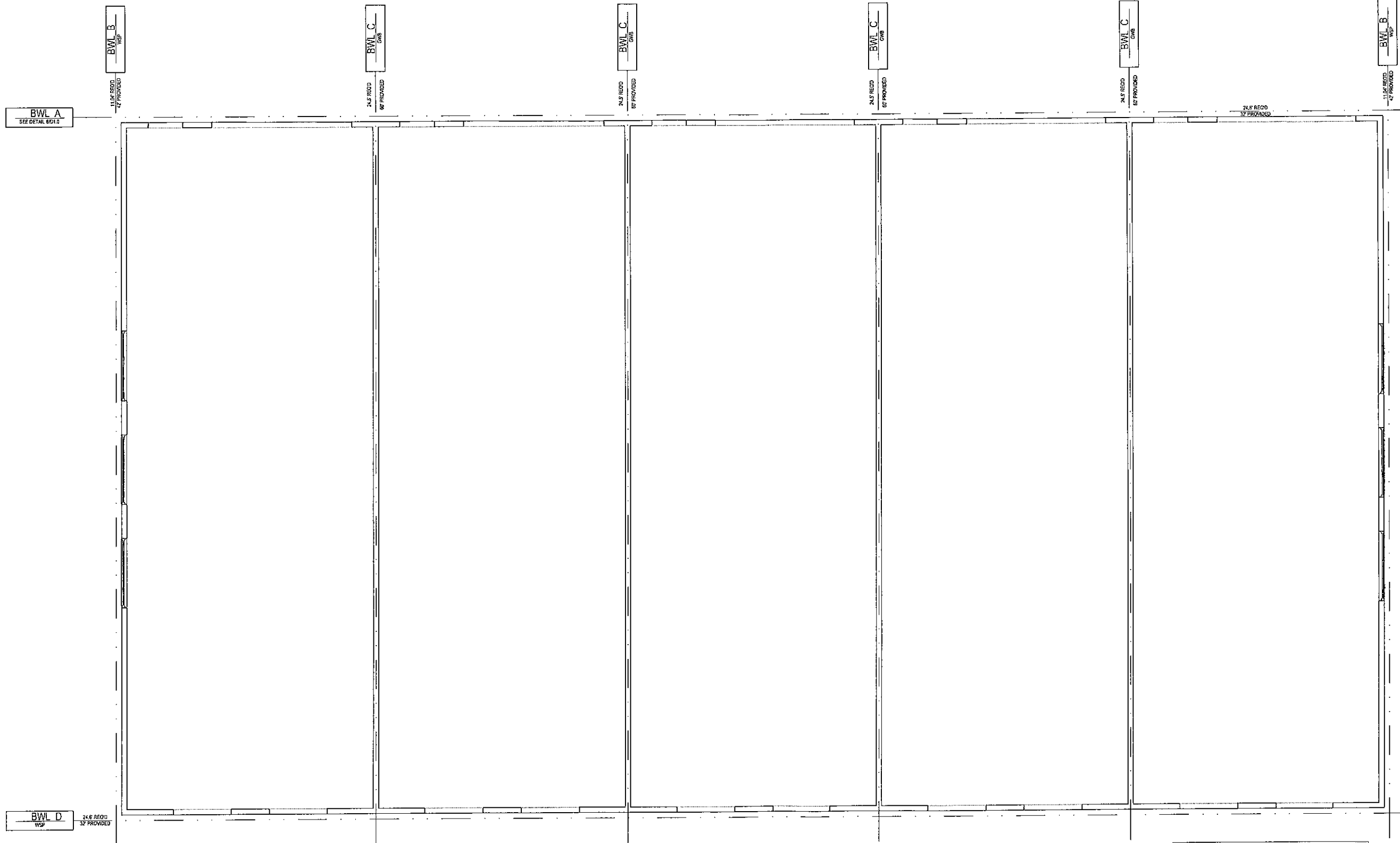
*** ALL DOOR HARDWARE AS SPECIFIED IS ADA 1 MECH COMPLIANT ***

DOOR SCHEDULE
 SCALE: NTS RE: A2.0

WALL TYPES:



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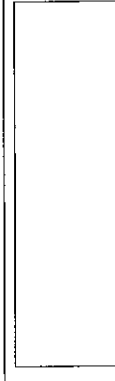


NOTE: WSP IS 1502' OSG SHEATHING W/ 8D NAILS / 6" O.C. EDGE AND 12" O.C. FIELD.
 GWS IS 58" GWS W/ 1-58 #8 SCREW / 6" O.C. EDGE AND 12" O.C. FIELD.
 ** BOTH WITH EDGES BLOCKED

BRACED WALL PANEL PLAN

SCALE: 1/4" = 1'-0"

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 ALDER CREEK BLOCK 1 LOTS 6 & 7
 PONDERAY, ID 83864



REVISIONS:



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 Project
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 Suite 101
 Hayden, Idaho 83834
 208.229.0777

