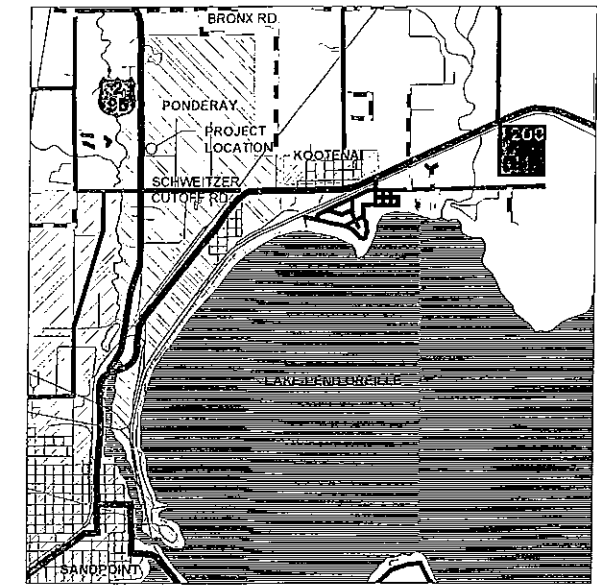
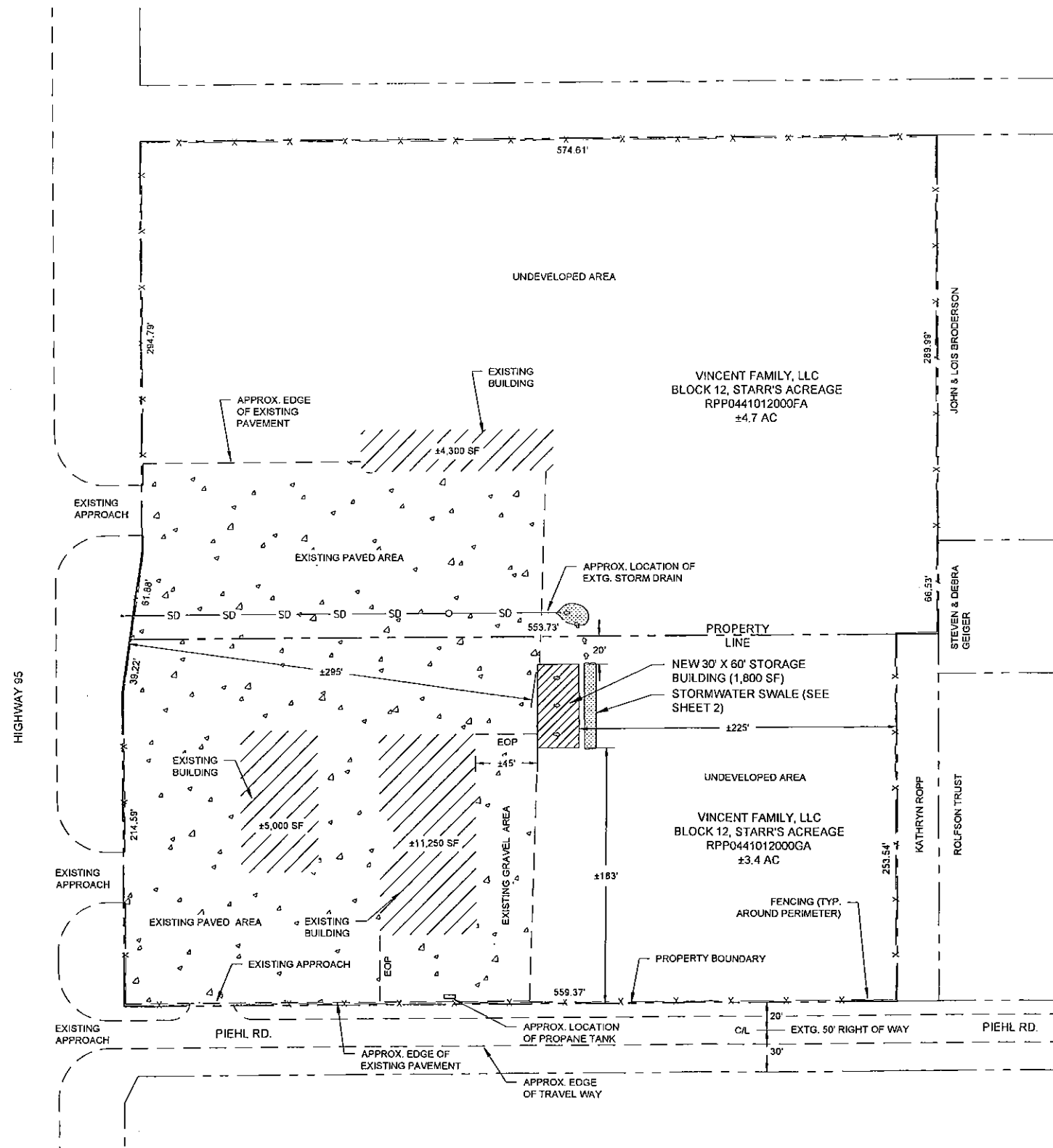