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 ARCHITECT

BRACED
 WALL
 PANEL PLAN

A3.0

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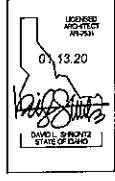
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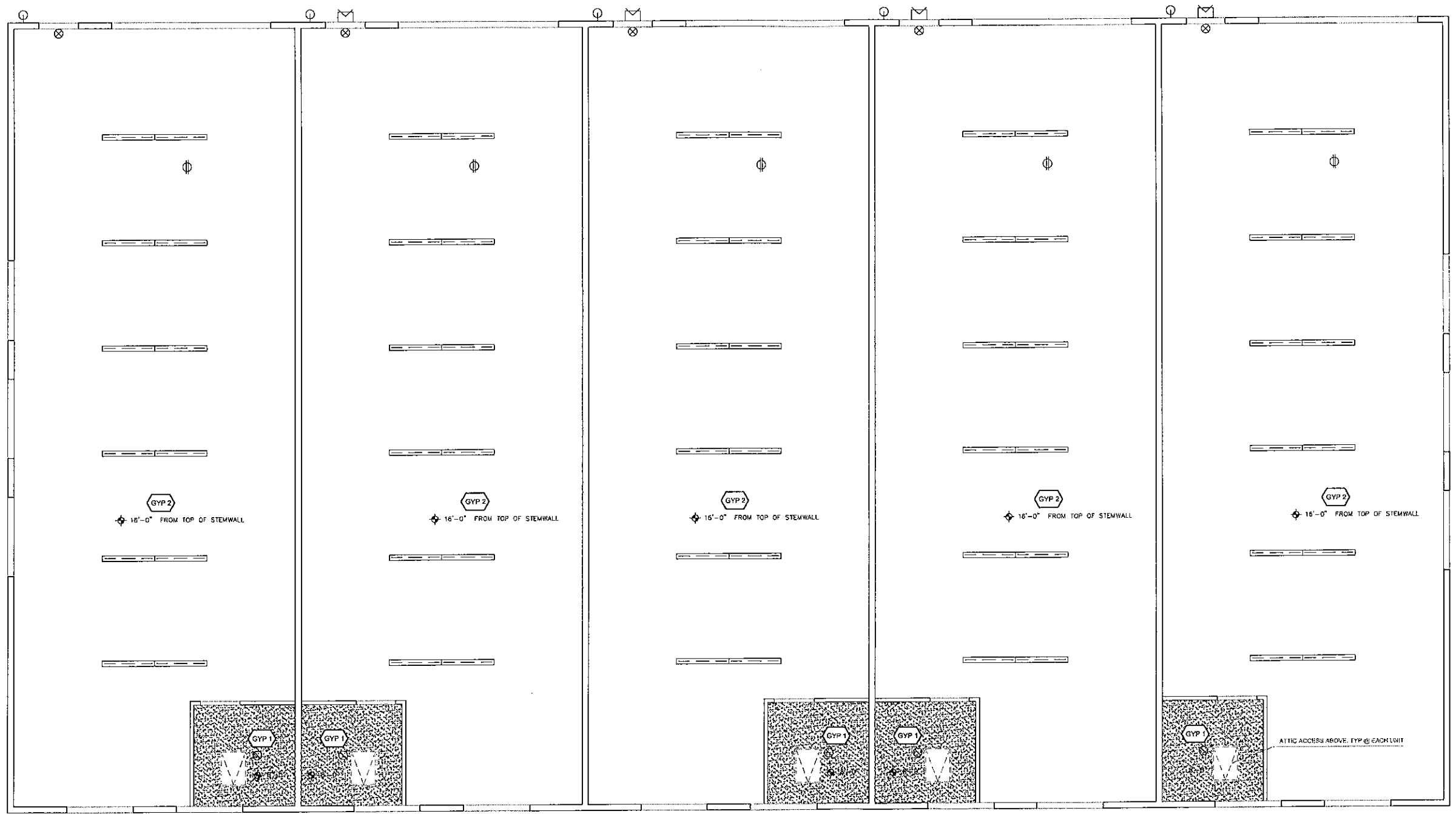
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 Professional Firm
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 Hayden, Idaho
 83835
 208.699.4977



REFLECTED
 CEILING PLAN

A4.0

01.13.20



CEILING FINISH LEGEND:

	GWB CEILING, LEVEL 3 FINISH	SATIN FINISH TBD
	GWB CEILING, LEVEL 3 FINISH	EGGSHELL FINISH TBD

SYMBOLS:

	ILLUMINATED EXIT SIGN, RE: ELECTRICAL CONTRACTOR
	CEILING MOUNT FIXTURE, RE: ELECTRICAL CONTRACTOR
	18" BAY FIXTURE, RE: ELECTRICAL CONTRACTOR
	EXTERIOR SCONCE, RE: ELECTRICAL CONTRACTOR
	LED WALL PACK - 35 WATT - 4200 LUMENS 1'-13" MOUNT HEIGHT
	POWER IN CEILING FOR OVERHEAD GARAGE DOOR

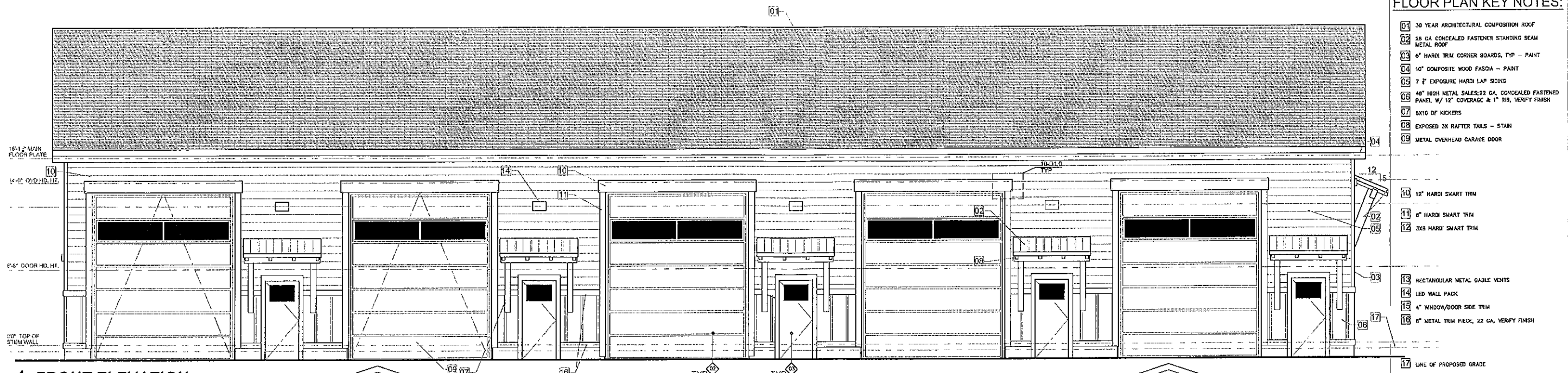
NOTE: MOUNT ALL LIGHT FIXTURES TO MANUFACTURER SPECIFICATIONS

REFLECTED CEILING PLAN
 SCALE: 1/4" = 1'-0"