SANDPOINT BUILDING SUPPLY STORAGE BUILDING ADDITION

BLOCK 12, STARR'S ACREAGE
2-57N-2W, BOISE MERIDIAN, BONNER COUNTY, IDAHO



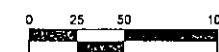
VICINITY MAP
NOT TO SCALE

NOTES

- NO LIGHTING OR POWER WILL BE INSTALLED AT THE NEW BUILDING.
- EXISTING SITE CONDITIONS (APPROXIMATE AREA):
TOTAL SITE ACREAGE = ±8 AC
BUILDING FOOTPRINT AREA = 20,550 SF (0.47 AC)
PAVED OR GRAVEL SURFACE = ±97,000 SF (2.2 AC)
TOTAL IMPERVIOUS SURFACE = ±117,550 (2.7 AC)
OPEN SPACE = ±7.5 AC
- EXISTING TOTAL SIGN AREA = ±455 SF*
(ATTACHED TO FENCE 200 SF; YARD SIGN 115 SF; BUILDING SIGN 140 SF)
*INCLUDES FIXED SIGNS ONLY NOT BANNERS
- PROPOSED SITE CONDITIONS (APPROXIMATE AREA):
TOTAL SITE ACREAGE = ±9 AC
BUILDING FOOTPRINT AREA = ±22,350 SF (0.5 AC)
PAVED OR GRAVEL SURFACE = ±97,000 SF (2.2 AC)
TOTAL IMPERVIOUS SURFACE = ±119,350 (2.7 AC)
OPEN SPACE = ±7.5 AC
- ALLOWED TOTAL AREA OF SIGNS:
HWY 95 FRONTAGE = 610 LF
PIEHL RD. FRONTAGE = 559 LF
WEST BLDG. FRONTAGE = 100 LF
SOUTH BLDG. FRONTAGE = 50 LF
TOTAL FRONTAGE = 1,319 LF
ALLOWED TOTAL SIGN AREA = (300 + ((1,319 - 300) * 0.5)) = 810 SF
*AREA OF BANNERS NOT TO EXCEED 355 SF

LANDSCAPING PLAN

- ALL DISTURBED AREA AS A RESULT OF NEW CONSTRUCTION SHALL BE RE-VEGETATED WITH NATIVE PLANTS, GRASS SEED, OR SOD, UPON COMPLETION OF CONSTRUCTION. SEED MIXTURE SHALL MEET THE REQUIREMENTS SET FORTH BY A PROFESSIONAL SOIL SCIENTIST OR LANDSCAPE ARCHITECT.
- NEWLY SEEDED AREAS SHALL BE MONITORED AND MAINTAINED UNTIL CERTAIN THAT ADEQUATE VEGETATION HAS ESTABLISHED. ALL NOXIOUS WEEDS SHALL BE ABATED AS PART OF THIS MAINTENANCE PLAN.