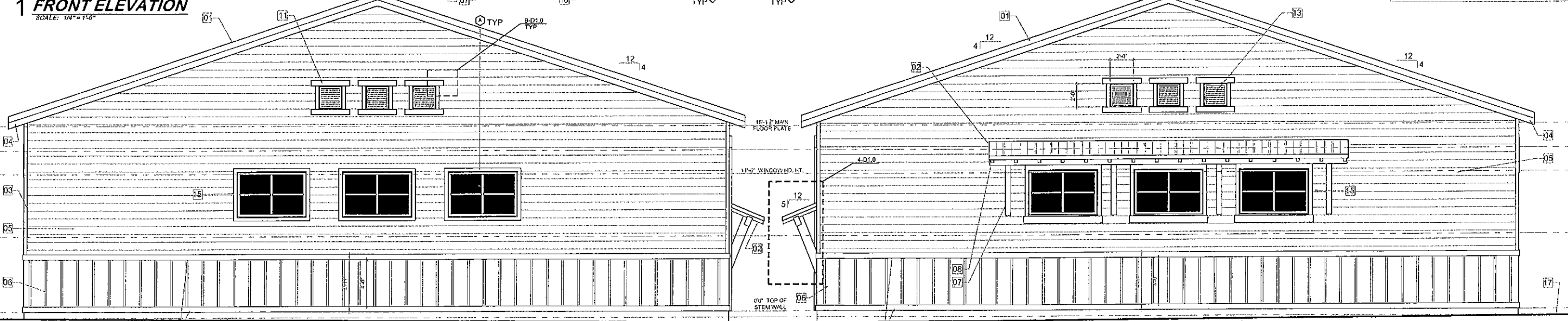
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FLOOR PLAN KEY NOTES:

- 01 30 YEAR ARCHITECTURAL COMPOSITION ROOF
- 02 25 GA CONCEALED FASTENER STANDING SEAM METAL ROOF
- 03 6" HARDI TRIM CORNER BOARDS, TYP - PAINT
- 04 10" COMPOSITE WOOD FASCIA - PAINT
- 05 7 1/2" EXPOSURE HARDI LAP SIDING
- 06 48" HIGH METAL SALES; 22 GA. CONCEALED FASTENED PANEL W/ 12" COVERAGE & 1" RB, VERIFY FINISH
- 07 6X10 DF KICKERS
- 08 EXPOSED 3X RAFTER TAILS - STAIN
- 09 METAL OVERHEAD GARAGE DOOR
- 10 12" HARDI SMART TRIM
- 11 6" HARDI SMART TRIM
- 12 3X6 HARDI SMART TRIM
- 13 RECTANGULAR METAL GABLE VENTS
- 14 LED WALL PACK
- 15 4" WINDOW/DOOR SIDE TRIM
- 16 6" METAL TRIM PIECE, 22 GA, VERIFY FINISH
- 17 LINE OF PROPOSED GRADE

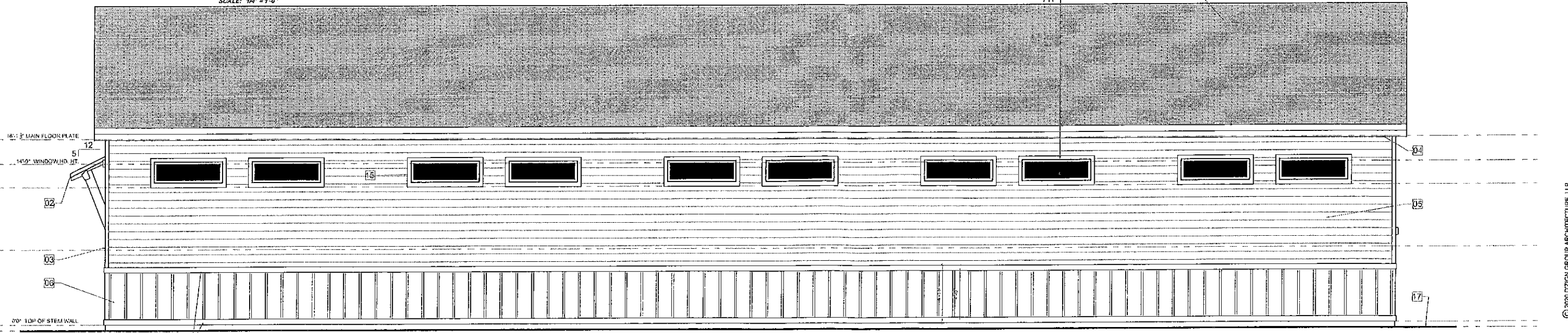


1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

3 RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



4 BACK ELEVATION
SCALE: 1/4" = 1'-0"

ALDER CREEK - COMMERCIAL
ALDER CREEK BLOCK 1 LOTS 6 & 7
PONDERAY, ID 83864

REVISIONS:

NO.	DESCRIPTION

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d'Zign group
ARCHITECTURE.

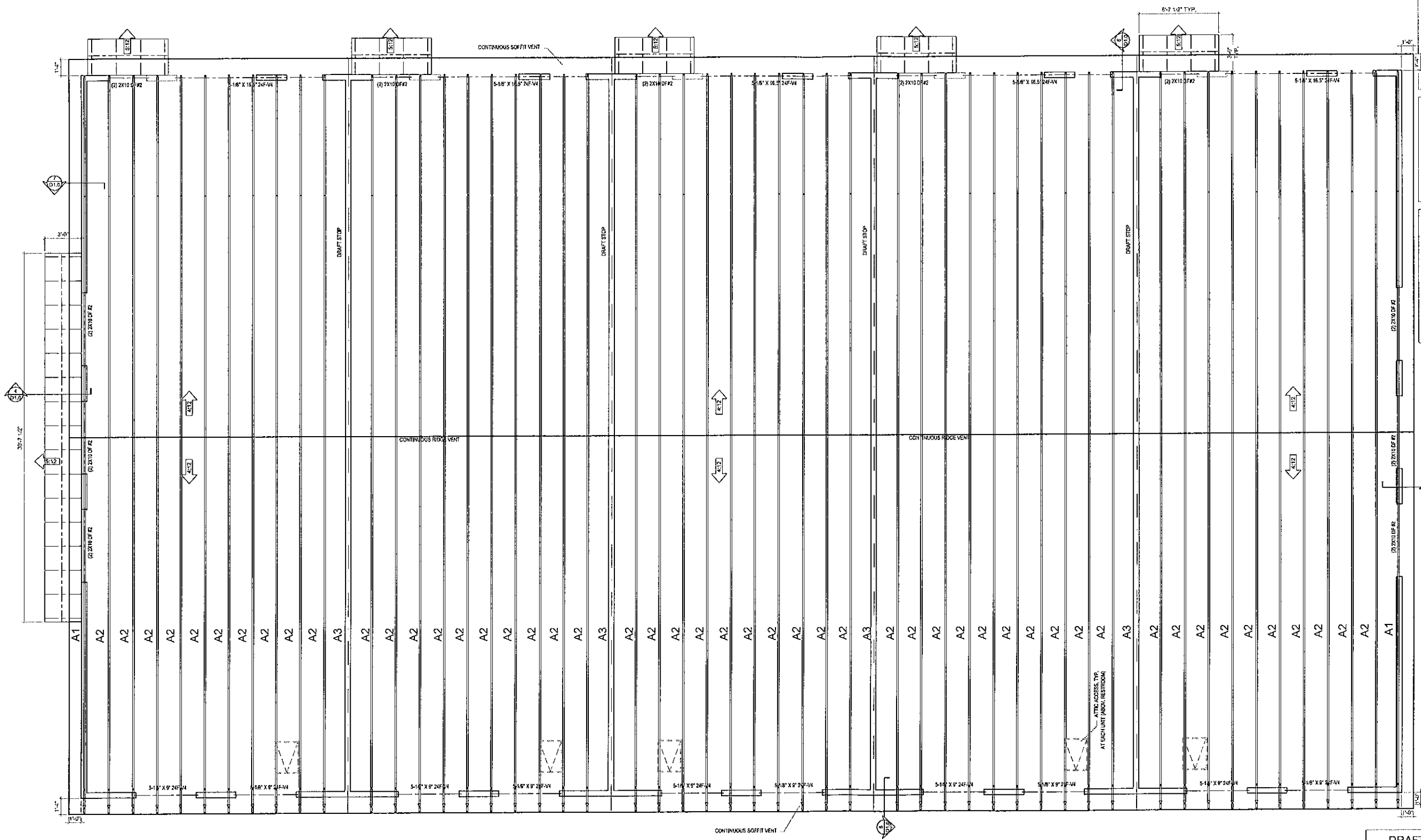
ARCHITECT
01.13.20
[Signature]
REGISTERED ARCHITECT
STATE OF IDAHO

EXTERIOR
ELEVATIONS

A5.0

01.13.20

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TRUSS NOTES:

ALL TRUSSES SHALL CARRY MANUFACTURERS STAMP.

ALL TRUSSES SHALL BE INSTALLED & BRACED TO MANUFACTURERS SPECIFICATIONS.

ALL TRUSSES WILL NOT BE FIELD ALTERED WITHOUT PRIOR BUILDING DEPT. APPROVAL OR ENGINEERING CALCULATIONS.

ENGINEERED TRUSS SHEETS MUST BE ON THE JOB SITE FOR FRAMING INSPECTION. PROVIDE TRUSS DESIGN FOR APPROVAL OF APPROPRIATE AGENCY.

NON BEARING WALLS SHOULD BE HELD DOWN FROM THE TRUSS BOTTOM CHORD W/ SIMPSON STC TO INSURE THAT THE TRUSS BOTTOM CHORD WILL NOT BEAR ON THE WALL.

ALL CONNECTIONS OF RAFTERS, MONO OR HIP TRUSSES TO MAIN GIRDER TO BE PROVIDED BY TRUSS MANUFACTURER.

H2.5A SIMPSON HURRICANE CLIPS @ EACH TRUSS

PROVIDE MAX INTERIOR VAULT PITCH WHEN VAULTS ARE INDICATED

NOTES:

- ROOF OVERHANGS TO BE 18" AT GABLE ENDS AND 18" AT EAVES UNLESS NOTED OTHERWISE ON PLANS.
- ROOF PITCHES TO BE 6:12 UNLESS NOTED OTHERWISE ON PLAN.
- A VAPOR BARRIER IS NOT REQUIRED OF CLOSED-CELL SPRAY FOAM INSULATION, TYPICAL.
- ALL TRUSSES TO HAVE SIMPSON H2.5A HURRICANE CLIPS, UNLESS NOTED OTHERWISE

ATTIC VENTILATION:

7,019 S.F. AREA
300 = 23.4 S.F. REQUIRED

PROVIDE MIN. 10.5 SF OF VENTING AT RIDGE (45%)
PROVIDE MIN. 12.9 SF OF VENTING AT EAVE (55%)

PROVIDE 1" MIN AIR GAP AT EAVES WITH INSULATION BAFFLES TYP. AT ALL TRUSS BAYS.