SCALE IN FEET
DATUM: NAVD 88



2/12/2020

NO.	DATE	REVISION
1		

James A. Sewell and Associates, LLC
1319 NORTH DIVISION AVENUE
SANDPOINT, IDAHO 83864
(208) 263-4160

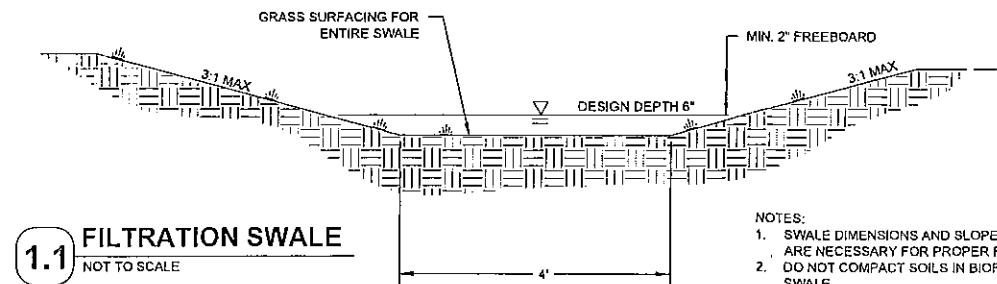
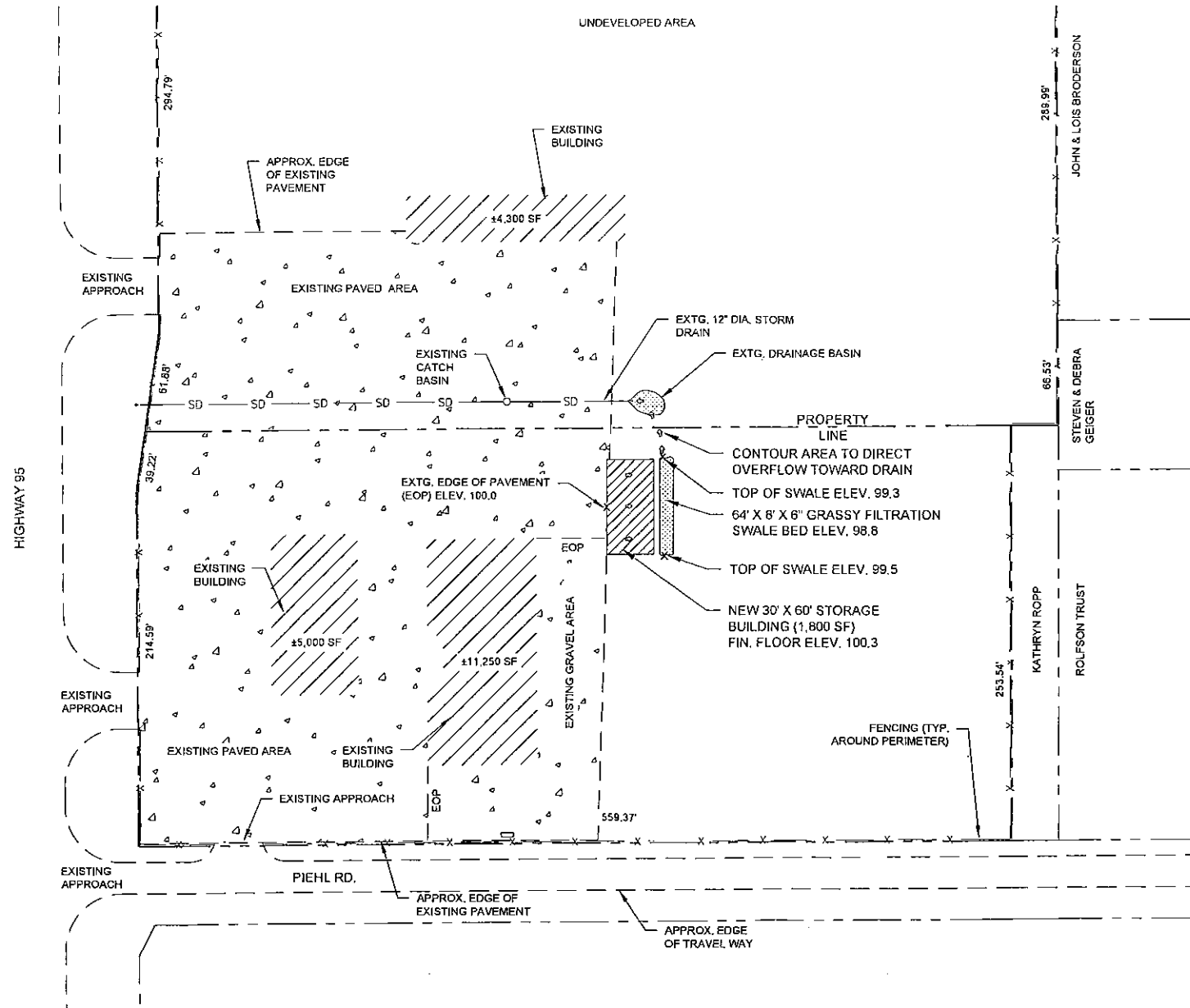
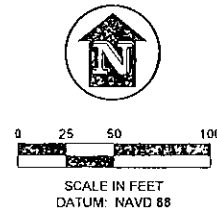
SHEET TITLE:
SITE PLAN

PROJECT:
**SANDPOINT BUILDING SUPPLY
STORAGE BUILDING ADDITION
PONDERAY, IDAHO**

DATE	02-12-2020
SCALE	AS SHOWN
DESIGNED BY	BSB
DRAWN BY	BSB
CHECKED BY	BS
PROJ. NO.	19446-20-001
CAD FILE	E-SBS SITE.dwg

SANDPOINT BUILDING SUPPLY STORAGE BUILDING ADDITION

BLOCK 12, STARR'S ACREAGE
2-57N-2W, BOISE MERIDIAN, BONNER COUNTY, IDAHO



1.1 FILTRATION SWALE
NOT TO SCALE

- NOTES:
- SWALE DIMENSIONS AND SLOPE AS SHOWN ARE NECESSARY FOR PROPER FUNCTION.
 - DO NOT COMPACT SOILS IN BIOFILTRATION SWALE.

GENERAL - ALL CONSTRUCTION SHALL CONFORM TO THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPCW) (HEREAFTER REFERRED TO AS THE ISPCW), AND CITY OF PONDERAY STANDARDS. IN CASE OF A CODE CONFLICT, THE MORE RESTRICTIVE CODE SHALL APPLY.

CLEARING AND GRUBBING - CLEARING AND GRUBBING SHALL BE COMPLETED IN ACCORDANCE WITH SECTION 201 OF THE ISPCW. CLEARED AND GRUBBED MATERIAL SHALL BE DISPOSED OF OFF-SITE OR WASTED ON-SITE.

EXCESS EXCAVATION - EXCESS EXCAVATION SHALL BE PLACED WHERE DIRECTED BY THE OWNER OR THE ENGINEER. EXCESS EXCAVATION THAT CANNOT BE WASTED ON SITE SHALL BE DISPOSED OF AT AN OFF-SITE LOCATION AT CONTRACTORS EXPENSE.

EARTHWORK - EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH SECTION 200 OF THE ISPCW. SUBGRADE SHALL BE CONSTRUCTED TO WITHIN ONE-TENTH (0.1) FOOT OF LINES AND GRADES AS SHOWN ON THE PLANS. SUBGRADE COMPACTION SHALL BE TO 95% MAXIMUM DRY DENSITY (MDD) PER ASTM D1557 (MODIFIED PROCTOR), UNLESS OTHERWISE SPECIFIED ON THESE PLANS.

PROPERTY CORNERS - CONTRACTOR SHALL PRESERVE AND PROTECT ALL PROPERTY CORNERS. ANY CORNERS THAT ARE DISTURBED OR DESTROYED SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR AT THE CONTRACTORS EXPENSE.

PERMITS - CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS, INCLUDING IDAHO DIVISION OF BUILDING SAFETY ELECTRICAL, HVAC, AND PLUMBING PERMITS, AS APPLICABLE.