RIDGE
PROVIDE RIDGE AND HIP VENTING INTEGRAL TO METAL ROOF SYSTEM.

EAVE
PROVIDE CONTINUOUS SCREENED SOFFIT VENTS WITH INSULATION BAFFLES.

ALDER CREEK - COMMERCIAL
ALDER CREEK BLOCK 1 LOTS 6 & 7
PONDERAY, ID 83864

REVISIONS:

The Engineer
Professional Seal
21 Columbia
Suite 101
Pocatello, Idaho
83421
208.248.4177

d'Zign group
ARCHITECTURE

01.13.20
SIGNED AND SEALED
BY ARCHITECT
STATE OF IDAHO

ROOF PLAN

A6.0

01.13.20

ROOF PLAN

SCALE: 1/4" = 1'-0"

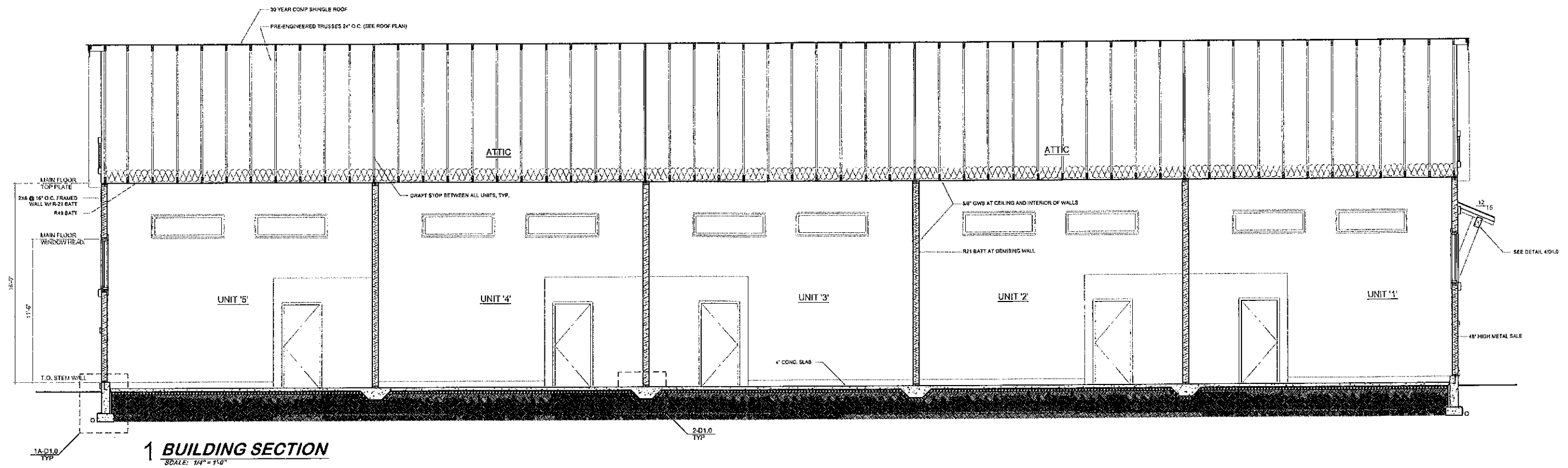
DRAFTSTOPS

DRAFTSTOPPING MATERIALS ARE DEFINED IN SECTION 717.3.1 AS GYPSUM WALL BOARD NOT LESS THAN 0.5 INCH (12.7MM) THICK, WOOD STRUCTURAL PANELS NOT LESS THAN 0.375 (9.5MM) THICK. THE PANELS MUST BE ADEQUATELY SUPPORTED AND THE INTEGRITY MUST BE MAINTAINED.

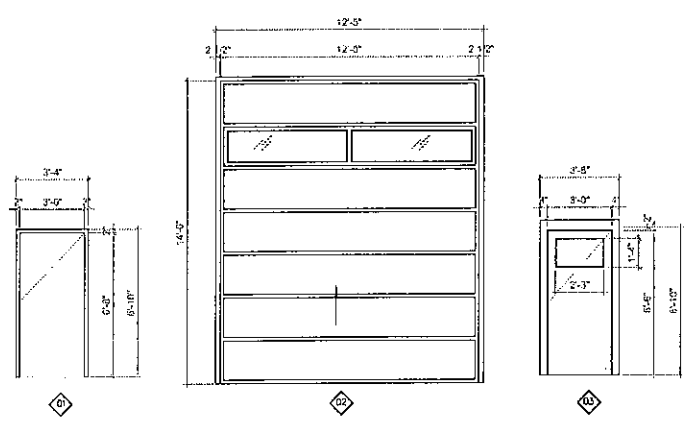
ICE & WATER SHIELD AT EAVES

PROVIDE AN ICE BARRIER THAT CONSISTS OF A SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET IN LIEU OF NORMAL UNDERLAYMENT AT ALL EAVES. SHEET SHALL EXTEND FROM THE LOWEST EDGES OF ALL ROOF SURFACES TO A POINT AT LEAST 24 INCHES (610 MM) INSIDE THE EXTERIOR WALL LINE OF THE BUILDING.