EROSION AND SEDIMENT CONTROL DURING CONSTRUCTION - THE CONTRACTOR AND DEVELOPER ARE ENTIRELY RESPONSIBLE FOR ALL EROSION AND SEDIMENT CONTROL DURING CONSTRUCTION. ALL EROSION AND SEDIMENT CONTROL METHODS AND STORMWATER MANAGEMENT PLAN CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS SET FORTH WITHIN THE "HANDBOOK OF BEST MANAGEMENT PRACTICES FOR STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL CONTROL" (HANDBOOK), AS PREPARED FOR THE PANHANDLE HEALTH DISTRICT AND THE INTERAGENCY STORMWATER COMMITTEE. IF REQUIRED, THE CONTRACTOR/DEVELOPER IS RESPONSIBLE FOR OBTAINING A STORMWATER PERMIT FOR CONSTRUCTION ACTIVITIES FROM THE EPA NATIONAL DISCHARGE ELIMINATION SYSTEM PROGRAM. EROSION AND SEDIMENT CONTROL SHALL BE ACCOMPLISHED AS SHOWN ON THESE PLANS, WITH ALL METHODS IN ACCORDANCE WITH THE GUIDELINES AS DESCRIBED IN THE HANDBOOK.

CONSTRUCTION ACTIVITIES SHALL BE SCHEDULED TO TAKE PLACE DURING SEASONAL LOW STREAM AND WETLANDS WATER LEVEL CONDITIONS, AND AS NEAR TO OPTIMUM SOIL MOISTURE CONTENT AS POSSIBLE, IN ORDER TO MINIMIZE EROSION AND MAXIMIZE EFFECTIVENESS OF EROSION CONTROL MEASURES. CONSTRUCTION METHODS SHALL PROVIDE FOR ELIMINATING OR MINIMIZING DISCHARGES OF SEDIMENT, ORGANIC MATERIAL, OR TOXIC CHEMICALS.

ALL DISTURBED AREAS SHALL BE RE-VEGETATED WITH NATIVE PLANTS, GRASS SEED, OR SOD, UPON COMPLETION OF CONSTRUCTION. SEED MIXTURE SHALL MEET THE REQUIREMENTS SET FORTH BY A PROFESSIONAL SOIL SCIENTIST OR LANDSCAPE ARCHITECT.

TEMPORARY EROSION CONTROL BMP'S CONSIST OF: GRASS DITCH, GRASS TREATMENT SWALE, SEEDING/MULCHING.

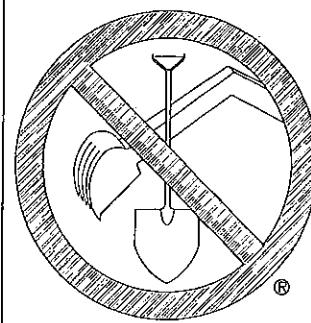
- GRASS DITCH MAINTENANCE:
- PERIODICALLY INSPECT DITCH AND REMOVE SEDIMENT DEEPER THAN 6 INCHES
 - RE-ESTABLISH ANY VEGETATION THAT IS DAMAGED DURING HIGH-RUNOFF EVENTS

- GRASS TREATMENT SWALE MAINTENANCE:
- PERIODICALLY INSPECT BASIN AND REMOVE SEDIMENT DEEPER THAN 6 INCHES
 - RE-ESTABLISH ANY VEGETATION THAT IS DAMAGED DURING HIGH-RUNOFF EVENTS

- SEEDING/MULCH MAINTENANCE:
- RE-SEED OR ADD STRAW MULCH TO BARE SPOTS AND WASHOUTS, AND VERIFY HEALTHY GROWTH OF SEEDS

1.2 PROJECT SPECIFICATIONS

NOT TO SCALE



CALL
2 WORKING
DAYS
BEFORE
YOU DIG!

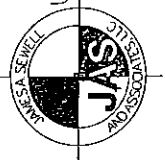
Bonner Boundary One Call
811



2/5/2020

NO.	DATE	REVISION

James A. Sewell and Associates, LLC
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SANDPOINT, IDAHO 83864
(208) 263-4160



SHEET TITLE: STORM WATER MANAGEMENT & EROSION CONTROL PLAN
PROJECT: SANDPOINT BUILDING SUPPLY STORAGE BUILDING ADDITION
PONDERAY, IDAHO

DATE	02-05-2020
SCALE	AS SHOWN
DESIGNED	BSB
DRAWN	BSB
CHECKED	BS
PROJ. NO.	19446-20-001
CAD FILE	E-SBS SITE.dwg