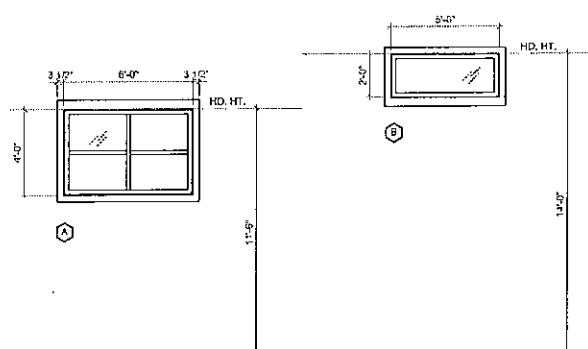
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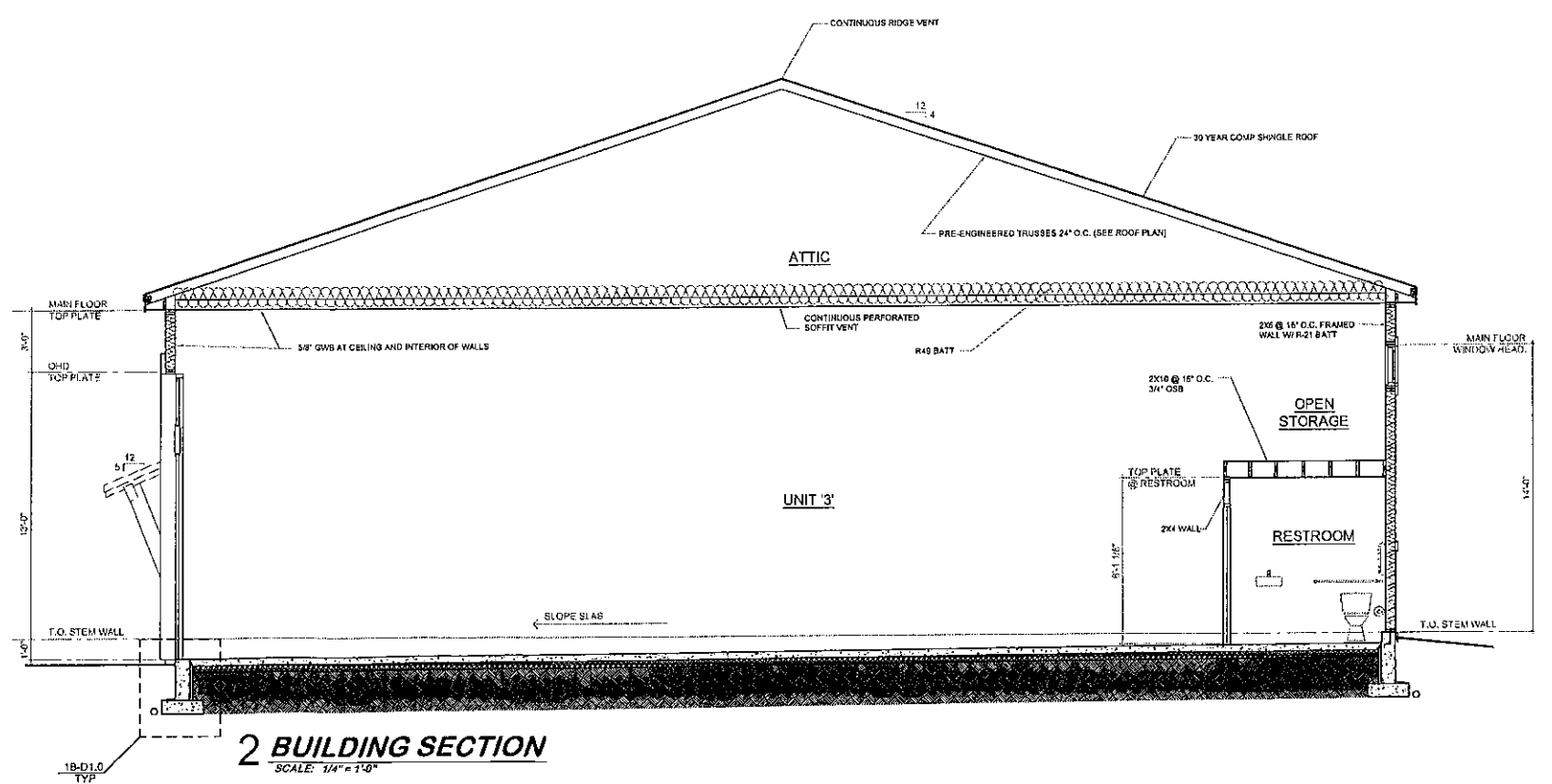
1 BUILDING SECTION
SCALE: 1/4" = 1'-0"



DOOR TYPES
SCALE: 1/4" = 1'-0"



WINDOW TYPES
SCALE: 1/4" = 1'-0"



2 BUILDING SECTION
SCALE: 1/4" = 1'-0"

REVISIONS:

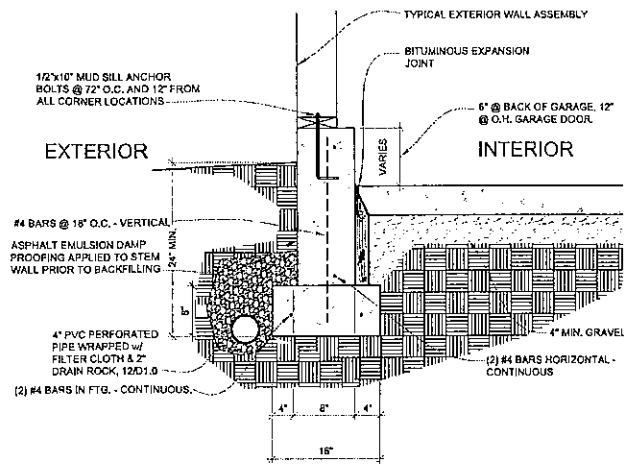
The Project:
Project Name: Alder Creek
Site: Alder Creek
Project: Commercial
Date: 01.13.20
206220-0077

01.13.20
[Signature]
QUALITY SERVICE
ESTABLISHED 1987

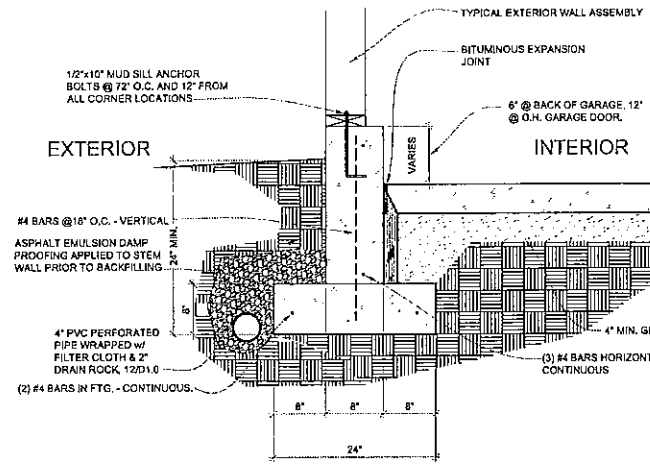
BUILDING SECTIONS

A7.0

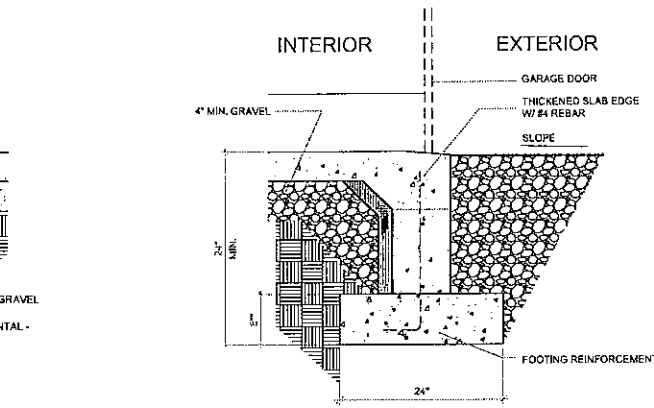
01.13.20



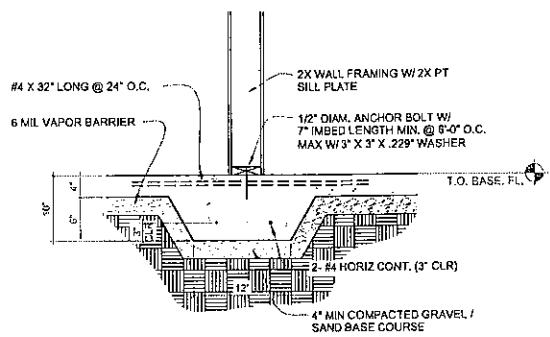
1A FOUNDATION / SLAB DETAIL
SCALE: 1/4" = 1'-0"



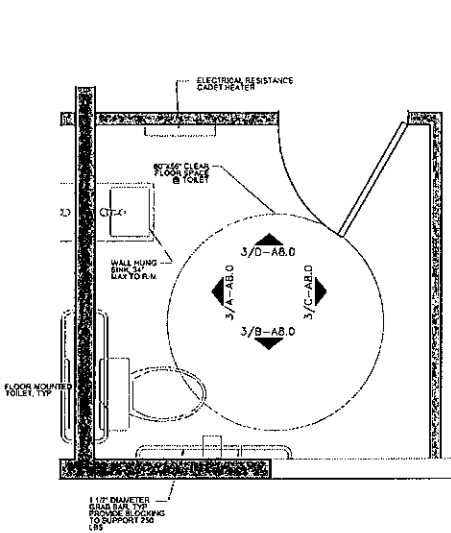
1B FOUNDATION / SLAB DETAIL
SCALE: 1/4" = 1'-0"



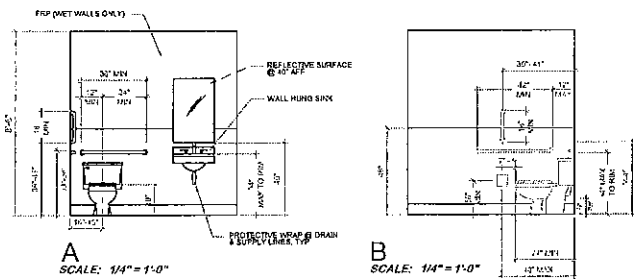
1C FOUNDATION / SLAB DETAIL @ GARAGE DOOR
SCALE: 1/4" = 1'-0"



2 INTERIOR WALL FOOTING DETAIL
SCALE: 1/2" = 1'-0"

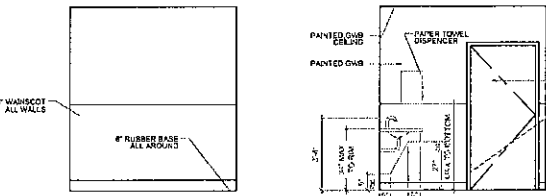


3 ENLARGED FLOOR PLAN & RESTROOM ELEVATIONS
SCALE: 1/2" = 1'-0"



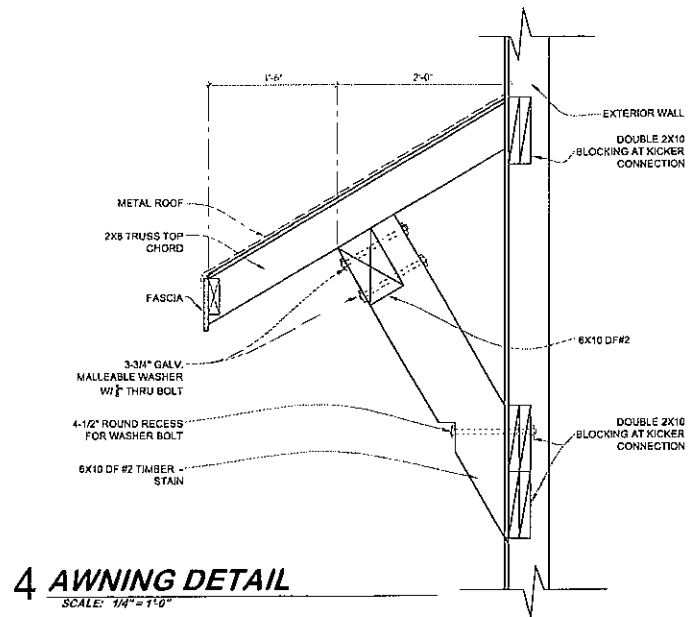
A SCALE: 1/4" = 1'-0"

B SCALE: 1/4" = 1'-0"

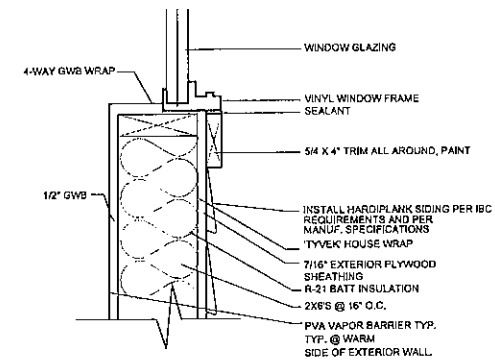


C SCALE: 1/4" = 1'-0"

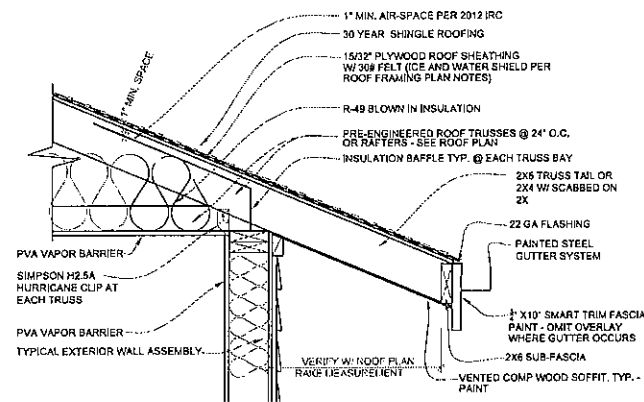
D SCALE: 1/4" = 1'-0"



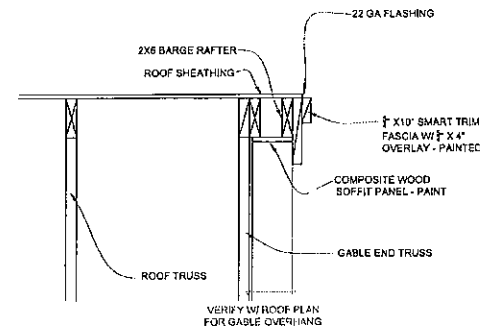
4 AWNING DETAIL
SCALE: 1/4" = 1'-0"



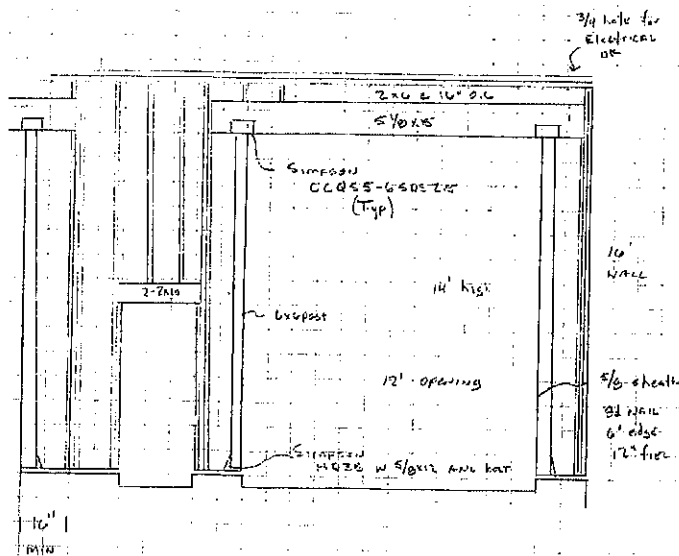
5 WINDOW JAMB / HEAD SIM
SCALE: 1/4" = 1'-0"



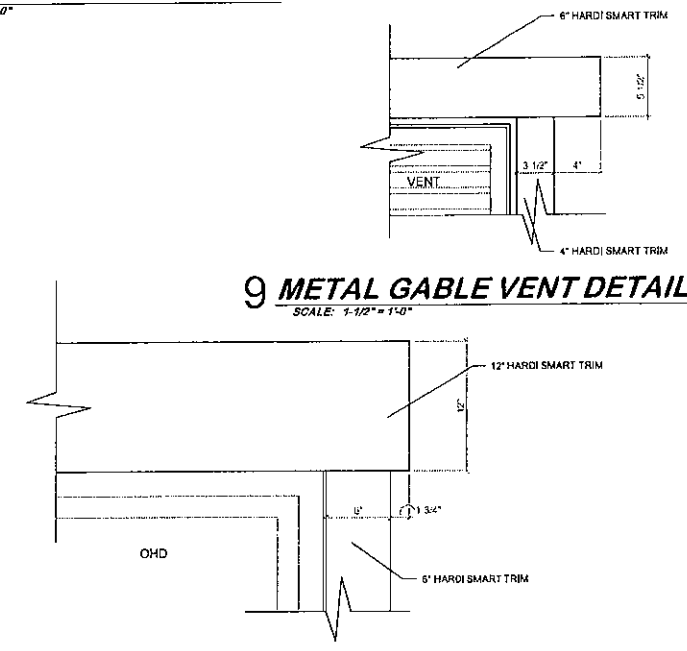
6 TYPICAL EAVE DETAIL
SCALE: 1/4" = 1'-0"



7 TYPICAL RAKE DETAIL
SCALE: 1/4" = 1'-0"



8 BRACED WALL DETAIL
SCALE: 1/4" = 1'-0"



9 METAL GABLE VENT DETAIL
SCALE: 1-1/2" = 1'-0"

10 OVERHEAD DOOR TRIM DETAIL
SCALE: 1-1/2" = 1'-0"